

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

ALTERATIONS AND ADDITIONS

AT

CORNER OF WATERLOO & LAGOON STREET NARRABEEN NSW 2101

LOT 1 DP 502842

PREPARED FOR

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STATEMENT OF ENVIRONMENTAL EFFECTS

ALTERATIONS + ADDITIONS @ CNR WATERLOO & LAGOON STREETS, NARRABEEN

It is proposed to construct a waste bin storage area to the rear of Lot 1 DP 502842, 63 Waterloo Street, on the corner of Waterloo and Lagoon Street Narrabeen. The proposal also includes the removal of some existing rear stairs and the construction of new ones.

The works addressed below (except words highlighted in yellow) were approved by Warringah Council as DA 2008/1605, on 11 February 2009. A construction certificate has been issued and work is proceeding on site.

This section 96 application is for alterations to the rear security fence at the rear of the building, on the Ocean Street boundary.

PROPOSED S96 WORK

The proposal is to replace the 1800 high timber fence with a 2.1m high powder coated steel security fence, incorporating a rendered block wall 1800mm high to screen the bin storage area.

The original timber fence deteriorated since the DA was approved. The service area has been used by undesirable people using drugs and dumping rubbish, and forcing entry into subfloor spaces hence the owners' requirements for a security barrier.

Tenants and patrons of the restaurants and shops in the building will be provided with keys to the security gate so as to access the toilets located at the rear of the building.

The fence and wall are to be coloured Dulux 'Toasty Grey' as shown on the coloured elevation, a neutral beige colour reasonably similar to the timber fence they will replace. The security fence extends 300 mm above the block wall, with vertical bars at approx 120mm centres.

Permission is sought for the modifications to the approved arrangements, as shown on the accompanying drawings.

ORIGINAL STATEMENT OF ENVIRONMENTAL EFFECTS

There are a series of commercial retail shops on the site, and this proposal does not seek to make any changes to them. All proposed works are located beyond a rear **security** fence



PHOTOGRAPH OF THE SITE

The proposed works are lower than the **original** rear timber fence and will therefore not be seen from the street. The proposal is hence extremely low scale and low impact.



PROPOSED WORKS LIE BEYOND THE **ORIGINAL** TIMBER FENCE



PROPOSED LOCATION OF NEW BIN STORE AREA AND CONCRETE STAIRS



PROPOSED LOCATION OF NEW CONCRETE STAIRS AND CONCRETE ENCLOSURE TO BE DEMOLISHED

The proposal provides full compliance with the Warringah WLEP 2000.
The site is identified in the WLEP 2000, as having the following Clauses applied to the site.

Clause 47 Flood Affected Land

The proposal is for external works only and has no impact on habitable parts of the existing retail shops. Although the site is within flood affected land, the proposal is sited and designed to minimise the impact of flooding and has regard to the existing floor regime.

As such, the proposal has no effect on the following:

- The development does not reduce flood storage or impact the flood regime.
- The development does not apply for new, additional or altered habitable floor area.

The proposal therefore has no impact caused or created by flood affected land.

Clause 49a Acid Sulphate Soils

The development occurs on land identified as Class 3 on the Acid Sulphate Soils Hazard Map. An Acid Sulphate report is not necessary for the following reasons.

- The proposal will require excavation for footings to stairs and the bin store, to a maximum 400mm depth for footings. The total excavation is likely to be in the order of 0.2 tonnes, well below the 1 tonne requirement of the clause.
- The levels of the proposed excavation at the lowest point is RL 2.10 AHD, and as such will have no effect on the watertable at approximately RL 0.50AHD.

The works required will be at a maximum 0.5m below the existing ground level, therefore complying with the requirements of Class 3 as identified in the clause.

Clause 79 Heritage Control

Shops and residences, 59-69 Waterloo Street, Narrabeen are listed as items of local heritage significance within the locality.

The proposal seeks alterations and additions that are quite minor and are separated visually and physically from the street. Therefore, the proposal has no effect whatsoever on the heritage significance of the existing and surrounding shops and residences.

WLEP 2000, LOCALITY B4 – NARRABEEN VILLAGE

The proposal is a **Category One** development and complies with controls as follows.

Building Height	The proposal does not seek to alter the existing building height to exceed 3 storeys nor 11 metres.
Front Building Setback	The proposal seeks to carry out works beyond an existing timber fence, maintaining the existing building setback.
Setback to Narrabeen Lake	The proposal is greater than 15 metres away from Narrabeen Lake.
Adaptable buildings	The proposal does not seek to create a first floor for housing and therefore does not facilitate adaptation for business use.
Footpath awnings	The proposal seeks to retain existing continuous footpath awnings.

OTHER IMPACTS UPON THE NATURAL AND BUILT ENVIRONMENT

- The proposal is on land that has no risk of Land Slip, Erosion or Bushfire. Therefore there are no impacts in regard to these risks.
- The proposed does not affect the Streetscape, Landscape and Scenic Quality of the locality as the works are located beyond a security fence, and are below the scale of the fence.
- There are no impacts upon the existing and future Amenity of the Locality, as the proposal simply upgrades an existing use within the Locality that complies with all codes.
- An adequate waste disposal storage area is proposed to ensure it caters for the needs of the existing retail stores. The proposal seeks to conceal waste bins behind an existing rear timber fence, an adequate distance away from neighbours and out of visitor's line of vision.
- Sewerage Effluent and Stormwater disposal produce no additional impacts as the proposal utilises these services currently available to the site.
- The site has current connection to all Utility services of power, phone and water, and therefore produces no impact in this regard.
- Carparking or Traffic Generation are not impacts that are created by the proposal.
- The proposal has no effect to changing the social and economic development of the locality.
- The proposal will not generate any additional noise or nuisance.
- The proposal has no effect on the Flora and Fauna of the site.

- The Architectural Design of the proposal seeks to comply with the Australian Standards and the Building Code Of Australia (BCA).
- The proposal has been designed to preserve the levels of Privacy to the adjoining residences.
- The proposal does not increase Overshadowing of adjoining properties.
- The proposal does not seek to change the existing Landscape Open Space, however calculations of the landscaped open space have been provided on our drawings.

CONCLUSION

In conclusion, we believe that the proposal for alterations and additions to the existing site has been carefully planned to minimise any adverse environmental impacts and is in keeping with the aims and objectives of council policies. The design has produced an outcome, which attempts to maintain the natural and built characteristics of the area, and to make an improvement to the area over the current buildings on the site.