

Proposed Development

Additions and alterations to existing dwelling and partial demolition

Subject Premises

Lot 299 DP 16719

Council

Northern Beaches

Owner

Daniel DE LOOZE

Date

28/10/2024

1.0 – Introduction

This statement provides full details of the application seeking consent for alterations and additions to the existing dwelling at 17 Narroy Road, North Narrabeen and refers to Pittwater 21 Development Control Plan as the DCP.

The report describes how the application addresses and satisfies the objectives and standards of relevant State Environmental Planning Policies, the Pittwater Local Environmental Plan 2014, the Pittwater 21 Development Control Plan 2014 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

The proposed works provide a site-specific design which includes a ground floor extension, garage and carport. Particular attention has been given to ensuring that the proposed dwelling affords high levels of amenity for future occupants whilst remaining a single storey ensures the continued levels of privacy, solar access and view sharing to adjoining properties. The proposal is considered to positively contribute towards the built form quality of the housing stock established within the North Narrabeen Locality.

The proposed development is consistent with the objectives of all Council controls, considerate of neighbouring residents and will result in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2.0 - Proposed Development

It is proposed to partially demolish the existing single storey dwelling making small single storey addition to the rear of the building and single car garage and carport to the side.

2.1 - Site Details

The allotment is titled as Lot 299 in DP 16719. This site is situated on the southern kerb alignment of Narroy Road opposite Narroy Park, approximately 20 metres west of its intersection with Venetian Road.

Site Dimensions

Frontage – Narroy Road (North)	10.365m
Rear – (South) 36 and 38 Gondola Rd	16.89m
Side (East – 15 Narroy Rd)	38.66m
Side (West – 19 Narroy Rd)	40.28m
Total site Area	519 square metres

The allotment is occupied by an original fibro beachside cottage 145.4 sqm in size (including a rear deck and front veranda). The allotment also has a 43.774 sqm detached granny flat developed in 2014.

2.2 - Location and Context

The lot is an irregular quadrilateral shape. All four sides are of unequal lengths with the front property line being 6m difference.

2.3 - Topography

This site is currently occupied by a single storey 3 bedroom fibro residence with fibro roof. A detached granny flat was developed in 2014 (DA N0165/14) being weatherboard with a colorbond

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roof. The site maintains a gradual slop which falls from the south western boundary to the north eastern boundary of the allotment.

The property is surrounded by detached residential dwellings to the south, east and west with Narroy Park to the immediate north. Located in proximity to the subject site is the North Narrabeen Community and Tennis Centre to the south and the Pittwater Road precinct to the east, providing shops and services.



2.4 - Vegetation

There is established vegetation on the property. Including a hedge, a number of palm trees and plants in the rear.

3.0 - Proposal

3.1 - Description

The proposed development is for partial demolition of the existing dwelling to facilitate alterations and additions to the ground floor. The demolition will remove two small lean to extensions at the rear of the main residence removing a small cramped living area, small bathroom and laundry. The extension covers this area and an area over the back deck being approximately 11m x 7m (including a new rear deck) to create a larger living area for a growing family, removing all hazardous material (fibro asbestos) and modernising the original home that was built circa 1950. The development will also add a single car garage and carport to the dwelling.

3.2 - Application Type

The application is proposed as a Development Application.

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The proposed development will be made up as follows: **Ground Floor**

Demolition works, including removal of:

- Existing living room, bathroom, laundry and rear deck.
- Internal and external fibro walls
- Fibro roof

New works:

- Front veranda and entry door,
- Main Bedroom and ensuite
- Laundry/bathroom
- Kitchen/dining/living area with pantry,
- Rear covered deck with skylights,
- Additional door openings and windows

Site:

- Widening of the layback from 3.9m to 5.5m. wider opening.

3.3 - BCA Assessment

The dwelling is classified as a class 1a building as per the Building Code of Australia.

The dwelling, when built in accordance with the complying plans and specification will comply with the requirements and standards for a class 1a building.

4.0 Statutory Framework

State Environmental Planning Policies

State Environmental Planning Policy (Coastal Management) 2018

The site is mapped as 'Proximity Area for Coastal Wetlands' by State Environmental Planning Policy (Coastal Management) 2018.



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Accordingly, the consent authority must consider clause 11 of the SEPP.

11 Development on land in proximity to coastal wetlands or littoral rainforest

(1) Development consent must not be granted to development on land identified as “proximity area for coastal wetlands” or “proximity area for littoral rainforest” on the Coastal Wetlands and Littoral Rainforests Area Map unless the consent authority is satisfied that the proposed development will not significantly impact on:

- (a) the biophysical, hydrological or ecological integrity of the adjacent coastal wetland or littoral rainforest, or*
- (b) the quantity and quality of surface and ground water flows to and from the adjacent coastal wetland or littoral rainforest.*

The proposed development is located predominantly within the footprint of the existing dwelling, on a highly disturbed portion of the site, as such there will be no impact on the biophysical or ecological integrity of the nearby coastal wetlands.

Stormwater from the site will be managed in accordance with Councils controls, with water directed to existing infrastructure in Narroy Road. The proposal will not impact on the quality or quantity of surface and ground water flows to and from the nearby coastal wetlands.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 (formerly SEPP Vegetation in Non-Rural Areas 2017)

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. Although the proposal involves the removal of 10 trees (low value category Z trees), the development remains consistent with the provisions of the SEPP. A supportive Arborist Report is attached.

State Environmental Planning Policy (Resilience and Hazards) 2021 (formerly SEPP No. 55 – Remediation of Land)

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

Locality Controls

Pittwater Local Environmental Plan 2014

The relevant clauses of the Pittwater Local Environmental Plan 2014 are addressed below.

Zoning (2)

The site is zoned R2 Low Density Residential, pursuant to the provisions of the Pittwater Local Environmental Plan 2014.

The proposed development is for alterations and additions to the existing dwelling house including a garage and open carport. Dwelling houses are permitted with consent in the R2 – Low Density Residential zone.

The development remains consistent with the streetscape in the locality, is consistent with Council controls relating to flood risk and ensures privacy and solar access are maintained for surrounding properties and the subject site.

Demolition (2.7)

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size (4)

The site is mapped with a minimum subdivision lot size of 550m². The subject site comprises an area of 519m² and no subdivision is proposed.

Height of Buildings (4.3)

The LEP restricts the height of any development on the subject site to 8.5 metres. The development does not seek to increase the existing height of the residence and will remain compliant with a maximum building height of 4.735 metres.

Heritage Conservation (5.10)

The site is not a heritage item, located within a heritage conservation area and is not located in proximity to a heritage item.

Flood Planning (5.21)

The subject site is mapped as medium risk flood hazard precinct by the NBC Flood Hazard Map.

The property is in the Medium Flood Risk Precinct, with a 1% AEP flood level of 3.03m AHD. The lowest part of the property is above the 1% AEP flood level being 3.13m AHD located in the front North Eastern Corner. The rear of the property is 3.53m to the South Eastern corner and 3.67 in the Western Corner above the maximum Flood Plan Level of 3.53m. The existing ground floor level is

3.65m above the Maximum Flood Plan Level (FPL). The ground floor addition will continue at a height of 3.65m.

Acid Sulfate soils (7.1)

The site is mapped with class 3 acid sulfate soils. The proposed works are not likely to lower the water table more than 1 metre below the natural ground surface.

Earthworks (7.2)

Minor earthworks are proposed to prepare the site for the construction of the alterations and additions, new additions, garage and carport. All works will be undertaken in accordance with engineering specifications, Council's controls and any consent conditions.

Essential services (7.10)

All essential services are existing on the site.

Pittwater 21 Development Control Plan

The relevant sections of the DCP are addressed below.

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Part A Localities

A4.11 North Narrabeen Locality

The site is located within the North Narrabeen locality. The desired character statement for the North Narrabeen locality is:

The North Narrabeen locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in all landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor on land that has less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, community and recreational facilities will serve the community.

Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.

Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the

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development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.

The design, scale and treatment of future development within the North Narrabeen commercial centre on Pittwater Road will reflect the status of the centre as the 'gateway' to Pittwater through building design, signage and landscaping, and will reflect principles of good urban design.

A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, and to enhance wildlife corridors.

Heritage items and conservation areas indicative of the Guringai Aboriginal people and of early settlement in the locality will be conserved.

Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.

The proposed development has been designed taking into consideration the desired character of the location. The scale of the proposal is well designed to ensure retention of the character sought by Council and provide a modern dwelling, whilst being mindful of privacy to existing neighbours by remaining a single storey and of the flood risk which are minor to the raised lot.

Part B General Controls

B1 Heritage Controls

As described above the site is not a heritage item, located within a heritage conservation area and is not located in proximity to a heritage item.

The site is not known or anticipated to be home to any aboriginal relics. Should any objects be discovered during construction, appropriate measures will be taken according to NSW Office of Environment and Heritage.

Compliance – N/A

B2 Density Controls

No change is proposed to the existing density on the site which comprises of a single residential dwelling and detached granny flat.

Compliance – N/A

B3 Hazard Controls

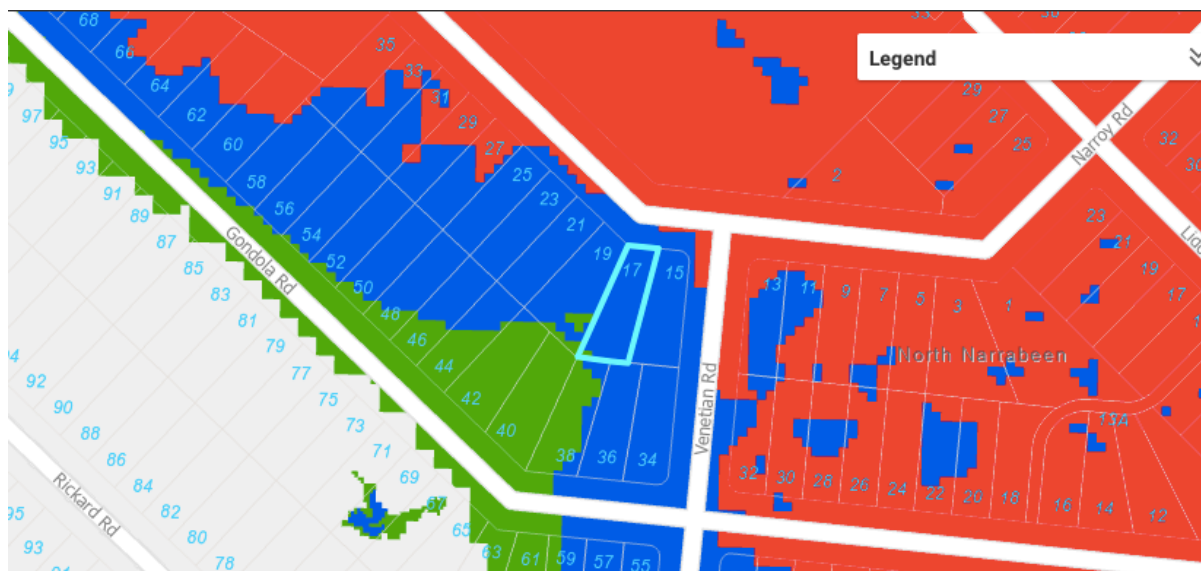
B 3.6 Contaminated and potentially contaminated lands

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The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

B3.11 Flood prone land

As described above the subject site is mapped as medium and low risk flood hazard precinct by the NBC Flood Hazard Map.



Objectives

- Protection of people.
- Protection of the natural environment.
- Protection of private and public infrastructure and assets.

Requirements

1. Development must comply with the prescriptive controls set out in the Matrix below. Where a property is affected by more than one Flood Risk Precinct, or has varying Flood Life Hazard Category across it, the assessment must consider the controls relevant at each location on the property.
2. Development on flood prone land requires the preparation of a Flood Management Report by a suitably qualified professional.

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		Medium Flood Risk Precinct				
		Vulnerable & Critical Use	Residential Use	Business & Industrial Use	Recreational & Environmental Use	Subdivision & Civil Works
A	Flood effects caused by Development	A1 A2	A1 A2	A1 A2	A1 A2	A1 A2
B	Building Components & Structural	B1 B2 B3	B1 B2 B3	B1 B2 B3	B1 B2 B3	
C	Floor Levels	C2 C3	C1 C3 C4 C6	C1 C3 C4 C6 C7	C3	C5
D	Car Parking	D1 D2 D3 D4 D7	D1 D2 D3 D4 D5 D6	D1 D2 D3 D4 D5 D6	D1 D2 D3 D4 D5 D6	D1
E	Emergency Response	E1 E2	E1	E1	E1	E3
F	Fencing	F1	F1	F1	F1	F1
G	Storage of Goods	G1	G1	G1	G1	
H	Pools	H1	H1	H1	H1	H1

		Low Flood Risk Precinct				
		Vulnerable & Critical Use	Residential Use	Business & Industrial Use	Recreational & Environmental Use	Subdivision & Civil Works
B	Building Components & Structural	B1 B2 B3				
C	Floor Levels	C2 C3				C5
D	Car Parking	D2 D7				
E	Emergency Response	E1 E2				E3

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Medium Flood Risk Precinct

Table - Assessment of Impacts

	Compliance		
	Not Applicable	Yes	No
A Flood effects caused by the development	✓		
A1	✓		
A2	✓		
B Building Components & Structural		✓	
B1		✓	
B2	✓		
B3	✓		
C Floor Levels		✓	
C1		✓	
C3	✓		
C4	✓		
C6	✓		
D Carparking	✓		
D1	✓		
D2	✓		
D3	✓		
D4	✓		
D5	✓		
D6	✓		
E Flood Emergency Response		✓	
F Fencing	✓		
G Storage of Goods	✓		
H Pools	✓		

A. FLOOD EFFECTS CAUSED BY DEVELOPMENT

A1 - Development shall not be approved unless it can be demonstrated in a Flood Management Report that it has been designed and can be constructed so that in all events up to the 1% AEP event: (3.03m)

a) There are no adverse impacts on flood levels or velocities caused by alterations to the flood conveyance; and

(b) There are no adverse impacts on surrounding properties; and

(c) It is sited to minimise exposure to flood hazard.

Major developments and developments likely to have a significant impact on the PMF flood regime will need to demonstrate that there are no adverse impacts in the Probable Maximum Flood.

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development

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proposal. As per the accompanying Basic Flood Information Report supplied by the Northern Beaches Council it is not identified in Map B – Flooding – 1% AEP Extent (NBC Basic Flood Information Report).

A2 - Development shall not be approved unless it can be demonstrated in a Flood Management Report that in all events up to the 1% AEP event there is no net loss of flood storage. (3.03m)

Consideration may be given for exempting the volume of standard piers from flood storage calculations.

If Compensatory Works are proposed to balance the loss of flood storage from the development, the Flood Management Report shall include detailed calculations to demonstrate how this is achieved.

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. Map B – Flooding – 1% AEP Extent (NBC Basic Flood Information Report)

B. BUILDING COMPONENTS AND STRUCTURAL SOUNDNESS

B1 - All buildings shall be designed and constructed with flood compatible materials in accordance with “Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas”, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).

Compliance – Yes

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. The rear addition is being built on stilts at the existing floor level of 3.65m which is 130mm above the maximum flood plan level of 3.53. This allows for a 90mm joist and 20mm flooring including under house insulation to be above the maximum FPL. All other material below being stilts, footings and bearers will be built out of flood compatible materials being concrete, steel and pressure treated timber.

B2 - All new development must be designed and constructed to ensure structural integrity up to the Flood Planning Level, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion. Where shelter-in-place refuge is required, the structural integrity for the refuge is to be up to the Probable Maximum Flood level. Structural certification shall be provided confirming the above.

Compliance – N/A (Yes)

As per the accompanying Basic Flood Information Report this site is not impacted by the Flood Planning Level (Map B – Flooding – 1% AEP Extent) or any Flood Hydraulic Category (Map C – 1% AEP Flood Hydraulic Category Extent Map)

B3 - All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood

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Planning Level. All existing electrical equipment and power points located below the Flood Planning Level within the subject structure must have residual current devices installed that turn off all electricity supply to the property when flood waters are detected.

Compliance – (N/A) Yes

As per the accompanying Basic Flood Information Report this site is not impacted by the Flood Planning Level (Map B – Flooding – 1% AEP Extent) or any Flood Hydraulic Category (Map C – 1% AEP Flood Hydraulic Category Extent Map). Any electrical equipment, powerpoints, wiring etc in the garage will be above 3.53m AHD. Inground sewer and pipes are waterproofed in accordance with AS/NZS 3500.

C. FLOOR LEVELS

C1 - New floor levels within the development shall be at or above the Flood Planning Level.

Compliance – Yes

The rear addition is being built at the existing floor level of 3.66m. Above the maximum FPL.

C3 - All new development must be designed and constructed so as not to impede the floodway or flood conveyance on the site, as well as ensuring no net loss of flood storage in all events up to the 1% AEP event. (3.03m)

For suspended pier/pile footings:

- (a) The underfloor area of the dwelling below the 1% AEP flood level is to be designed and constructed to allow clear passage of floodwaters, taking into account the potential for small openings to block; and
- (b) At least 50% of the perimeter of the underfloor area is of an open design from the natural ground level up to the 1% AEP flood level; and
- (c) No solid areas of the perimeter of the underfloor area would be permitted in a floodway

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. As per the accompanying Basic Flood Information Report supplied by the Northern Beaches Council it is not identified in Map B – 1% AEP Flood and not identified in Map C – 1% AEP Flood Hydraulic Category Extent Map.

C4 - A one-off addition or alteration below the Flood Planning Level of less than 30 square metres (in total, including walls) may be considered only where:

- (a) it is an extension to an existing room; and
- (b) the Flood Planning Level is incompatible with the floor levels of the existing room; and
- (c) out of the 30 square metres, not more than 10 square metres is below the 1% AEP flood level. (3.03m)

This control will not be permitted if this provision has previously been utilised since the making of this Plan.

The structure must be floodproofed to the Flood Planning Level, and the Flood Management Report must demonstrate that there is no net loss of flood storage in all events up to the

1% AEP event.

Compliance – N/A (Yes)

No proposal is required or sort. The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. Map B – 1% AEP Flood NBC Basic Flood Information Report. The garage is controlled by D5.

C6 - Consideration may be given to the retention of an existing floor level below the Flood Planning Level when undertaking a first floor addition provided that:

- (a) it is not located within a floodway; and
- (b) the original foundations are sufficient to support the proposed final structure above them. The Flood Management Report must include photos and the structural certification required as per Control B2 must consider whether the existing foundations are adequate or should be replaced; and
- (c) none of the structural supports/framing of existing external walls of are to be removed unless the building is to be extended in that location; and
- (d) the ground floor is floodproofed.

Compliance – N/A (Yes)

No such proposal is required or sort.

D. CAR PARKING

- D1** Open carpark areas and carports shall not be located within a floodway.

Compliance – N/A (Yes)

No floodway's have been identified on this site. The entire site is above the 1% AEP of 3.03m. Map C – 1% AEP Flood Hydraulic Category Extent Mao NBC Basic Flood Information Report.

- D2** The lowest floor level of open carparks and carports shall be constructed no lower than the natural ground levels, unless it can be shown that the carpark or carport is free draining with a grade greater than 1% and that flood depths are not increased.

Compliance – N/A (Yes)

No excavation is occurring. The garage and carport will be develop with a raft slab 120mm above the existing ground floor level with a finish level at of 3.28m ADH.

- D3** Carports must be of open design, with at least 2 sides completely open such that flow is not obstructed up to the 1% AEP flood level. Otherwise it will be considered to be enclosed. When undertaking a like-for-like replacement and the existing garage/carport is located on the street boundary and ramping is infeasible, consideration may be given for dry floodproofing up to the 1% AEP flood level.

Compliance – N/A (Yes)

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The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal.

- D4** Where there is more than 300mm depth of flooding in a car park or carport during a 1% AEP flood event, vehicle barriers or restraints are to be provided to prevent floating vehicles leaving the site. Protection must be provided for all events up to the 1% AEP flood event

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. The proposed carport and parking will be at a height of 3.24m.

- D5** Enclosed Garages must be located at or above the 1% AEP level (3.03m)

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. The proposed garage and carport will be at a height of 3.24m.

- D6** All enclosed car parks (including basement car parks) must be protected from inundation up to the Flood Planning Level. All access, ventilation, driveway crests and any other potential water entry points to any enclosed car parking shall be above the Flood Planning Level.
Where a driveway is required to be raised it must be demonstrated that there is no net loss to available flood storage in any event up to the 1% AEP flood event and no impact on flood conveyance through the site.

Council will not accept any options that rely on electrical, mechanical or manual exclusion of the floodwaters from entering the enclosed carpark

Compliance – N/A (Yes)

No such proposal for car parking is required or sort. The lowest part of the existing property is 3.13m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal. The proposed garage and carport will be at a height of 3.24m.

E. EMERGENCY RESPONSE

E1 - If the property is affected by a Flood Life Hazard Category of H3 or higher, then Control E1 applies and a Flood Emergency Assessment must be included in the Flood Management Report.
If the property is affected by a Flood Life Hazard Category of H6, then development is not permitted Unless it can be demonstrated to the satisfaction of the consent authority that the risk level on the property is or can be reduced to a level below H6 or its equivalent.
If the property is flood affected but the Flood Life Hazard Category has not been mapped by Council,

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then calculations for its determination must be shown in the Flood Management Report, in accordance with the "Technical Flood Risk Management Guideline: Flood Hazard", Australian Institute for Disaster Resilience (2012).

Where flood-free evacuation above the Probable Maximum Flood level is not possible, new development must provide a shelter-in-place refuge where:

- a) The floor level is at or above the Probable Maximum Flood level; and (4.90m)
- b) The floor space provides at least 2m² per person where the flood duration is long (6 or more hours) in the Probable Maximum Flood event, or 1m² per person for less than 6 hours;
- c) It is intrinsically accessible to all people on the site, plainly evident, and self-directing, with sufficient capacity of access routes for all occupants without reliance on an elevator; and
- d) It must contain as a minimum: sufficient clean water for all occupants; portable radio with spare batteries; torch with spare batteries; and a first aid kit

Class 10 classified buildings and structures (as defined in the Building Codes of Australia) are excluded from this control. (non-habitable buildings or structures)

In the case of change of use or internal alterations to an existing building, a variation to this control may be considered if justified appropriately by a suitably qualified professional.

Note that in the event of a flood, occupants would be required to evacuate if ordered by Emergency

Services personnel regardless of the availability of a shelter-in-place refuge.

Compliance – Yes

Refer to the attached Flood Management Report

F. FENCING

F1 - Fencing, (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) shall be designed so as not to impede the flow of flood waters and not to increase flood affectation on surrounding land. At least 50% of the fence must be of an open design from the natural ground level up to the 1% AEP flood level. Less than 50% of the perimeter fence

would be permitted to be solid. Openings should be a minimum of 75 mm x 75mm. (3.03m)

Compliance – N/A (Yes)

The lowest part of the existing property is 3.16m ADH above the 1% AEP event of 3.03m. The control is not applicable to this site. It is compliant by the nature of the existing site levels and development proposal.

G. STORAGE OF GOODS

Compliance – N/A (Yes)

No such proposal is required or sort

H. POOLS

Compliance – N/A (Yes)

No such proposal is required or sort

Flood prone land Summary/Response:

At present the site is located in Northern Beaches Council Flood Hazard Map to be within the Medium Flood Risk Precinct. Generally, low-risk flood precincts are areas determined to have a low probability of flooding, often defined by particular flood event levels (such as the 1-in-100 year flood level). The %1 AEP for the site is 3.03m AHD. No existing level on the site is lower than 3.16m and there is no anticipated excavation/removal of land to be lower than this. As per the accompany survey report by CMS.

As per this report only three of the nineteen listed flood controls are applicable to this site. Although classified as Medium Risk the site is on the very low scale of Medium Risk nearing low risk (NBC Flood Control Matrix).

15 and 17 Narroy Road are naturally raised by the natural ground level and are unique to the other lie lowing properties on Narroy Road and surrounding areas. As illustrated in the images below, 15 and 17 Narroy Road are over 80cm above the natural road level.



Raised Corner allotment of 15 and 17 Narroy Road, North Narrabeen (Photo facing South)

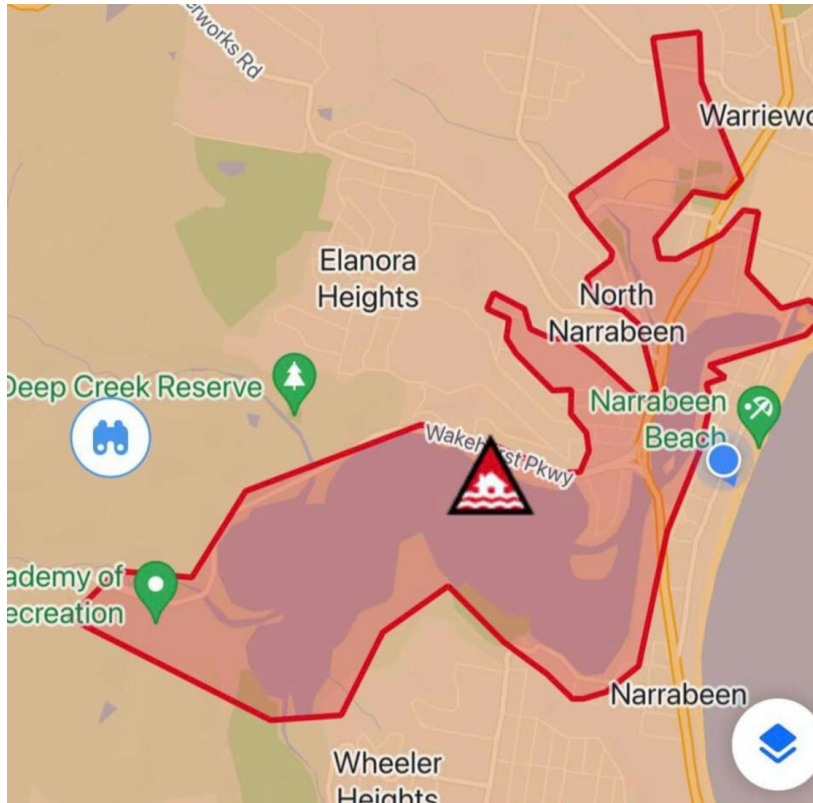


Raised Corner allotment of 15 and 17 Narroy Road, North Narrabeen (Photo facing South/West – corner of Narren and Venetian)



Raised Corner allotment of 15 and 17 Narroy Road, North Narrabeen (Photo facing West – corner of Narren and Venetian)

As illustrated in the evacuation order on 06 April 2024. All houses on Narroy Road excluding 15 and 17 (being the site subject to this proposal) were order to evacuate.



SES Evacuation Order 06 April 2024

B4. Control Relating to the Natural Environment

It is considered that the proposed development will have no impact on the natural environment in the locality, as the development is located entirely within a disturbed portion of the site.

Compliance – N/A

B5. Water management

The site is connected to the reticulated sewer system. Refer to stormwater management plan.

Rainwater is harvested and detained in an existing 2000 litre rainwater tank for reuse onsite. Surface stormwater and the tank overflow will drain to the Council asset at the front of the site. See stormwater plan provided with application.

Compliance – Yes

B6. Access and Parking

The DCP requires 2 onsite carparking spaces for dwellings with 2 bedrooms or more. The development proposes a new garage and carport (tandem) to accommodate two compliant car parking spaces. The development proposes the widening of the existing layback of 3.9m to 5.5m to include two car spaces.

Statement of Environmental Effects

Compliance – Yes

Justification

This is consistent to the neighbouring properties being 15 Narroy Road to the East, and 19 and 21 Narroy Road to the West. Narroy Road diagonal across and 34 Gondola Road backing onto 15 Narroy Road. Of note is the recent approval (04/04/2023) DA2022/1937 of 21 Narroy Road, North Narrabeen for a widen layback of 5.9m. 2

This is consistent with the locality of Narroy Road and Lido Ave where all houses use the layback for parking multiple vehicles.



Laybacks of 34 Gondola Road and 15 Narroy Road, North Narrabeen



Layback of 2 Narroy Road, North Narrabeen



Locality shot of starting from 19 Narroy Road demonstrating double parking on the layback in front properties



Locality shot of starting from 19 Narroy Road demonstrating double parking on the layback in front properties

B8. Site works and Management

All site works will be undertaken as required by Council controls and compliant with any relevant conditions of consent. Appropriate devices will be used during the construction process to ensure no issues arise with regard to erosion and sedimentation.

Compliance – Yes

Section C Design Criteria for Residential

C1.1 Design Criteria or Residential Development Landscaping

The DCP requires 60% landscaped area between the front boundary and any built structure. The DCP stipulates this to be calculated as *viewed directly onto the site*. The development proposes a landscaped area of 33m² of 55 m² forward of the building line being 60%.

Compliance – Yes

C1.2 Safety and Security

An ability to view the street frontage is retained allowing for casual surveillance which is to the benefit of the safety and security. A front fence and gate will also be installed to increase safety.

Compliance – Yes

C1.3 View Sharing

A site visit has been undertaken and it is concluded that the proposed development will not result in any view loss impacts.

Compliance – Yes

C1.4 Solar Access

The DCP requires 3 hours of solar access is maintained for the windows of principal living areas, solar collectors and private open space of the site and adjoining properties on 21 June.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in minor shadowing to the front two Eastern side windows of 19 Narroy Road and very limited shadowing of the Eastern side front yard. The shadowing of the two window is the same amount of shadowing that would have occurred from a carport approved in DA N0165/14 approved for the property in June 2014.

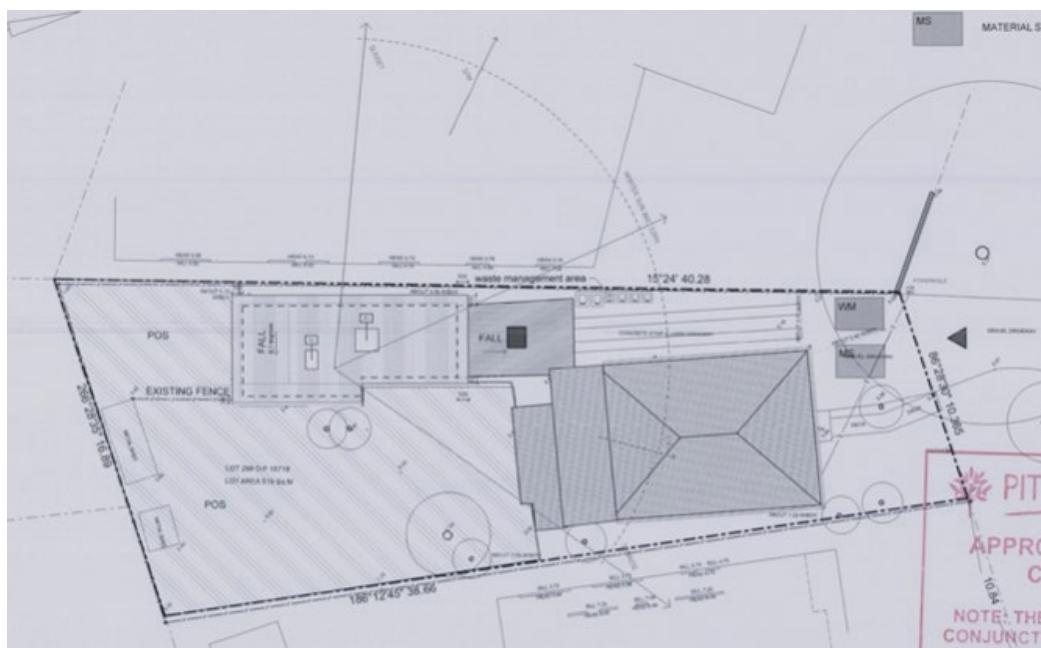


Image: Screenshot from DA N0165/14

12pm – The development will not result in any additional shadowing to any neighbouring properties. By 12pm there is no longer any shadowing of 19 Narroy Road. An added benefit of remaining a single storey home.

3pm – The development will result in minimal shadowing to the western side of 15 Narroy Road. This will not impact upon their internal or external living areas. 15 Narroy Road was designed to face East and North viewing the open spaces of Venetian Road and Narroy Road.

It is concluded that the subject site and adjoining properties maintain compliant solar access at 9am, 12pm and 3pm and no one site having a loss which results in less than 3 hours being achieved.

Compliance – Yes

C1.5 Visual Privacy

Privacy will be retained for neighbours with adequate setbacks proposed and no direct overlooking windows into any key living areas.

The ground floor is visually separated from neighbouring properties by existing boundary fencing. Privacy measures have been incorporated into the design of the ground including orienting windows to the front and rear of the lot and offsetting windows and high sill heights along the boundary.

Compliance – Yes

C1.6 Acoustic Privacy

The development is appropriate and will not result in noise levels inappropriate to a residential area. The site is not located in close proximity to a noise generating activity.

Compliance – Yes

C1.7 Private Open Space

The minimum private open space requirement of 80sqm is easily accommodated in the rear yard, as required by the DCP.

Compliance – Yes

C1.8 Private Open Space

Compliance – N/A (Yes)

No such proposal is required or sort. The neighbouring property 19 Narroy Road is set back from the existing driveway.

C1.11 Secondary Dwellings and Rurl Worker's Dwellings

Compliance – N/A (Yes)

No such proposal is required or sort

C1.15 Storage Facilities

A lockable storage area of minimum 8 cubic metres per dwelling shall be provided. This may form part of a carport or garage.

Variations

Nil

Compliance – Yes

Proposal of a lock up garage is sort where a previously approved carport is (DA N0165/14) was destined. No existing lockable storage area exists. The garage location is to the side of the existing dwelling.

C1.12 Waste and Recycling Facilities

The existing dwelling has appropriate waste storage areas which will be retained with the proposed development.

Compliance – Yes

C1.23 Eaves

Dwellings shall incorporate eaves on all elevations.

Eaves must be a minimum of 450mm in width, excluding any fascia/barge boards and gutters.

Compliance – Yes (excluding fire rated areas between the existing granny flat and proposed addition).

Justification

This area of the development is not viewable from the street and/or neighbouring properties and allows the development more ease to adhere to the Fire Rating FRL 60/60/60.

Part D – North Narrabeen Locality

The site is located in the North Narrabeen Locality and is consistent with the desired character, built form and natural environment criteria as specified in the DCP. The proposed works are considered appropriate within the residential and natural setting.

The design, scale and treatment of the proposed development is compatible with dwellings within the immediate setting. External materials and finishes will be consistent with the colours and materials of surrounding dwellings being weatherboard cladding and Colourbond roofing. The proposal provides for a modest ground floor extension to the rear and a 805mm extension to the south eastern front side of the property with decking and shading to incorporate a high level of articulation that does not exist with the existing dwelling (likely built circa 1950).

Compliance – Yes

D11.1 Character as viewed from a public place

Buildings which front the street must have a street presence and incorporate design elements (such as roof forms, textures, materials, the arrangement of windows, modulation, spatial separation, landscaping etc) that are compatible with any design themes for the locality. Blank street frontage facades without windows shall not be permitted.

Walls without articulation shall not have a length greater than 8 metres to any street frontage.

Statement of Environmental Effects

Any building facade to a public place must incorporate at least two of the following design features:

- i. entry feature or portico;
- ii. awnings or other features over windows;
- iii. verandahs, balconies or window box treatment to any first floor element;
- iv. recessing or projecting architectural elements;
- v. open, deep verandahs; or
- vi. verandahs, pergolas or similar features above garage doors.

The bulk and scale of buildings must be minimised.

Garages, carports and other parking structures including hardstand areas must not be the dominant site feature when viewed from a public place. Parking structures must be located behind the front building line, preferably set back further than the primary building, and be no greater in width than 50% of the lot frontage, or 7.5 metres, whichever is the lesser.

Landscaping is to be integrated with the building design to screen the visual impact of the built form. In residential areas, buildings are to give the appearance of being secondary to landscaping and vegetation.

Television antennas, satellite dishes and other telecommunications equipment must be minimised and screened as far as possible from public view. General service facilities must be located underground.

General service facilities must be located underground.

Attempts should be made to conceal all electrical cabling and the like. No conduit or sanitary plumbing is allowed on facades of buildings visible from a public space.

Proposal

The existing dwelling developed over 60 years ago has a very limited facade and is fairly ugly and in dire need of a face lift/alteration. To achieve this control and to retain the original frame/structure of the dwelling it is proposed to increase the north eastern corner of the property by 805mm to give the property recessing or projecting architectural elements (iv) inside the existing building line. An open gabled pergola and deck (v) of 1.6m by 3.39m will be built in front of this to provide a further feature and articulation to the property. In the recess will be a wide open front veranda 1m in depth spanning the rest of the existing dwelling with an halfmoon shaped window above the front door as an entry feature/portico (i). This will be covered by 450mm eaves.

The windows and doors will be articulated in trim protruding the weatherboard cladding as a feature.

A compliant front fence and gate with associated landscaping will complete character of the property which is massive improvement on the existing dwelling.

Compliance – Yes

D11.2 Scenic protection – General

Statement of Environmental Effects

Development shall minimise any visual impact on the natural environment when viewed from any waterway, road or public reserve.

Compliance – Yes

D11.3 Building colours and materials

External colours and materials shall be dark and earthy tones as shown below:

Finishes are to be of a low reflectivity.

Variations

Council may consider lighter coloured external walls (excluding white) only for residential development within Area 3 on the Landscaped Area Map, and for non-residential development in areas that are not visually prominent.

Heritage items may vary this control where heritage colours and fabrics appropriate to the building are applied.

Advisory Notes

Contact Council to ensure proposed external colours and materials are satisfactory.

Proposal

AREA	SUBSTRATE	FINISH	COLOUR
Exterior Walls	James Hardie Linea Weatherboard – 180mm	Paint	Dulux- Feather Soft (low sheen)
Roof	Colorbondsteel	Colourbond	Colourbond – Shale Grey
Window/Glass Door Frame	Aluminium	Powdercoat	White
Trims	Timber	Paint	Dulux – Vivid White (low sheen)

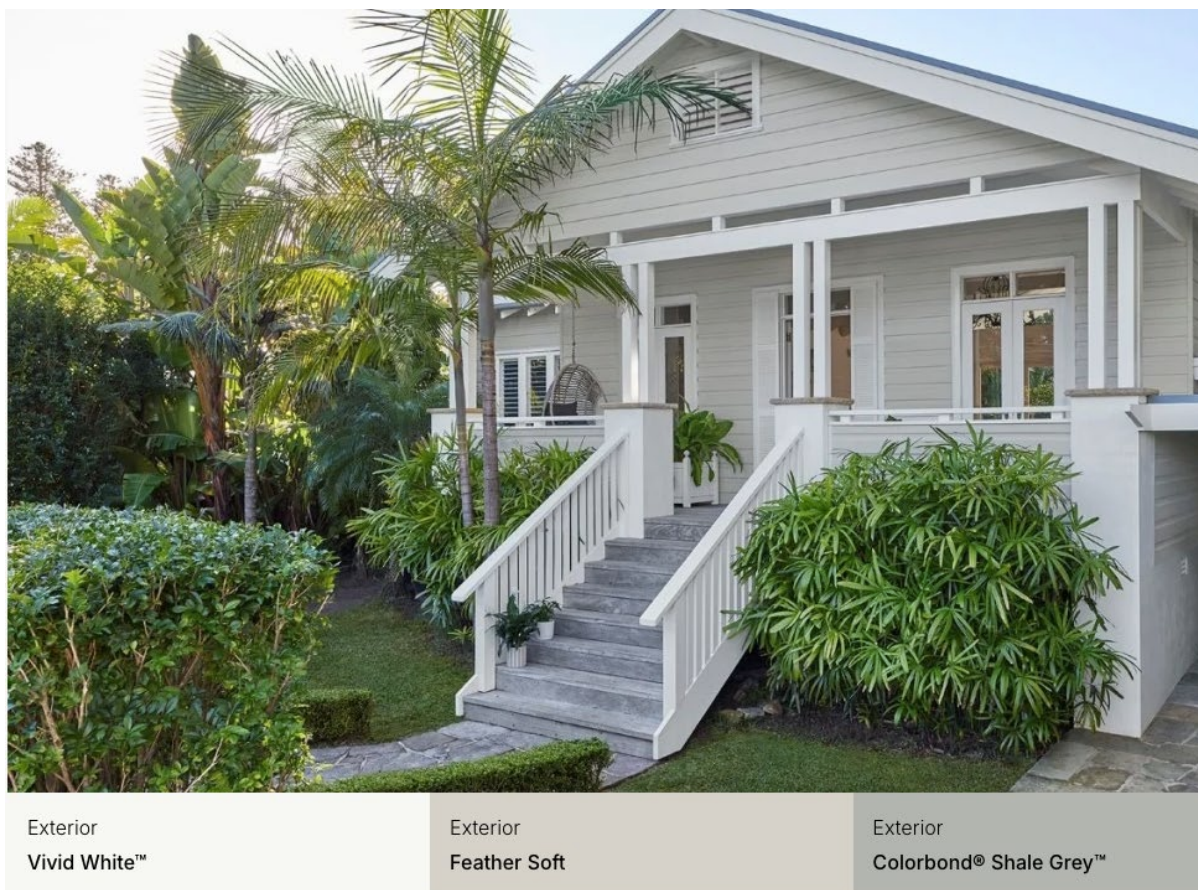


Image: Visual representation from Dulux Website

Compliance – Yes

D11.6 Front building lines

Outcomes

- Achieve the desired future character of the Locality. (S)
- Equitable preservation of views and vistas to and/or from public/private places. (S)
- The amenity of residential development adjoining a main road is maintained. (S)
- Vegetation is retained and enhanced to visually reduce the built form. (En)
- Vehicle manoeuvring in a forward direction is facilitated. (S)
- To enhance the existing streetscapes and promote a scale and density that is in keeping with the height of the natural environment.
- To encourage attractive street frontages and improve pedestrian amenity.
- To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment.

Controls

The minimum front building line shall be in accordance with the following table.

Land	Front Building Line (metres)
Land zoned R2 Low Density Residential or E4 Environmental Living adjoining Pittwater Road or the Wakehurst Parkway.	10 or established building line, whichever is the greater
All other land zoned R2 Low Density Residential or E4 Environmental Living	6.5 or established building line, whichever is the greater

Statement of Environmental Effects

Land zoned B1 Neighbourhood Centre or B2 Local Centre	3.5
Land zoned IN2 Light Industrial	6.5
All other land	Merit Assessment

Built structures, other than driveways, fences and retaining walls are not permitted within the front building setback.

Variations

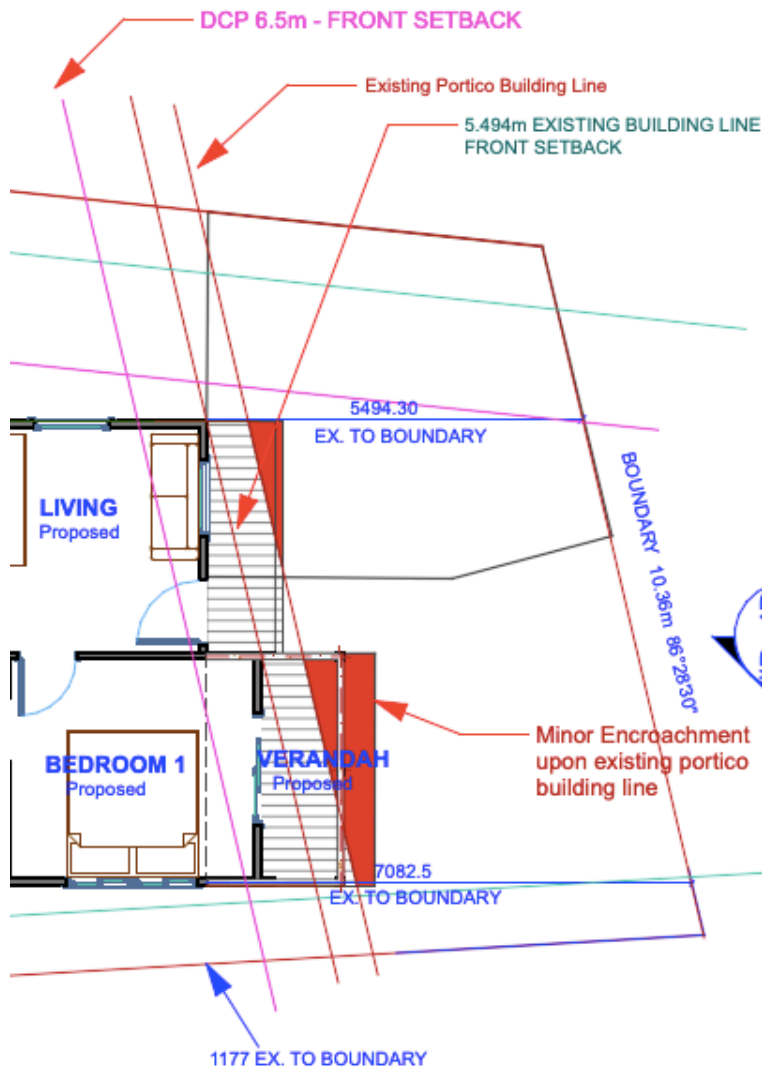
Where the outcomes of this control are achieved, Council may accept a minimum building setback to a secondary street of half the front building line.

Where the outcomes of this control are achieved, Council may accept variation to these building lines in the following circumstances:

- considering established building lines;
- degree of cut and fill;
- retention of trees and vegetation;
- where it is difficult to achieve acceptable levels for building;
- for narrow or irregular shaped blocks;
- where the topographic features of the site need to be preserved;
- where the depth of a property is less than 20 metres.

Proposal

The dwelling will be built to the existing building line of 5.49m. The existing portico is 1.1m in length and at its closest point is 5m from the front building line. The widen portico/veranda accessing the front entry remains with same length but is widen to the edge of the dwelling to improve the attractiveness if the front building viewed from the street. A small allowance for and a maximum encroachment upon the existing building line is requested for the front veranda and open gable pergola off the front bedroom (bedroom 1) of 1.27m. As illustrated below this encroachment is reduced in a triangle position as the existing house is not parallel with the boundary. The maximum encroachment is located near the centre of the property mitigating the impact upon the neighbouring lots. This is an open structure like many of the existing carports within the area and council approved carports and neighbours two sites.



Compliance – Yes (no for the front veranda)

Justification

The existing dwelling does not run parallel with the front boundary as it is situated on an irregular quadrilateral lot with a narrow street front of 10.36m. The front building line runs at an angle of 103.18°. Generally any street frontage under 10.5m is classified as narrow lot. This also does not factor in that the front building does not run perpendicular (90°) to the side boundary making the lot even more narrow and difficult to comply with proposed setbacks.

There is a permissible allowance for variations to the front building lines for narrow and irregular shaped blocks. This site by definition is both narrow and irregular. The proposed design has been designed to have a minimal impact.

The main outcome of this control is to achieve the desired future character of the locality set out in control D11.1. To achieve the existing street frontage of the dwelling requires significant works. To

Statement of Environmental Effects

accomplish an open front gable with a veranda and widening of the existing front portico has been designed to significantly increase the attractiveness of the dwellings street frontage.

A lot of encroachments in the past have set a precedent within the area for variation to the front building line to be permissible;

Location	Carport beyond building line
19 Narroy Road	No
21 Narroy Road	DA Approved
23 Narroy Road	Yes
25 Narroy Road	Yes
27 Narroy Road	Yes
9 Lido Ave	DA Approved (2022/2071)
3 Lido Ave	Yes
7 Lido Ave	Yes
12 Lido Ave	Yes
37 Gondola Rd	Yes
59 Gondola Rd	Yes
115 Gondola Rd	Yes
19 Nareen Parade	Yes



Image: Carports located at 21, 23 and 25 Narroy Road

The siting of the dwelling itself complies with the front setback control (existing building line).

The proposed porch are modest in bulk and scale, and will not be a visually dominant feature within the locality.

The bulk and scale of the new works are in keeping with character and extent of newer development in the locality.

Statement of Environmental Effects

Notwithstanding the variation to the front building line control, the proposal is in keeping with the desired outcomes of this clause and is worthy of support on merit.

D11.7 Side and rear building lines –

Controls

The minimum side and rear building line for built structures including pools and parking structures, other than driveways, fences and retaining walls, shall be in accordance with the following table:

Land	Side & Rear Building Line Setback (metres)
Land zoned R2 Low Density Residential or E4Environmental Living	2.5 to at least one side; 1.0 for other side 6.5 rear (other than where the foreshore building line applies) Dual Occupancy 2.5 to at least one side ; 1.0 for other side 6.5 rear (other than where the foreshore building line applies) Secondary Dwelling 2.5 to at least one side; 1.0 for other side 6.5 rear (other than where the foreshore building line applies) Residential flat buildings and multi dwelling housing: See below

point measured in metres above existing ground level

Variations

Where alterations and additions to existing buildings are proposed, maintenance of existing setbacks less than as specified may be considered where it is shown that the outcomes of this clause are achieved.

Where the depth of a property is less than 20 metres, Council may accept a reduced building setback from the rear boundary.

Side and rear setbacks may be varied for residential flat buildings and multi dwelling housing under the following circumstances provided Council is satisfied that the adjoining properties will not be adversely affected and that the outcomes of this clause are achieved:

- Where it can be demonstrated that the objectives of the controls can be achieved without strict adherence to the standards.
- Where the site constraints make strict adherence to the setback impractical and the applicant can demonstrate that development complies with the objectives of this DCP.
- Where strict compliance with these requirements will adversely impact on the views of adjoining residential properties.
- Unroofed balconies, verandahs, covered entranceways, porches and light or open structures (including carports).
- Minor encroachments into setback areas are permissible, including roof eaves, sunhoods, gutters, downpipes, chimneys, light fittings, electricity and gas meters, TV aerials and satellite dishes.

Proposal

The existing side setbacks are to be maintained.

The boundary to the West relies upon existing granny flats building line and is the boundary listed to mainly comply with the 2.5m setback to one side as there is an existing driveway that runs down this side of the property and will partially maintained. The boundary to the East relies upon the DCP setback of 900mm.

Compliance – Yes (to the east) - No (to the West)

Justification

As per control D11.6 Garages, carports and other parking structures including hardstand areas must not be the dominant site feature when viewed from a public place. Parking structures must be located behind the front building line, preferably set back further than the primary building, and be no greater in width than 50% of the lot frontage, or 7.5 metres, whichever is the lesser.

To achieve this control the only suitable location is to place the garage at the end of the driveway in front of the existing granny flat. The garage maintains the building line of the exiting granny flat. The garage has minimal impact to the neighbouring property 19 Narroy Road and is a non-habitable room lessening any additional impact.

Setting the garage and extended carport in this location increases the attractiveness of dwellings street frontage.

The carport is an open structure and suitable for variation as per the control.

The proposed garage and carport are modest in bulk and scale, and will not be a visually dominant feature within the locality.

The bulk and scale of the new works are in keeping with character and extent of newer development in the locality.

Notwithstanding the variation/6m continuation of the existing side building line control, the proposal is in keeping with the desired outcomes of this clause and is worthy of support on merit.

D11.9 Building Envelope

Controls

Development other than residential flat buildings and multi dwelling housing:

Planes are to be projected at 45 degrees from a height of 3.5 metres above ground level (existing) at the side boundaries to the maximum building height (refer to *Pittwater Local Environmental Plan 2014*).

Proposal

Nil encroachments. Dwelling remains single storey with a roof pitch of 24°.

Compliance – Yes

D11.10 Landscaped Area – General

Controls

The total landscaped area on land zoned R2 Low Density Residential shall be 50% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 50% of the site area as landscaped area.

Variations

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

1. impervious areas less than 1 metre in width (e.g. pathways and the like);
2. for single dwellings on land zoned R2 Low Density Residential, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

Proposal

As illustrated on the Landscape Area General and Waste Management Plan. The proposal requests both variations of 1 and 2 to be sort being impervious areas less than 1m in width (e.g. pathways and the like) and 6% total site area allowance for roofed and unroofed areas. This allowance is sort to keep the dwelling a single storey to allow continued privacy to all neighbouring lots. Should the landscape foot print be shortened then it would force the alteration and additions to become a two storey dwelling having a wider impact on the surrounding lots with views into some of the neighbouring back yards and private spaces. This is the best option to keep adhere to the principles of the DCP and to keep harming with in the immediate surrounds of the development. It is noted that the main dwelling is only 158m² which is relatively small in comparison to the locality.

Landscaped Area	Area (m ²)	Percentage (%)
Soft Landscaping Area	178.835	34.5
Impervious Landscaped Area less than 1 metre (pathways etc)	49.305	9.5
Landscape % of Site Area	228.14	44
Plus		
impervious landscaped allowance of (6%) 31.14sqm (rear deck, front deck and front portico) – 38m ²	31.14	6
hard surface area to be retained	57.5	11.2
Proposed Dwelling	158	30.4

Statement of Environmental Effects

Existing Granny Flat	44	8.4
Total % of Hardsurfaces	259.5	50
Existing Dwelling	96.27	18.5
existing hard surface area - 154sqm	154	29.6

Compliance – Yes

D11.12 Fences – General

Controls

a. Front fences and side fences (within the front building setback)

Front fences and side fences (within the front building setback) shall:

- not exceed a maximum height of 1 metre above existing ground level,
- be compatible with the streetscape character, and
- not obstruct views available from the road.

Fences are to be constructed of open, see-through, dark-coloured materials.

Landscaping is to screen the fence on the roadside. Such landscaping is to be trimmed to ensure clear view of pedestrians and vehicles travelling along the roadway, for vehicles and pedestrians exiting the site.

Original stone fences or stone fence posts shall be conserved.

Proposal

A front fence to be installed. Picket fence at 1.2m in height consistent with the neighbouring properties along opposite Narroy Reserve being number 21, 25 and 27 Narroy Raod.

All other fencing to remain at the existing heights.

Compliance – Yes – No (Front Fence)

Justification

An allowance of 200mm has been requested based on the following grounds;

The front fences on the immediate properties west along Narroy Road are all above 1m having the following heights;

Location	Front Fence Height
19 Narroy Road	1.22m
21 Narroy Road	1.4m
23 Narroy Road	1.42m
25 Narroy Road	1.2m
27 Narroy Road	1.31m

The finished fence height between the proposed site 17 and 15 Narroy Road finishes at 1.2m allowing continuity.

The 200m allowance in the height of the fence will maintain the continuity of character along Narroy Road.



Image: 21, 23, 25 & 27 Narroy Road Fencing

7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979

7.1 The provisions of any environmental planning instrument

The proposal is subject to the provisions of the Pittwater Local Environmental Plan 2014 and the relevant supporting Council policies. It is considered that the provisions of this environmental planning instrument have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

There are no draft instruments applying to the land.

7.3 Any development control plan

Statement of Environmental Effects

The development has been designed to comply with the requirements of Council's Pittwater 21 Development Control Plan 2014.

The application has been prepared having regard to the requirements of Section B, Section C and Section D of the Pittwater 21 DCP.

It is considered that the proposed design respects the aims and objectives of the DCP however we note that the Environmental Planning and Assessment Amendment Act 2012 No 93 (Amendment Act) which received assent on 21 November 2012 commenced on 1 March 2013.

Key amongst the amendments are requirements to interpret DCPs flexibly and to allow reasonable alternative solutions to achieve the objectives of DCP standards.

The new section 3.42 provides that the 'principal purpose' of DCPs is to 'provide guidance' on:-

- giving effect to the aims of any applicable environmental planning instrument
- facilitating permissible development
- achieving the objectives of the relevant land zones.

The key amendment is the insertion of section 4.15(3A) which:

- prevents the consent authority requiring more onerous standards than a DCP provides,
- requires the consent authority to be 'flexible' and allow 'reasonable alternative solutions' in applying DCP provisions with which a development application does not comply,
- limits the consent authority's consideration of the DCP to the development application (preventing consideration of previous or future applications of the DCP).

We request that Council applies considered flexibility where the application seeks variations to numerical development controls in the DCP as justified in this report. In particular we consider that the variations to the front setback and landscaped area controls is a reasonable alternative solution to compliance where the site conditions results in a challenge to designing for new development which fully respects the landscaped area criteria.

It is considered that the proposed design respects the desired character objectives of the DCP in that it reinforces the existing residential character of the area and is compatible with the existing uses in the vicinity.

7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

No matters of relevance are raised in regard to the proposed development.

7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph),

No matters of relevance are raised in regard to the proposed development.

7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

It is considered that the proposal, which seeks consent for proposed construction of alterations and additions to an existing dwelling and construction of a new pool, will not unreasonably impact upon the amenity of adjoining properties or upon the character of the surrounding area. It is considered that the resultant development is compatible with and will complement the residential character of the area.

The proposal is considered to be well designed having regard to the relevant provisions of the Council's PLEP 2014 and Council's Codes and Policies, in particular the Pittwater 21 DCP and the North Narrabeen Locality Statement.

7.7 The suitability of the site for the development

The subject land is currently zoned R2 Low Density Residential under the Pittwater Local Environmental Plan 2014 and is considered suitable for the proposed development.

7.8 Any submissions made in accordance with this Act or the regulations

This is a matter for Council in the consideration of this proposal.

7.9 The public interest

The proposal will not impact upon the environment, the character of the locality or upon the amenity of adjoining properties and is therefore considered to be within the public interest.

Conclusion

The principle objective of this development is to provide for the proposed construction of alterations and additions to an existing dwelling and construction of a new garage and carport, which will respect and complement the site's location.

It is considered that the proposed works satisfy the stated objectives of Council's Development Controls. By maintaining our neighbour's amenity and by complimenting the existing style and character of the surrounding locality, the stated objectives have been satisfied.

As the proposed development will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.