

progressive plans

Residential Dwelling
NEWPORT, NSW 2106
10 February 2025
Issue A

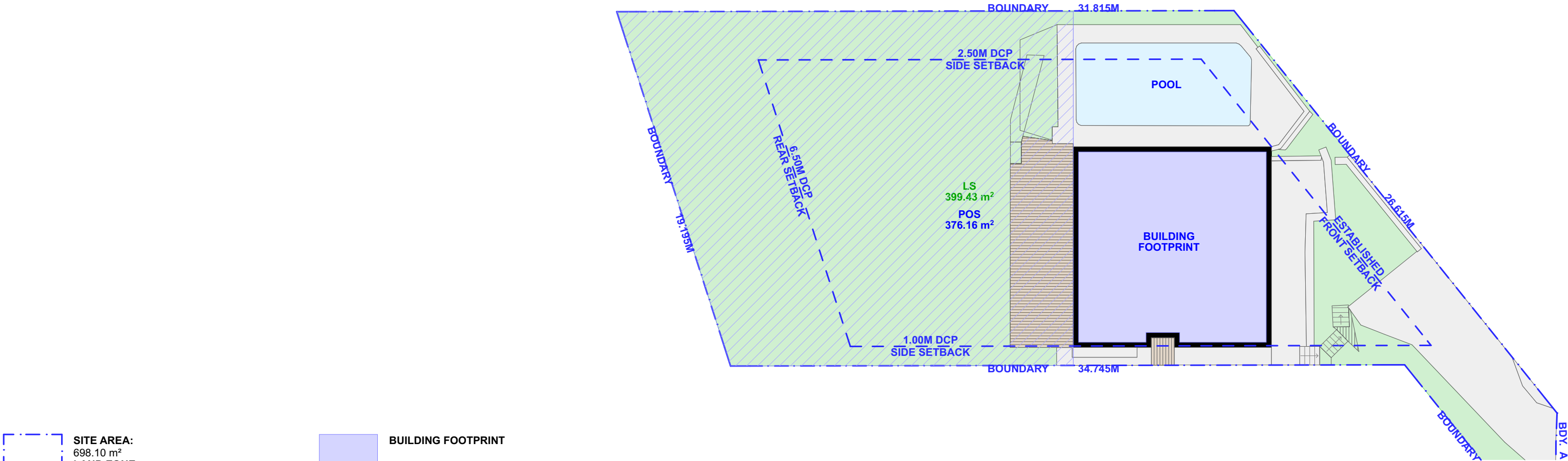
Prepared for
ALAN KENT

Development Application

75 CHERYL CRESCENT



NO:	SHEET NAME	DATE
DA00	COVER PAGE	10/2/2025
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DA21	SHADOW DIAGRAM - JUNE 21ST - 9AM	10/2/2025
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SITE AREA:
698.10 m²
LAND ZONE:
C4 - ENVIRONMENTAL LIVING

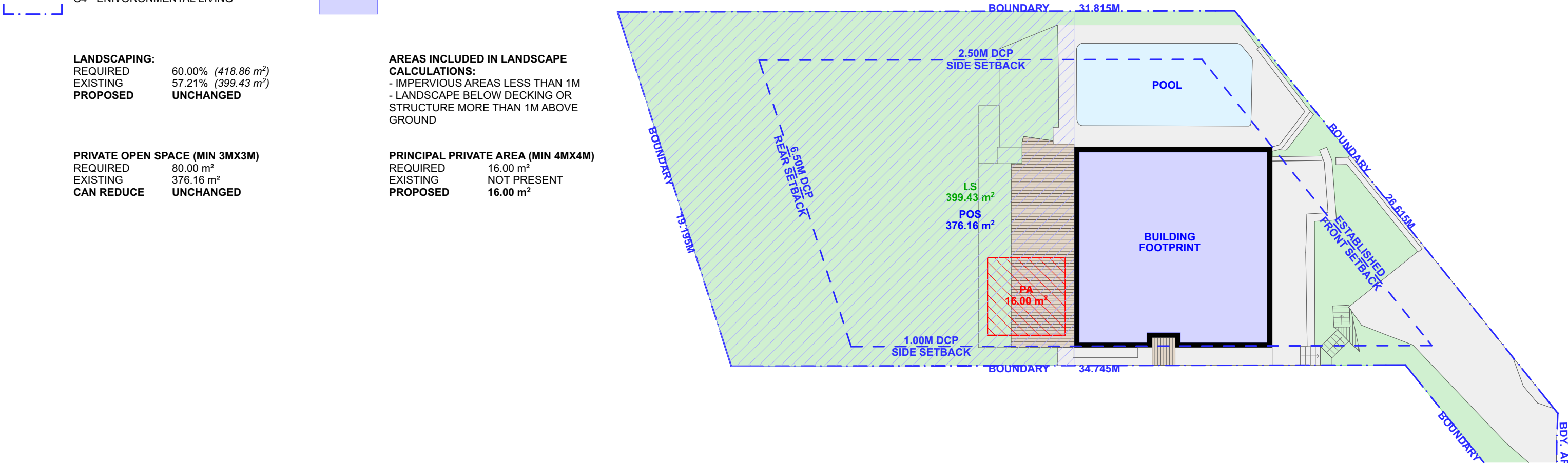
BUILDING FOOTPRINT

LANDSCAPING:
REQUIRED 60.00% (418.86 m²)
EXISTING 57.21% (399.43 m²)
PROPOSED **UNCHANGED**





AREAS INCLUDED IN LANDSCAPE CALCULATIONS:
- IMPERVIOUS AREAS LESS THAN 1M
- LANDSCAPE BELOW DECKING OR STRUCTURE MORE THAN 1M ABOVE GROUND

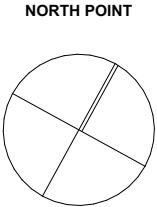
PRIVATE OPEN SPACE (MIN 3MX3M)
REQUIRED 80.00 m²
EXISTING 376.16 m²
CAN REDUCE **UNCHANGED**

PRINCIPAL PRIVATE AREA (MIN 4MX4M)
REQUIRED 16.00 m²
EXISTING NOT PRESENT
PROPOSED **16.00 m²**



REV.	NOTES.	INITIAL	DATE
A	DA SET	LW	10.02.25

LEGEND
 DWELLING WALLS
 CONCRETE / PAVERS
 TIMBER DECK
 POOL / WATER



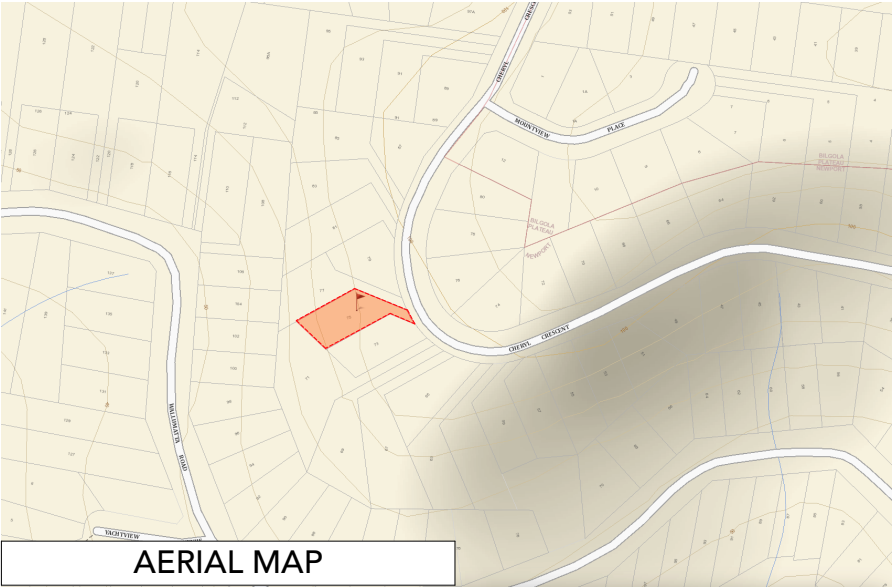
CLIENTS:
ALAN KENT

SITE ADDRESS:
75 CHERYL CRESCENT
NEWPORT, NSW, 2106

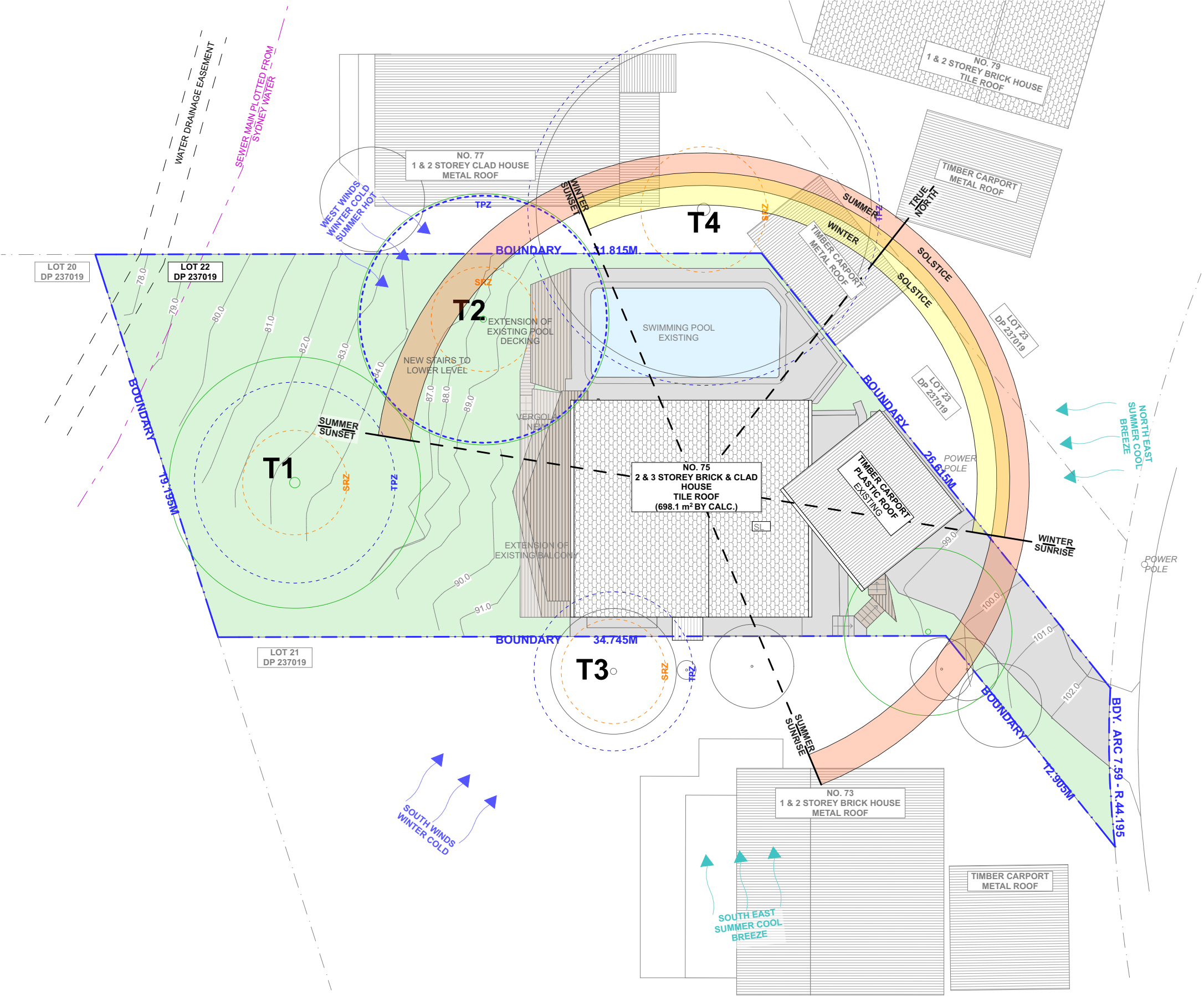
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SCALE: 1:200 @A3	DATE: 10/2/2025
PROJECT NO: 1010	DRAWING NO: DA02




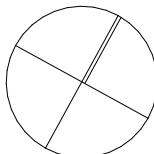
LOCATION MAP



AERIAL MAP



NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

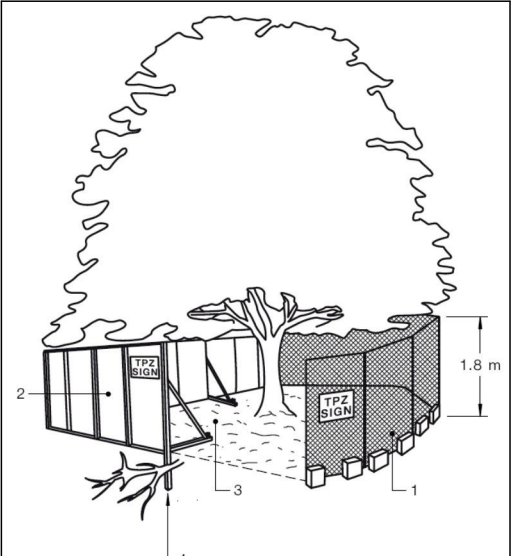
<div><div></div><div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div></div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	REV.	NOTES.	INITIAL	DATE	<div>LEGEND</div> <div><div><div>EXISTING</div><div>DEMOLISHED</div><div>EXISTING ROOF</div><div>PROPOSED ROOF</div><div>SEDIMENT EROSION FENCE</div></div><div><div>LANDSCAPE / GRASS</div><div>CONCRETE / PAVERS</div><div>TIMBER DECK</div><div>POOL / WATER</div></div><div><div>DP: DEPOSIT PLAN RL: REDUCED LEVEL SP: STRATA PLAN TPZ: TREE PROTECTION ZONE SRZ: STRUCTURAL ROOT ZONE</div></div></div>	<div>NORTH POINT</div> <div></div>	CLIENTS: ALAN KENT		DRAWING TITLE: SITE ANALYSIS	
		A	DA SET	LW	10.02.25			SCALE: 1:200 @A3	DATE: 10/2/2025		
								PROJECT NO: 1010	DRAWING NO: DA03		
								SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106			

SKIP BIN
RECYCLING

SKIP BIN
WASTE

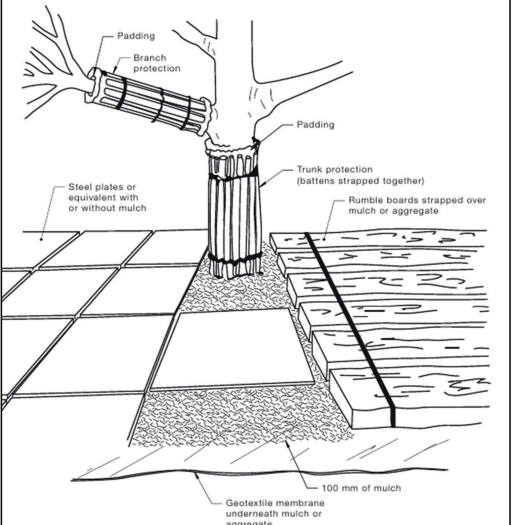
MATERIAL
STORAGE

SKIP BINS & MATERIAL STORAGE TO BE STORED IN
FRONT YARD OR DRIVEWAY



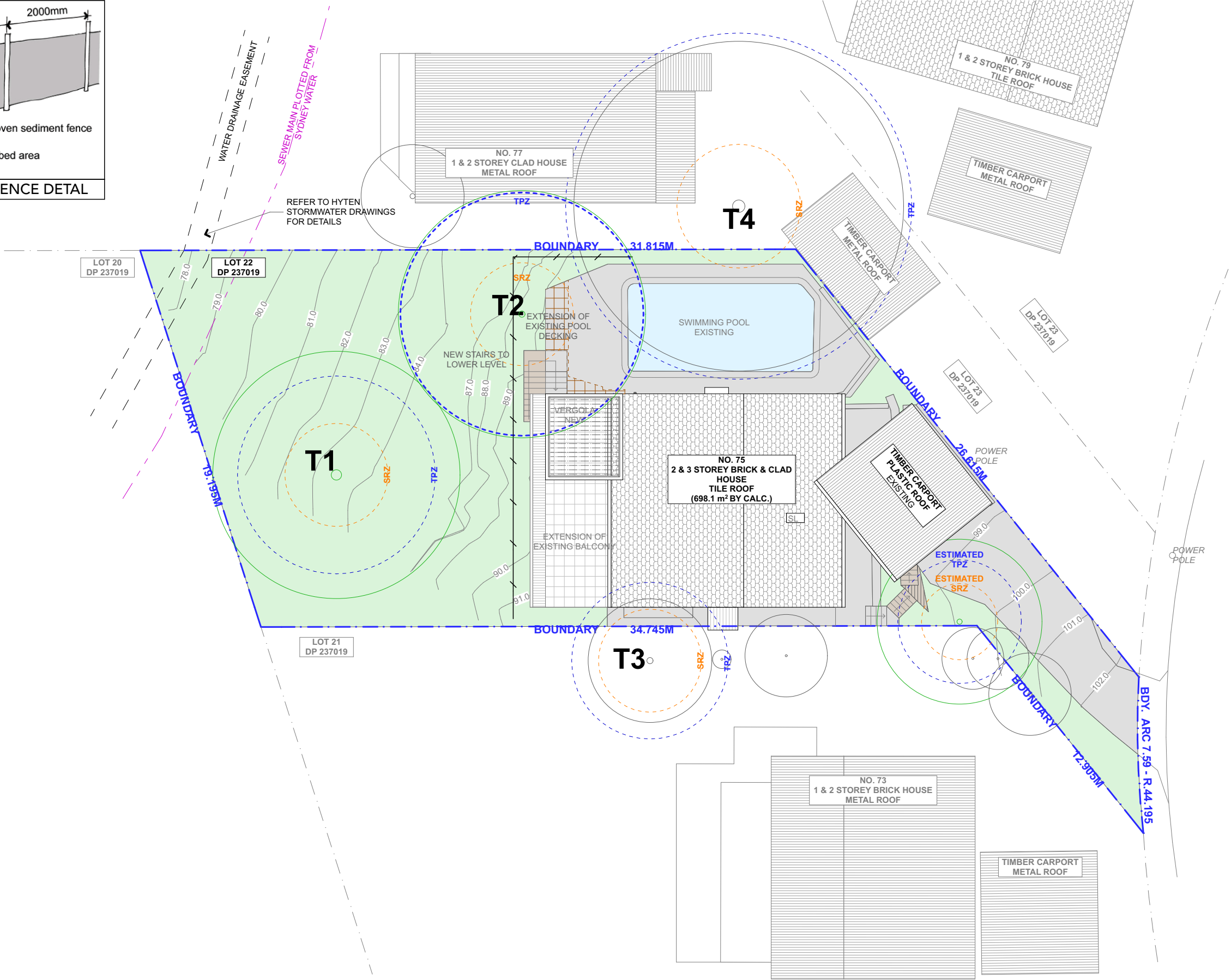
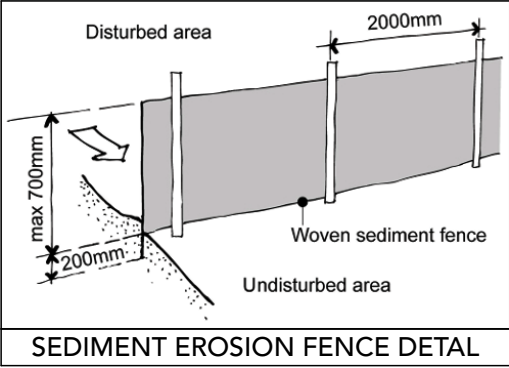
**TREE PROTECTION ZONE (TPZ)
FENCING (WHEN POSSIBLE):**

- CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
- ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
- MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
- BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



**TREE PROTECTION ZONE (TPZ)
FENCING (NOT POSSIBLE):**


- FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.
- RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.



1

SITE - WASTE - SEDIMENT PLAN

1:200



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0400 699 850
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LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

SEDIMENT EROSION FENCE

LANDSCAPE / GRASS

CONCRETE / PAVERS

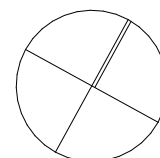
TIMBER DECK

POOL / WATER

ABBREVIATIONS

DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN
TPZ: TREE PROTECTION ZONE
SRZ: STRUCTURAL ROOT ZONE

NORTH POINT



CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

SITE - WASTE - SEDIMENT PLAN

SCALE:

1200 @A3

DATE:

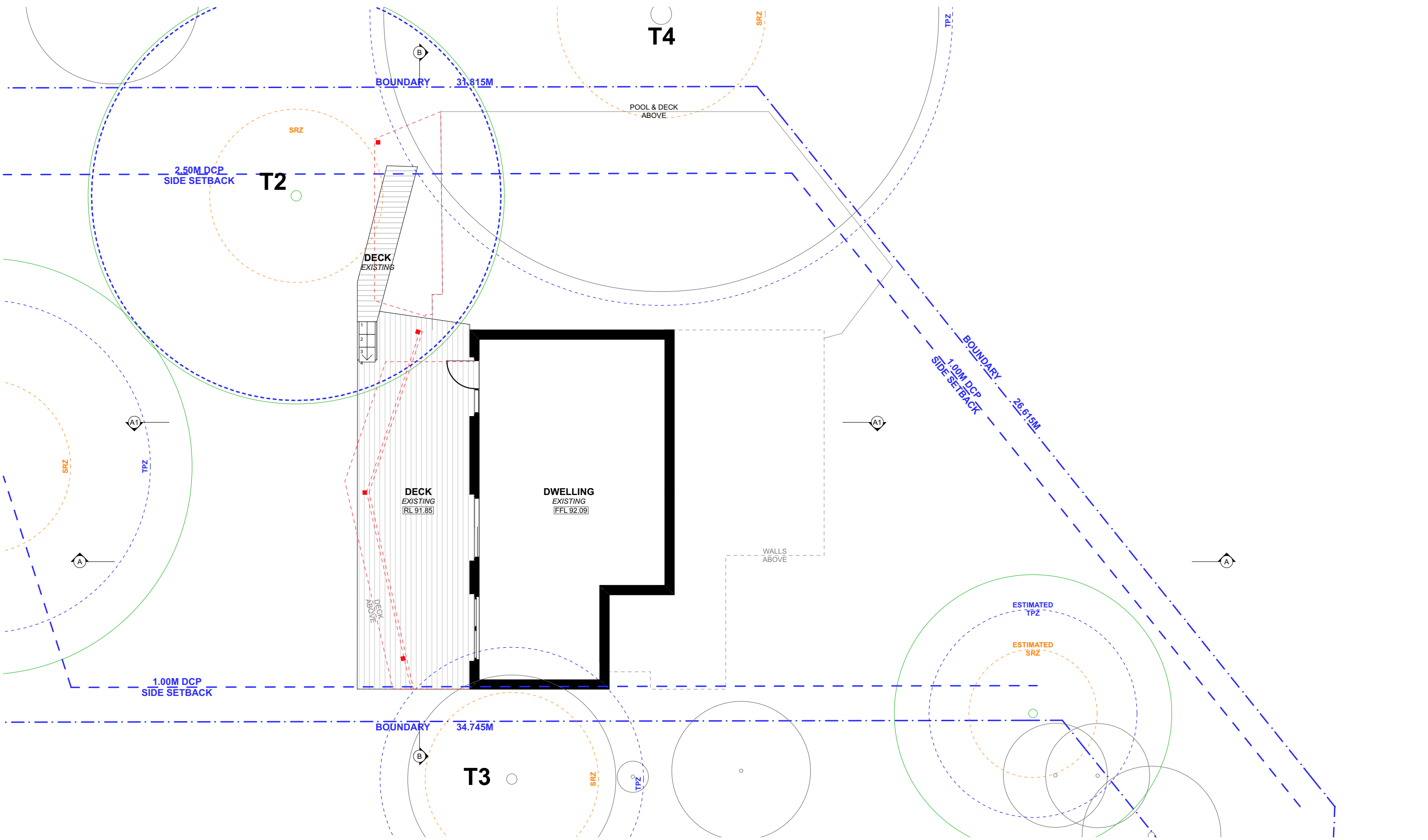
10/2/2025

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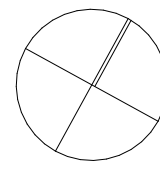
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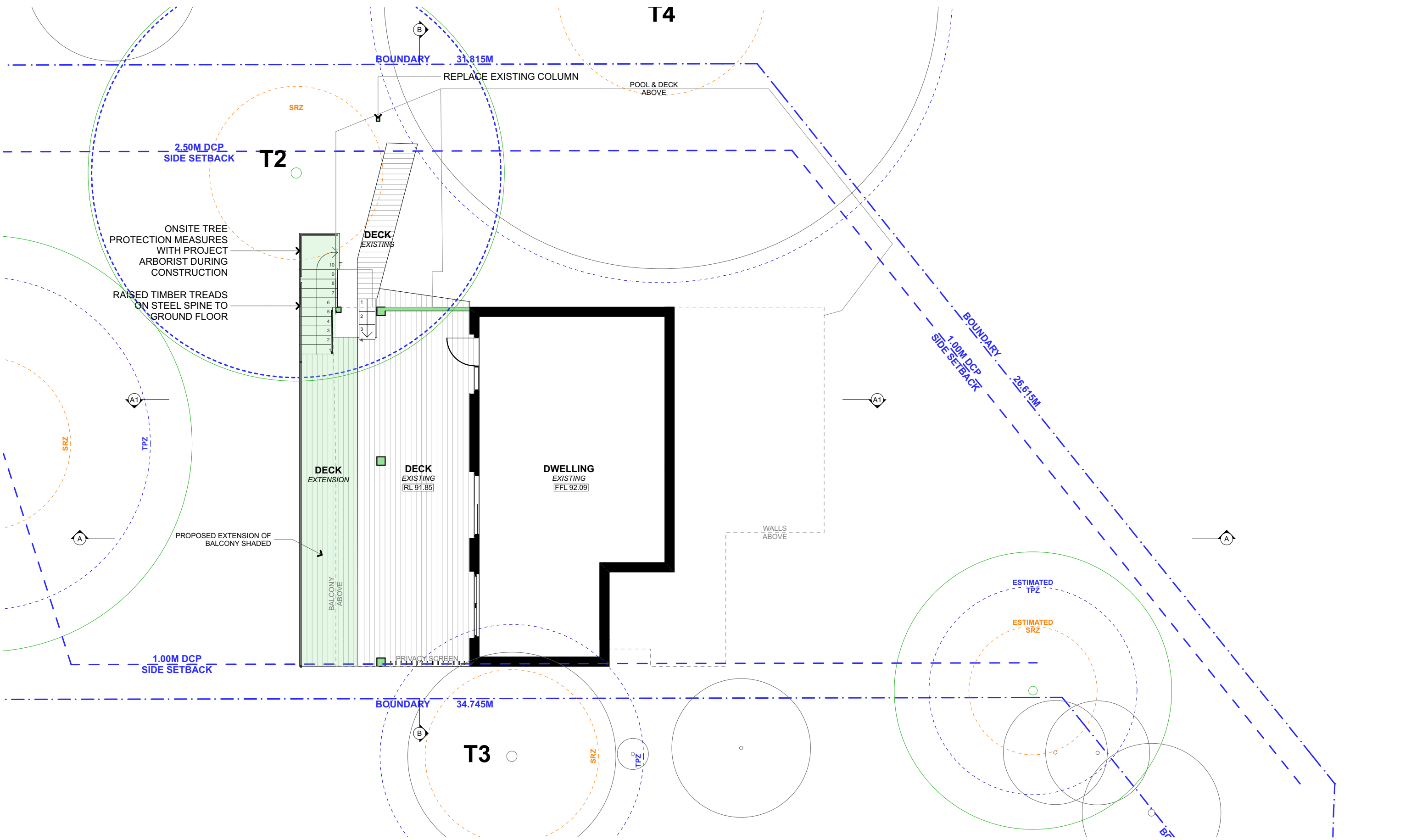
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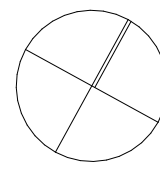


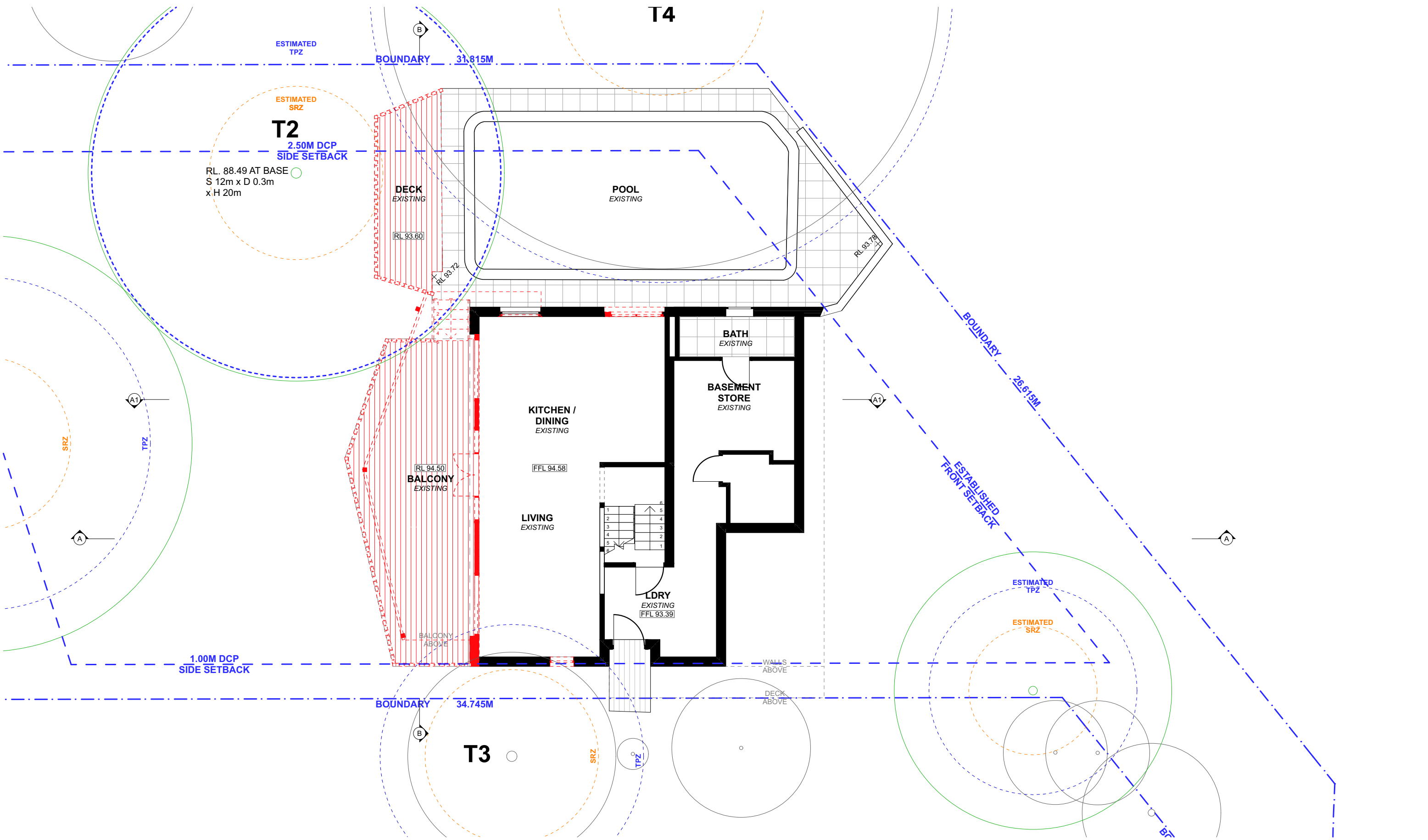
NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div><div></div> EXISTING</div> <div><div></div> DEMOLISHED</div> <div><div></div> PROPOSED</div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALAN KENT SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106		DRAWING TITLE: EXISTING LOWER GROUND FLOOR PLAN	
		SCALE: 1:100 @A3		DATE: 10/2/2025								
		PROJECT NO: 1010		DRAWING NO: DA05								




1 PROPOSED LOWER GROUND FLOOR PLAN 1:100

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		SCALE: 1:100 @A3		DATE: 10/2/2025								
		PROJECT NO: 1010		DRAWING NO: DA06								



1 EXISTING GROUND FLOOR PLAN 1:100

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A	DA SET	LW	10.02.25

LEGEND

EXISTING

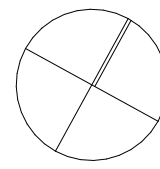
DEMOLISHED

PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM

NORTH POINT



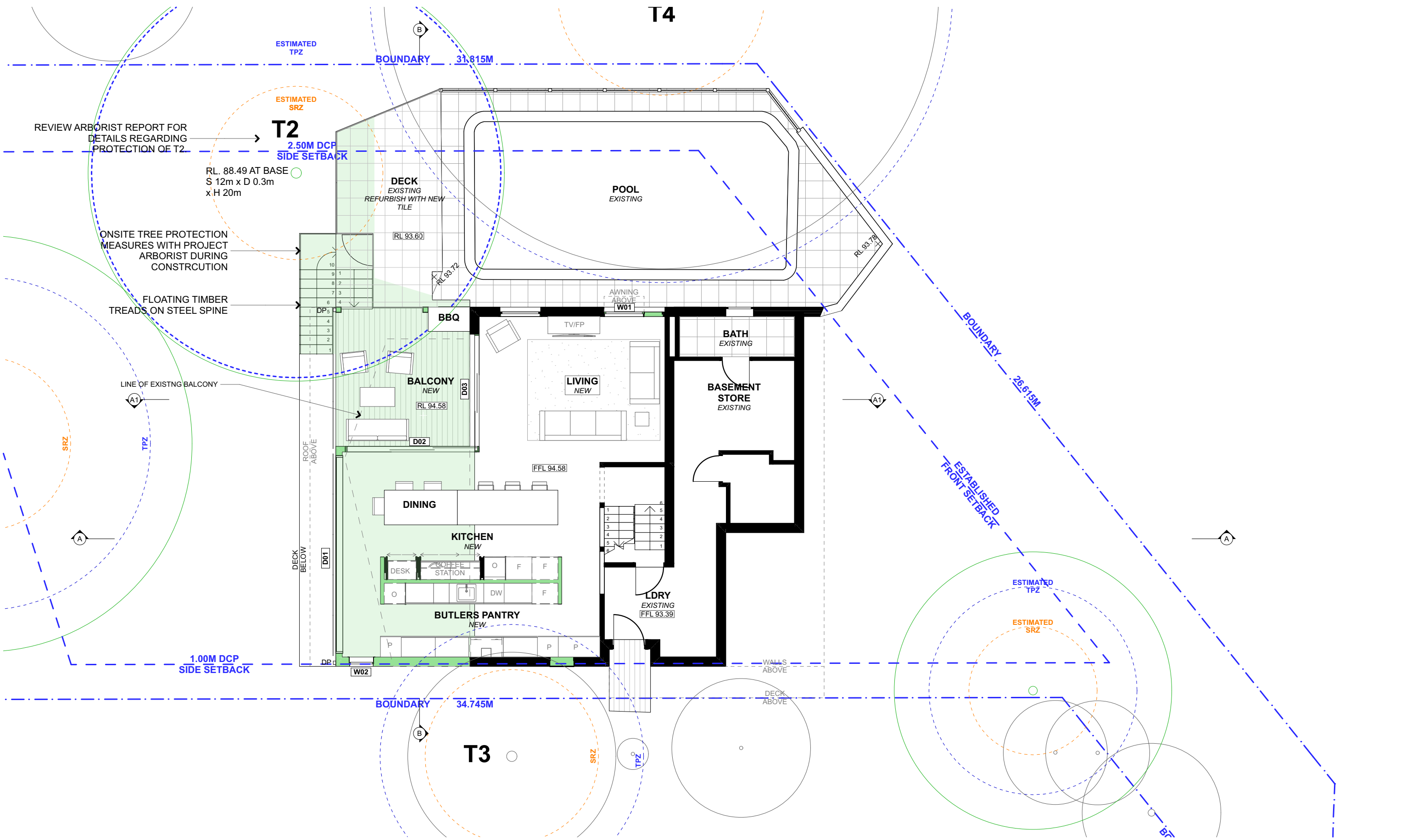
CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:	
EXISTING GROUND FLOOR PLAN	
SCALE:	DATE:
1:100 @A3	10/2/2025
PROJECT NO:	DRAWING NO:
1010	DA07



1 PROPOSED GROUND FLOOR PLAN 1:100



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REV.

NOTES.

INITIAL

DATE

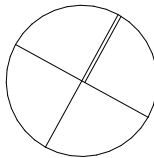
LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

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CLIENTS:

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SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN

SCALE:

1:100 @A3

DATE:

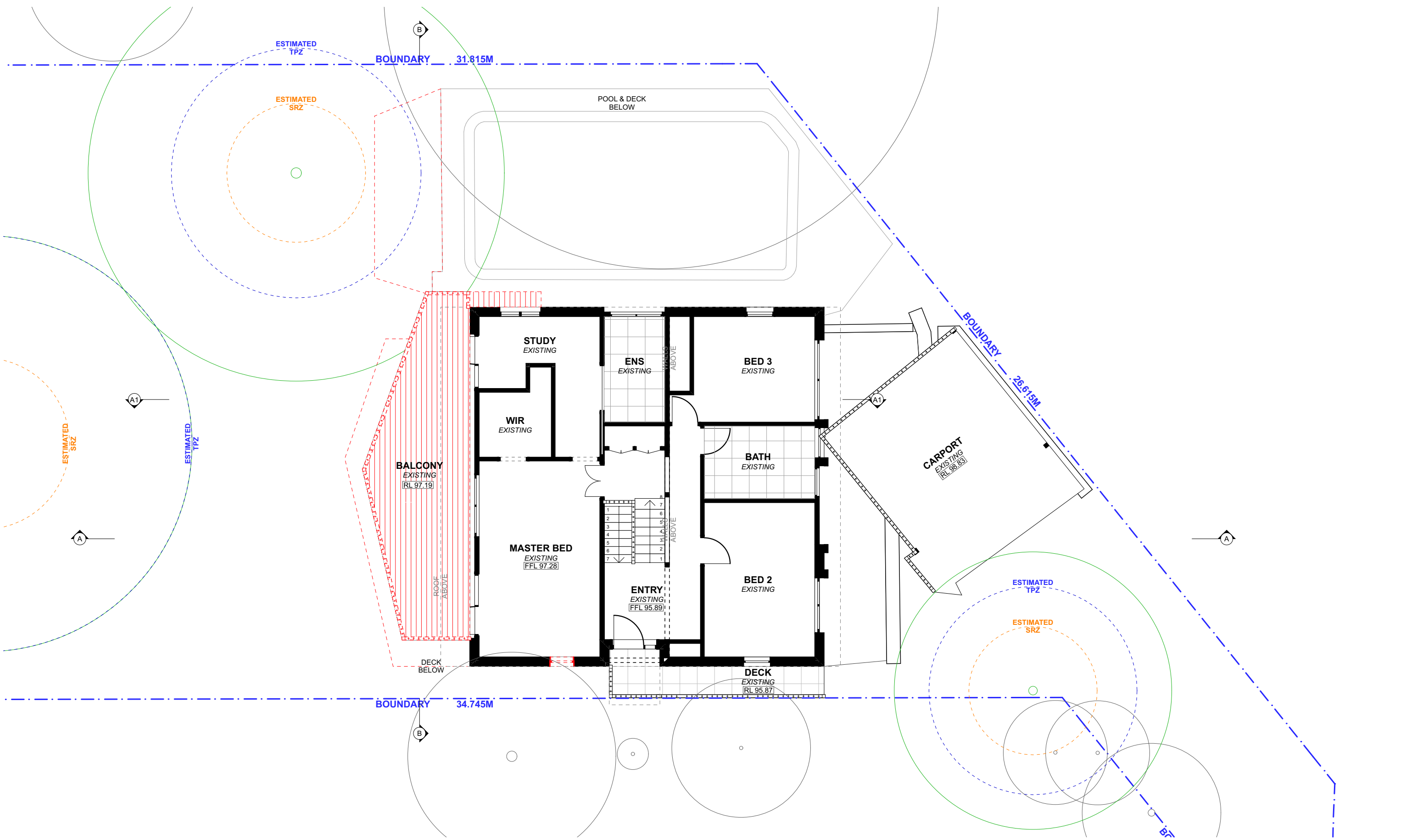
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PROJECT NO:

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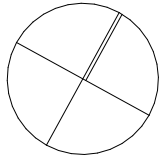
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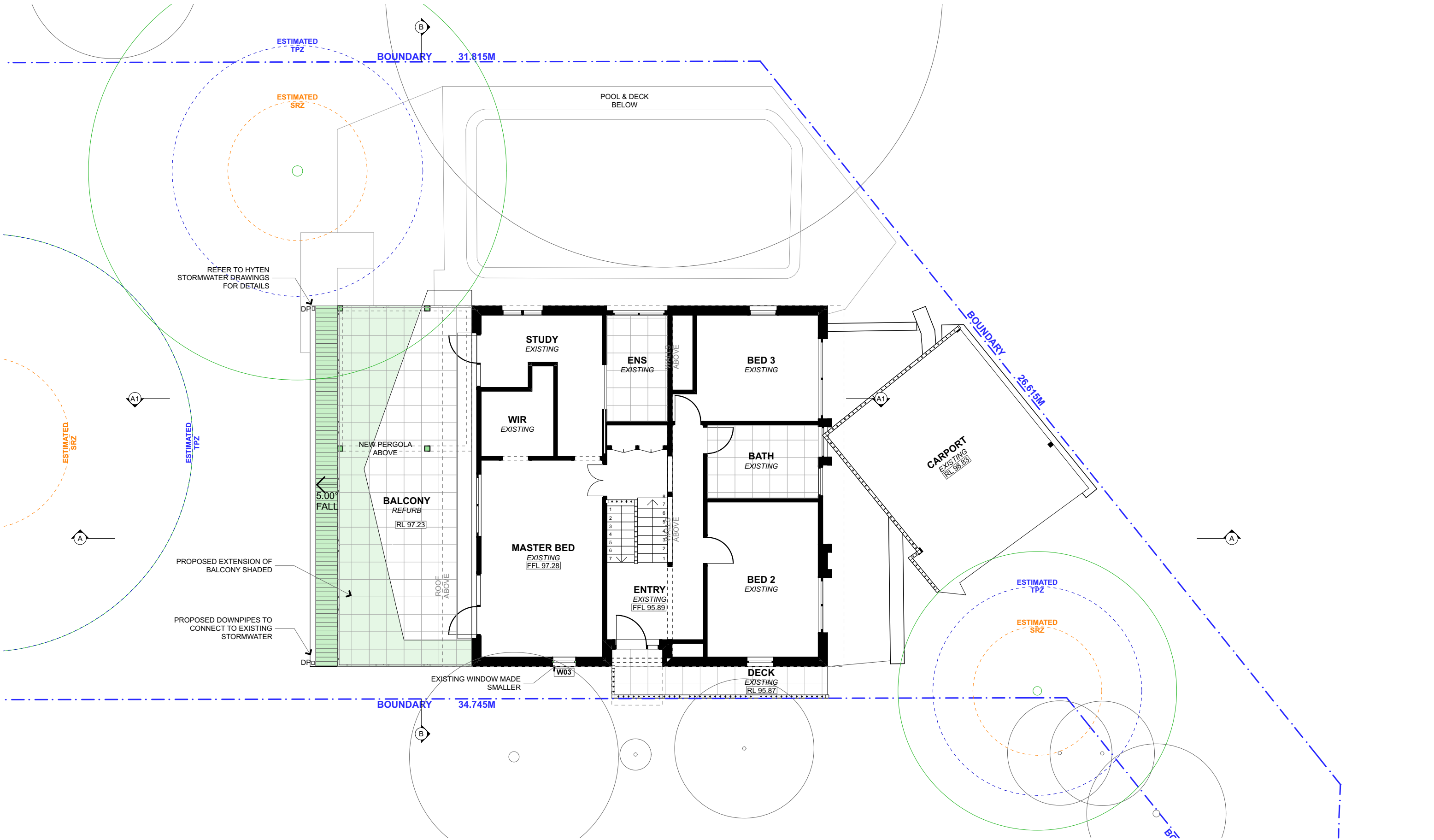
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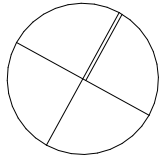
1 EXISTING FIRST FLOOR PLAN 1:100

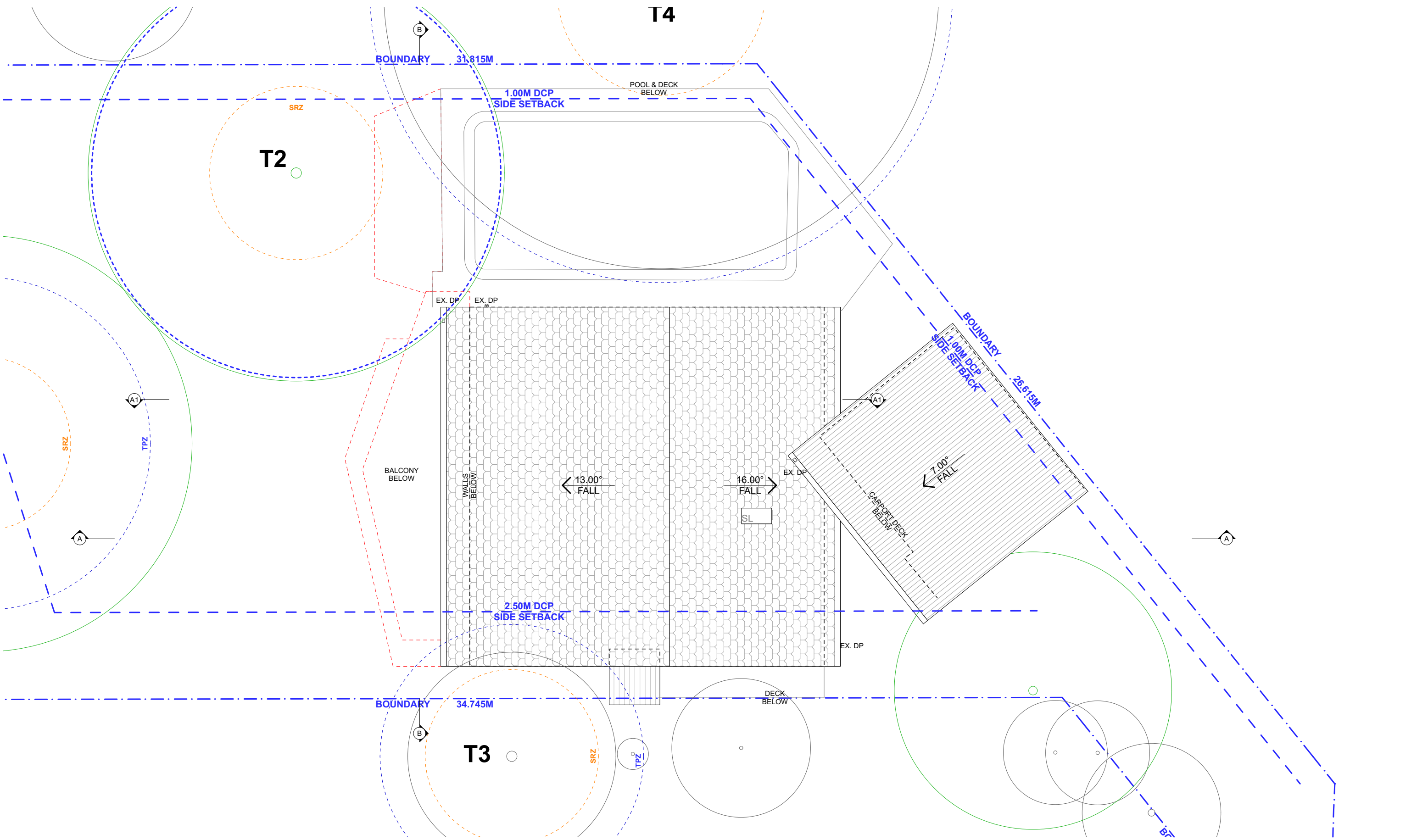
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		A	DA SET	LW	10.02.25				SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106		SCALE: 1:100 @A3	DATE: 10/2/2025
									PROJECT NO: 1010	DRAWING NO: DA09		



1 PROPOSED FIRST FLOOR PLAN 1:100

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											SCALE: 1:100 @A3	DATE: 10/2/2025
											PROJECT NO: 1010	DRAWING NO: DA10



1

EXISTING ROOF PLAN

1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

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LEGEND

EXISTING

DEMOLISHED

PROPOSED

ABBREVIATIONS

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SA: SMOKE ALARM

NORTH POINT

CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

EXISTING ROOF PLAN

SCALE:

1:100 @A3

DATE:

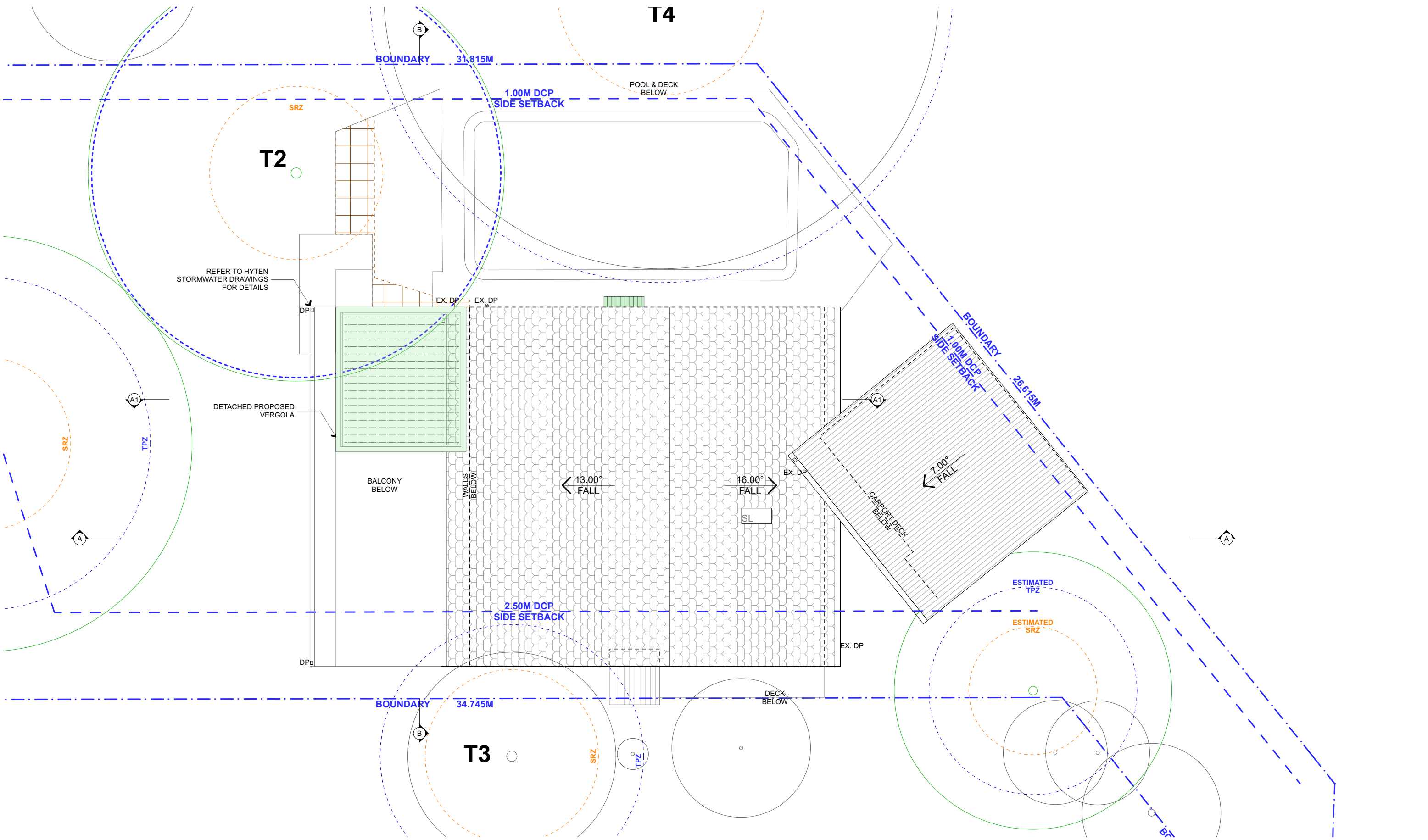
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PROJECT NO:

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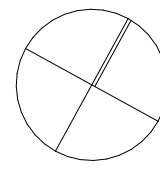
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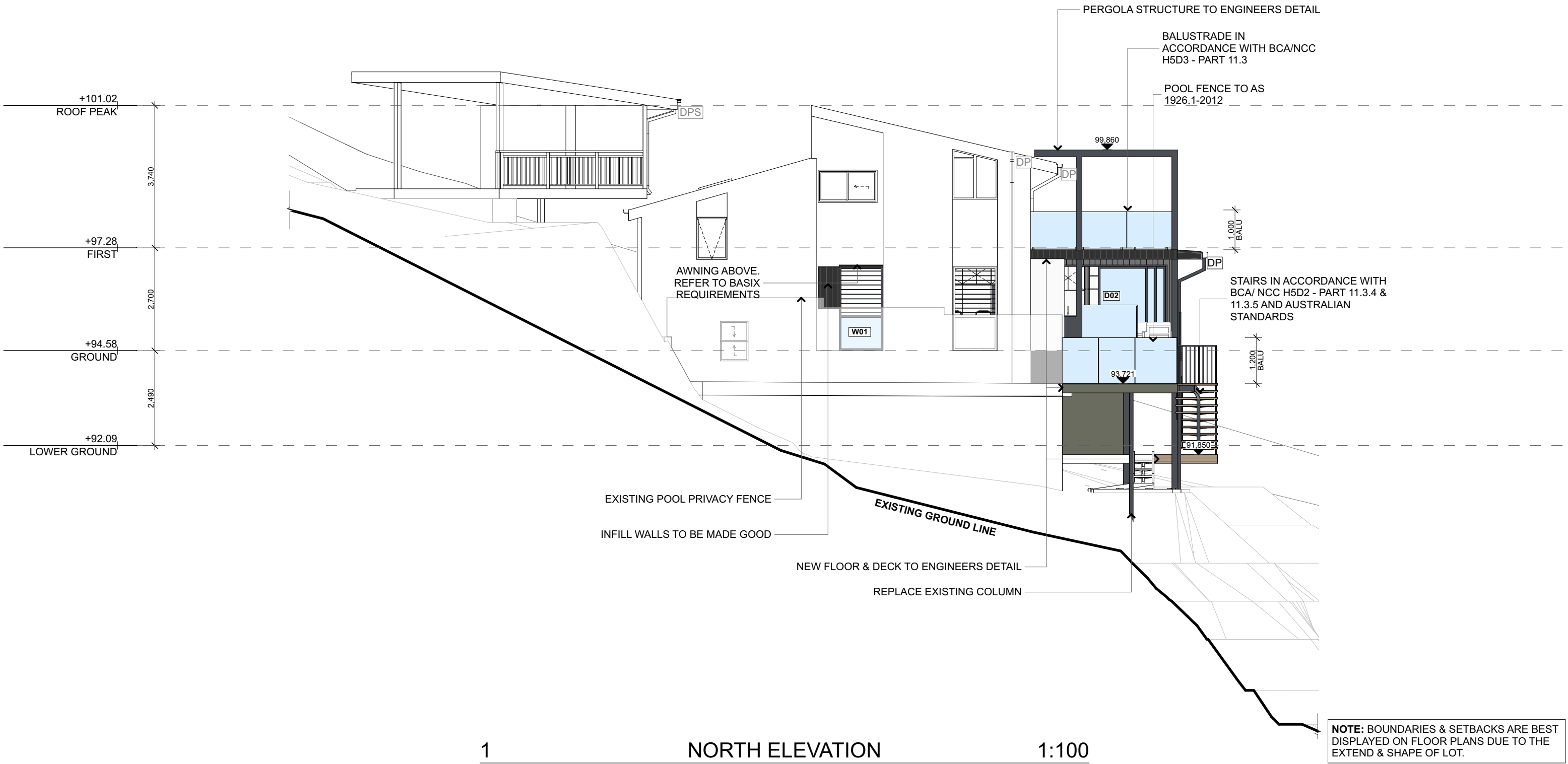
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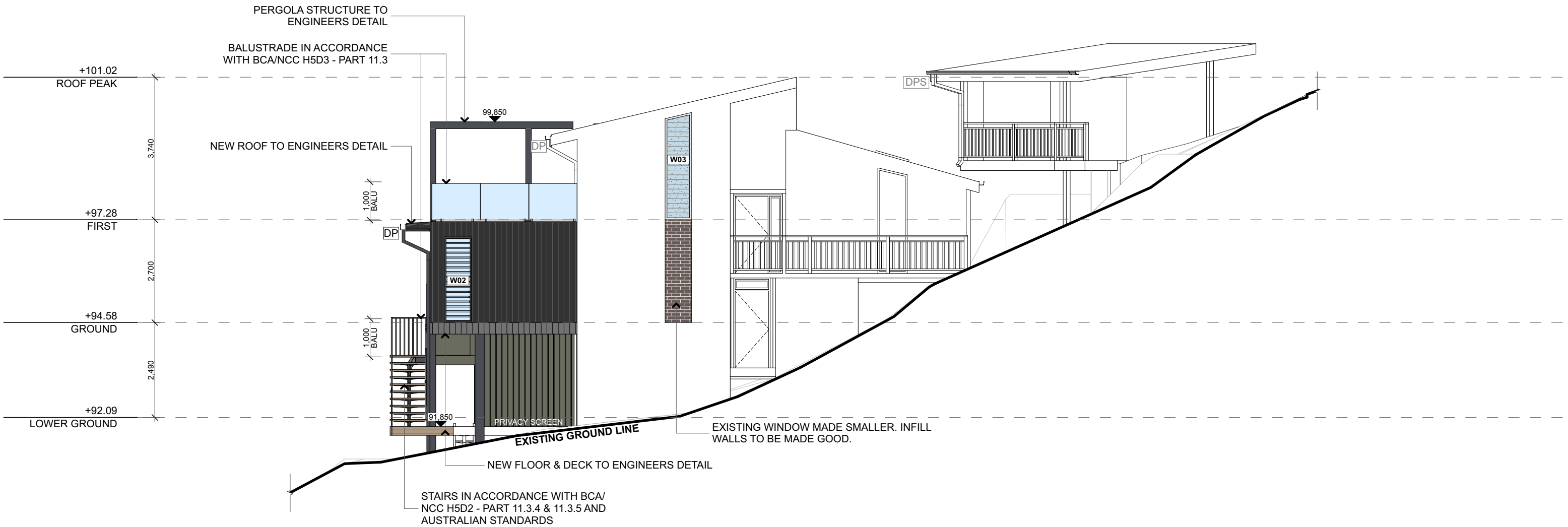
1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div><div></div> EXISTING</div> <div><div></div> DEMOLISHED</div> <div><div></div> PROPOSED</div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	NORTH POINT 	CLIENTS: ALAN KENT SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106	DRAWING TITLE: PROPOSED ROOF / CONCEPT STORMWATER PLAN	
		A	DA SET	LW	10.02.25					SCALE: 1:100 @A3	DATE: 10/2/2025
										PROJECT NO: 1010	DRAWING NO: DA12



<div><div></div><div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div></div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div><div></div> EXISTING</div> <div><div></div> DEMOLISHED</div> <div>DECKING DARK OR SIMILAR</div> <div>WEATHERBOARD DARK CLADDING - TO MATCH EXISTING</div> <div>METAL - DARK GREY OR SIMILAR</div>	ABBREVIATIONS TIMBER DECKING TO MATCH EXISTING CONCRETE / TILE FINISH OR SIMILAR BRICK WALL - TO MATCH EXISTING GLASS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: ALAN KENT SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106	DRAWING TITLE: ELEVATION - NORTH	
		A	DA SET	LW	10.02.25					
								SCALE: 1:100 @A3	DATE: 10/2/2025	
								PROJECT NO: 1010	DRAWING NO: DA13	




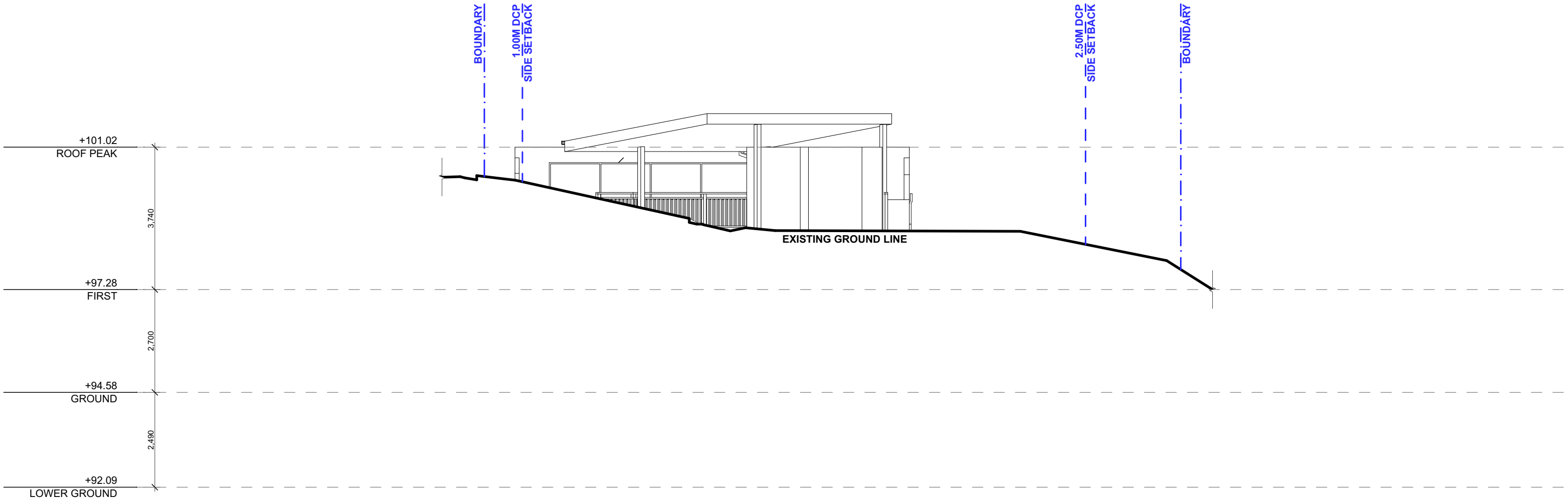
1

SOUTH ELEVATION

1:100

NOTE: BOUNDARIES & SETBACKS ARE BEST DISPLAYED ON FLOOR PLANS DUE TO THE EXTEND & SHAPE OF LOT.

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND <div><div>EXISTING</div><div>DEMOLISHED</div><div>DECKING DARK OR SIMILAR</div><div>WEATHERBOARD DARK CLADDING - TO MATCH EXISTING</div><div>METAL - DARK GREY OR SIMILAR</div></div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: ALAN KENT SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106	DRAWING TITLE: ELEVATION - SOUTH	
		A	DA SET	LW	10.02.25				SCALE: 1:100 @A3	DATE: 10/2/2025
									PROJECT NO: 1010	DRAWING NO: DA14




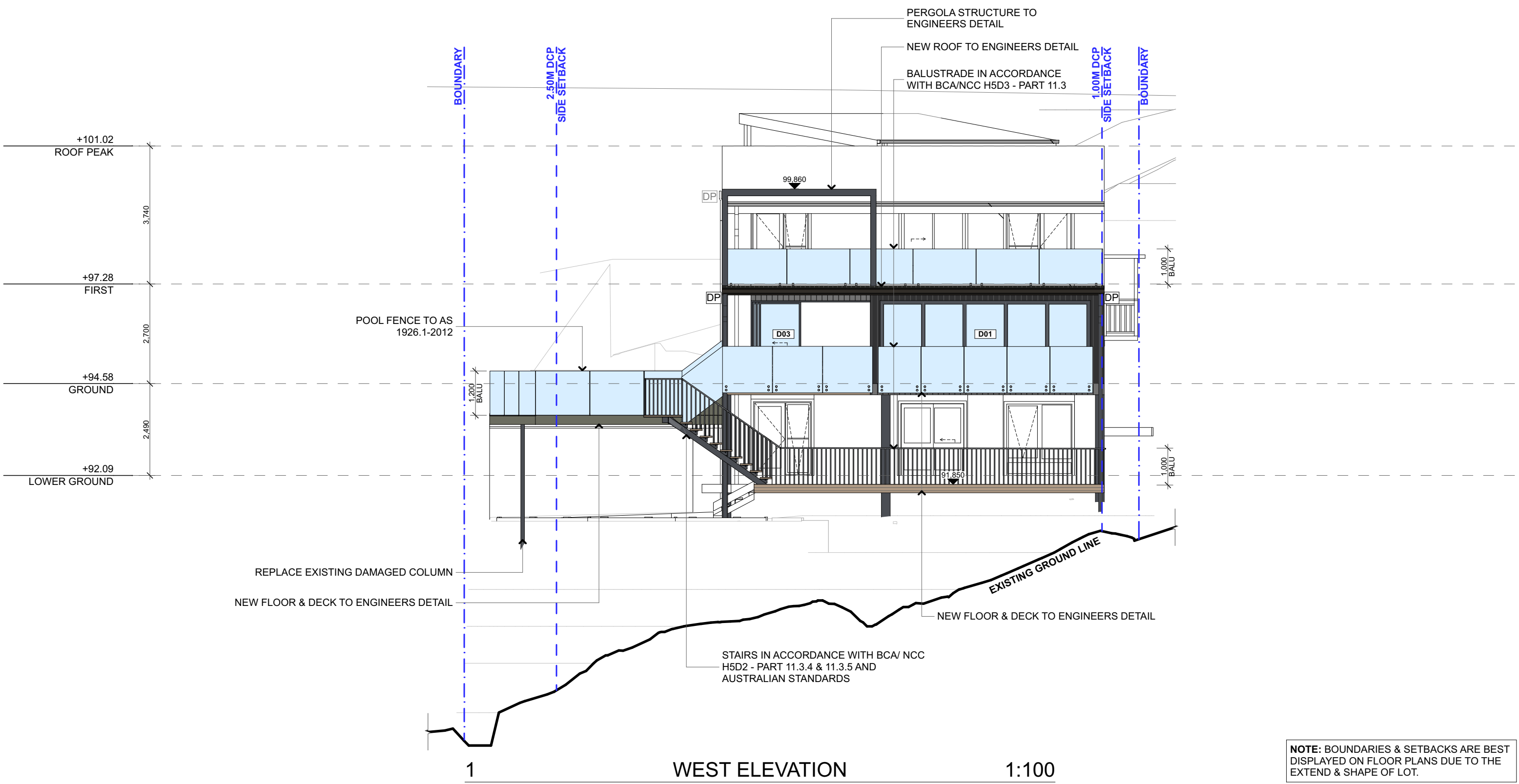
1

EAST ELEVATION

1:100

NOTE: NO CHANGE PROPOSED TO THIS ELEVATION. BOUNDARIES & SETBACKS ARE BEST DISPLAYED ON FLOOR PLANS DUE TO THE EXTEND & SHAPE OF LOT.

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		A	DA SET	LW	10.02.25				SCALE: 1:100 @A3	DATE: 10/2/2025
									PROJECT NO: 1010	DRAWING NO: DA15



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REV.

NOTES.

INITIAL

DATE

LEGEND

EXISTING

DEMOLISHED

DECKING DARK OR SIMILAR

WEATHERBOARD DARK

CLADDING - TO MATCH EXISTING

METAL - DARK GREY OR SIMILAR

TIMBER DECKING TO MATCH
EXISTING
CONCRETE / TILE FINISH OR
SIMILAR
BRICK WALL - TO MATCH
EXISTING
GLASS

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

ELEVATION - WEST

SCALE:

1:100 @A3

DATE:

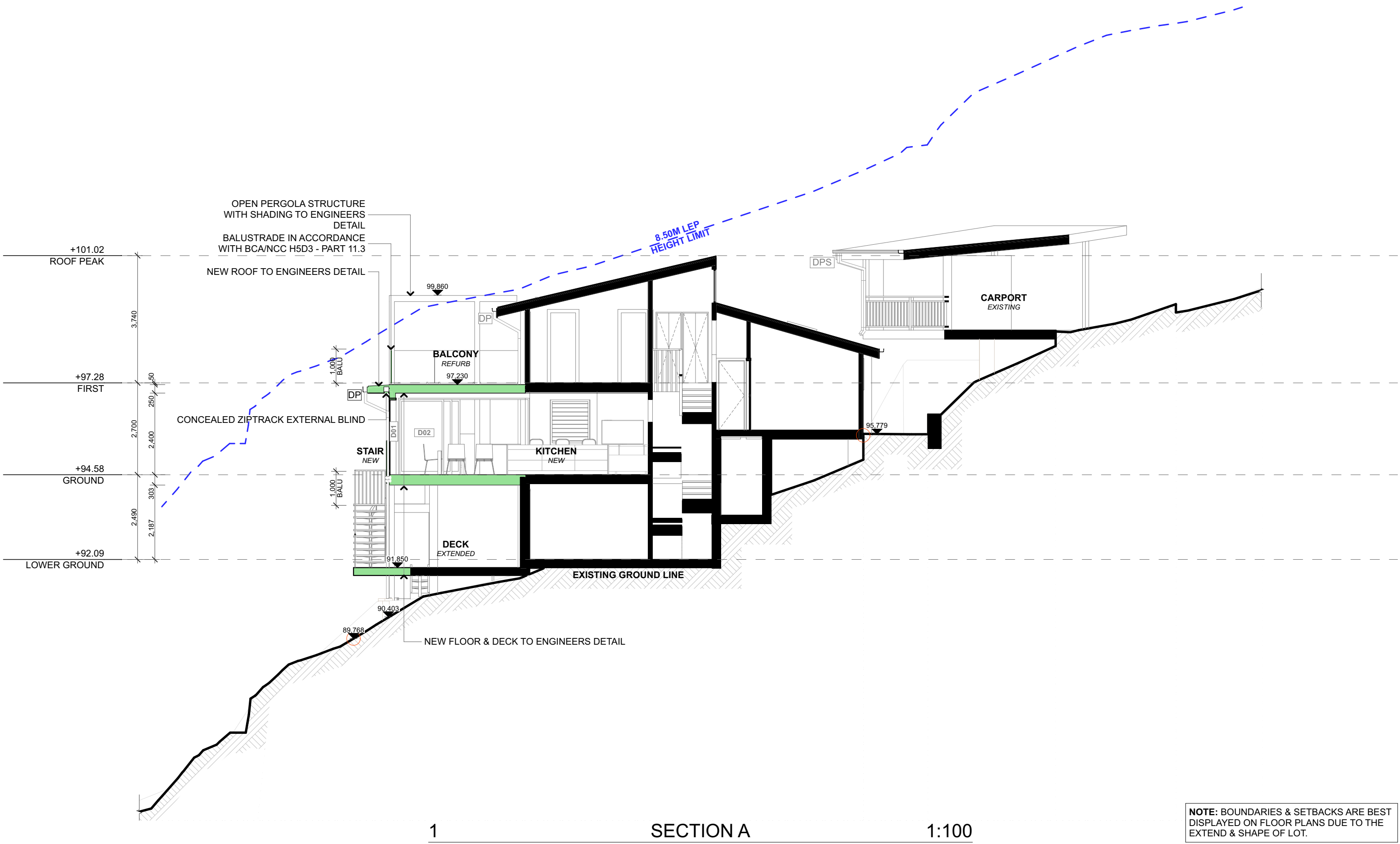
10/2/2025

PROJECT NO:

1010

DRAWING NO:

DA16



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REV.

NOTES.

INITIAL

DATE

LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

ABBREVIATIONS

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

SECTION - A

SCALE:

1:100, 1:1 @A3

DATE:

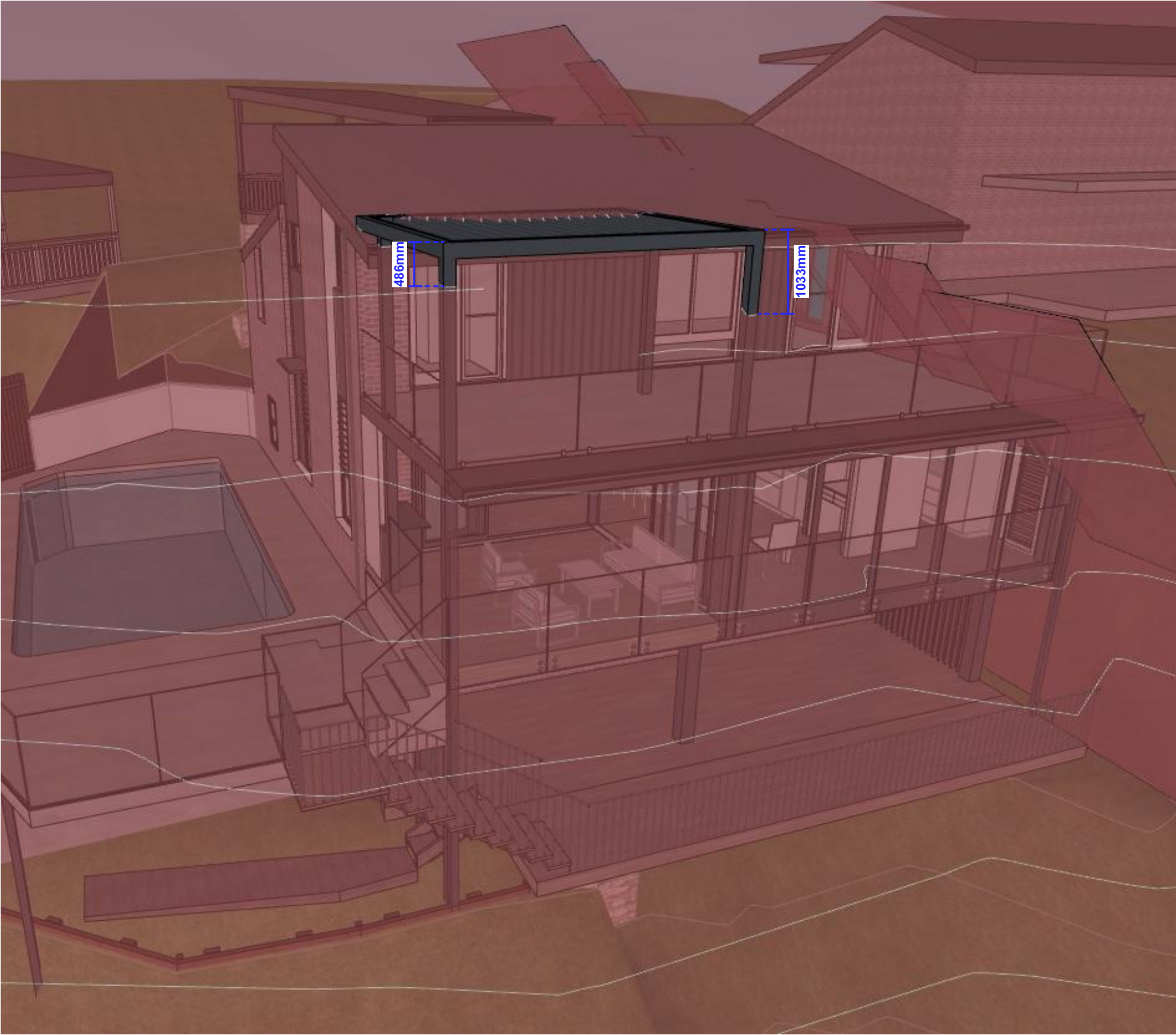
10/2/2025

PROJECT NO:

1010


DRAWING NO:

DA17



NOTE:
REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS

LEP 8.50M HEIGHT LIMIT

<div></div> <div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON BEACH, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	REV.	NOTES.	INITIAL	DATE	<div>LEGEND</div> <div><div><div></div>EXISTING</div><div><div></div>DEMOLISHED</div><div><div></div>PROPOSED</div></div>	<div>ABBREVIATIONS</div> <div>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL</div>	<div>CLIENTS:</div> <div>ALAN KENT</div> <div>SITE ADDRESS:</div> <div>75 CHERYL CRESCENT NEWPORT, NSW, 2106</div>	<div>DRAWING TITLE:</div> <div>LEP 8.5M HEIGHT LIMIT</div>	
		A	DA SET	LW	10.02.25			SCALE:	DATE:	
								1:1.36 @A3	10/2/2025	
								PROJECT NO:	DRAWING NO:	
								1010	DA19	



TILE FINISH OR SIMILAR



METAL ROOF SHEETING -
COLORBOND WOODLAND GREY OR
SIMILAR



TIMBER DECKING TO MATCH
EXISTING



METAL FINISH - DARK GREY OR
SIMILAR



WEATHERBOARD DARK CLADDING -
TO MATCH EXISTING



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OMISSIONS TO THE DRAFTING OFFICE.
DO NOT SCALE THE DRAWING.
DRAWINGS SHALL NOT BE USED FOR
CONSTRUCTION PURPOSES UNTIL ISSUED BY
THE DRAFTING OFFICE FOR CONSTRUCTION
AND NOTED ON THE TITLE BLOCK.
THE WORK MUST BE VERIFIED BY
STRUCTURAL ENGINEER BEFORE WORK
COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	DA SET	LW	10.02.25

CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

FINISHES BOARD

SCALE:

NTS

PROJECT NO:

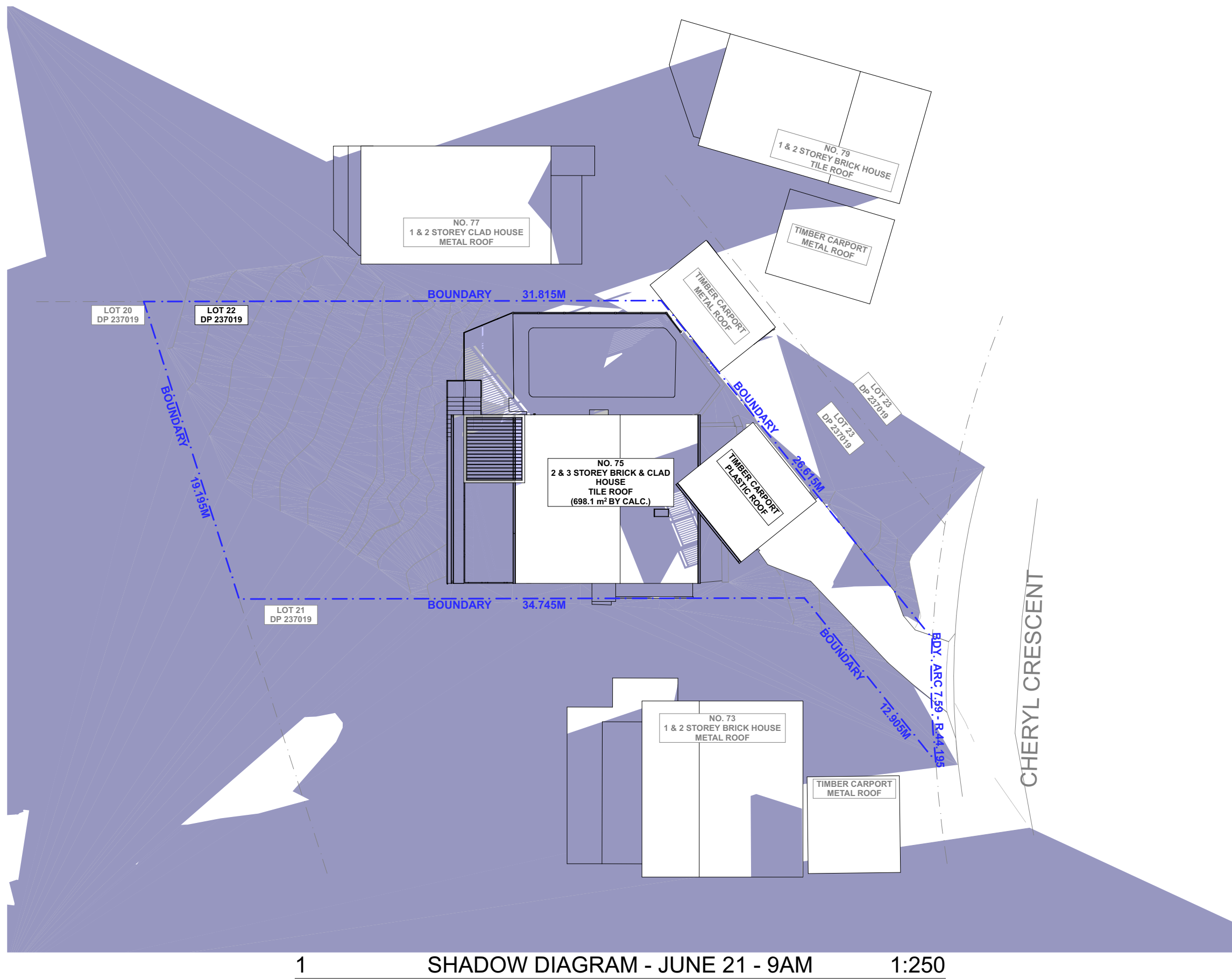
1010

DATE:

10/2/2025

DRAWING NO:

DA20



1

SHADOW DIAGRAM - JUNE 21 - 9AM

1:250



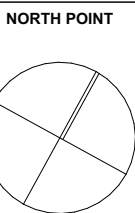
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REV.	NOTES.	INITIAL	DATE
A	DA SET	LW	10.02.25

LEGEND
EXISTING SHADOWS
PROPOSED SHADOW REDUCTIONS
PROPOSED SHADOW ADDITIONS

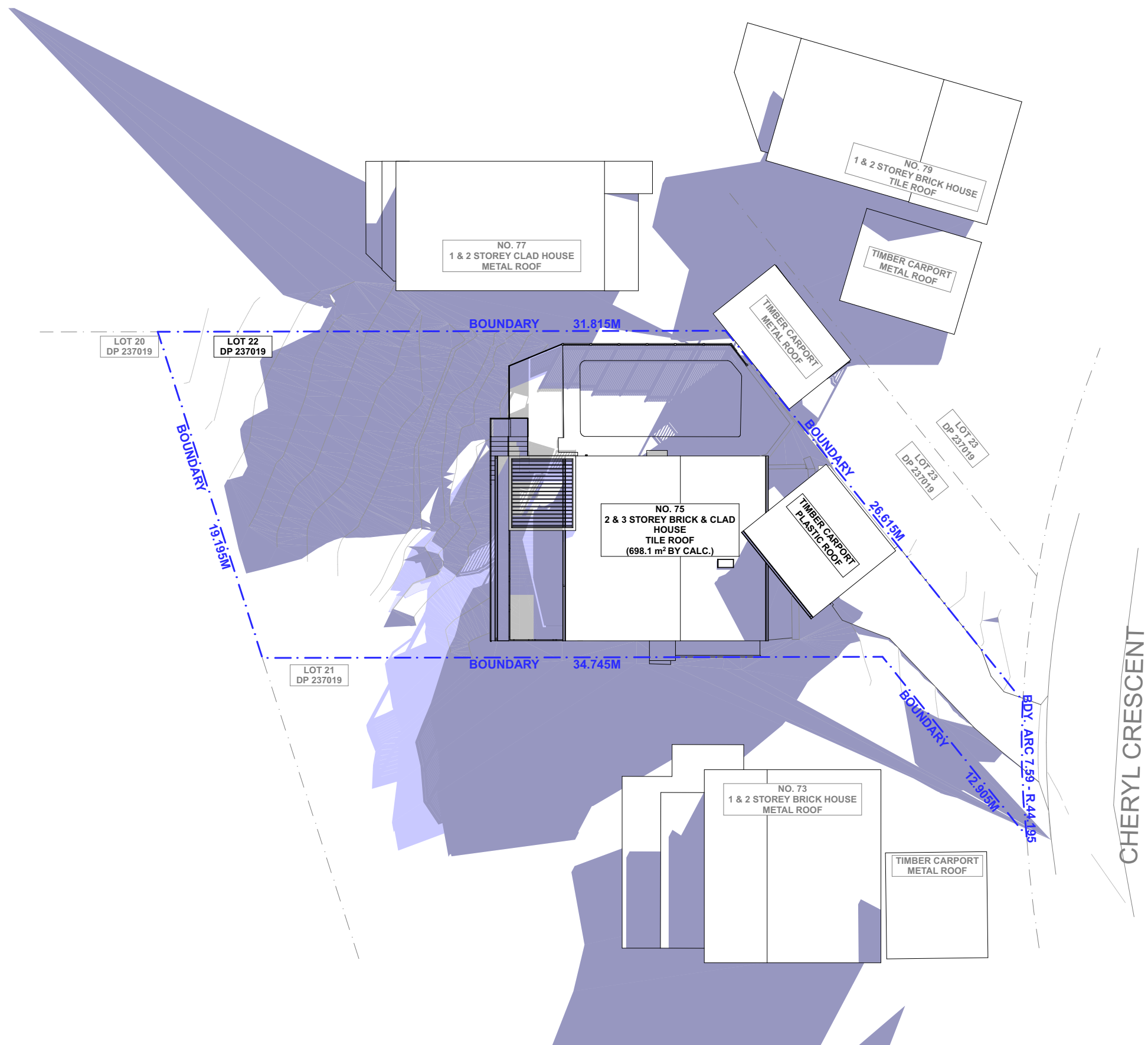
ABBREVIATIONS
DP: DEPOSIT PLAN
SP: STRATA PLAN



CLIENTS:
ALAN KENT

SITE ADDRESS:
75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 9AM	
SCALE: 1:250 @A3	DATE: 10/2/2025
PROJECT NO: 1010	DRAWING NO: DA21



2 SHADOW DIAGRAM - JUNE 21 - 12PM 1:250



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REV.	NOTES.	INITIAL	DATE
A	DA SET	LW	10.02.25

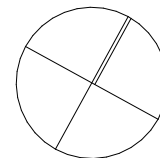
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT



CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

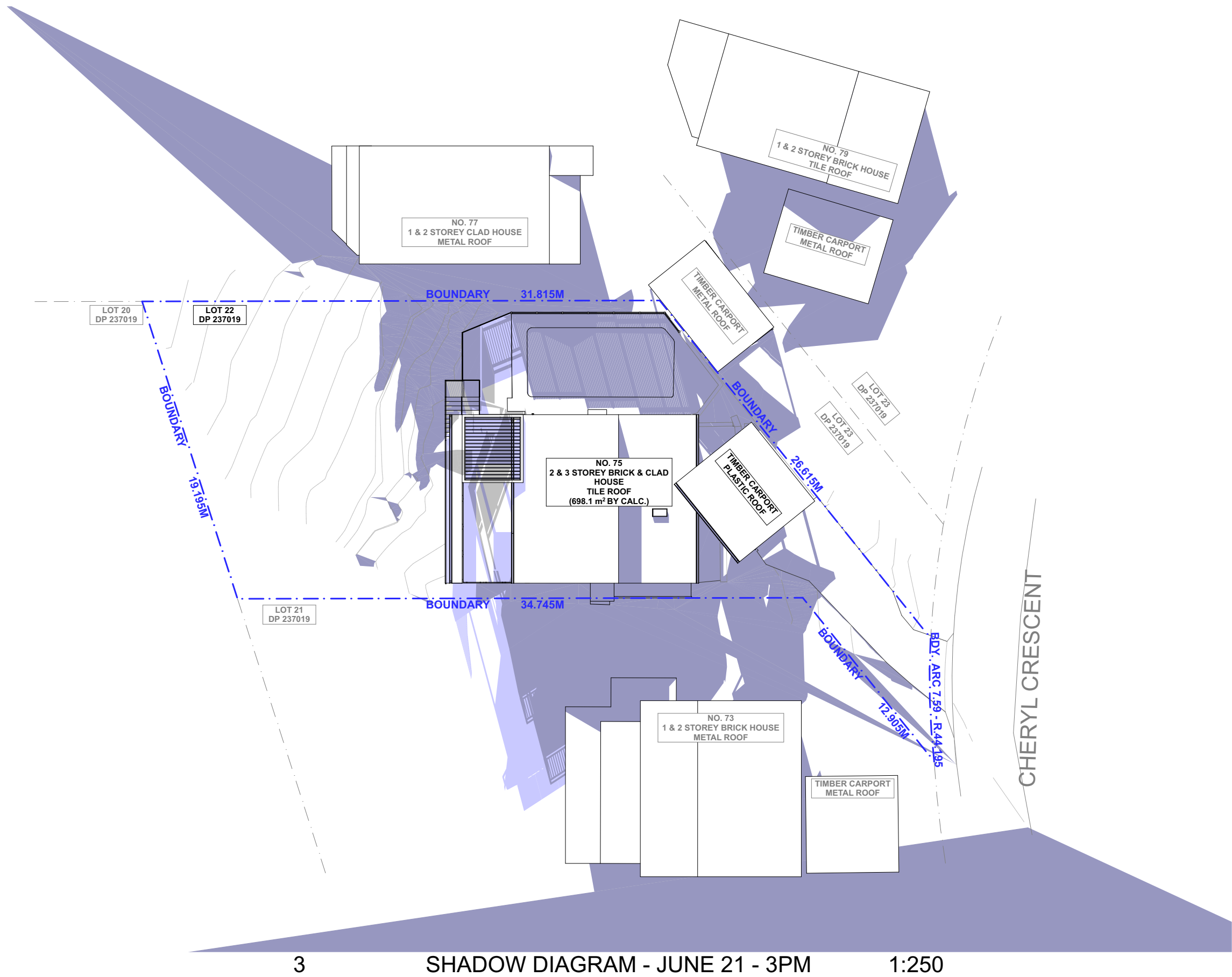
SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:
1:250 @A3

DATE:
10/2/2025

PROJECT NO:
1010

DRAWING NO:
DA22



3

SHADOW DIAGRAM - JUNE 21 - 3PM

1:250



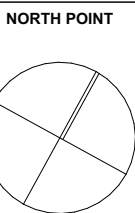
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NOTES
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REV.	NOTES.	INITIAL	DATE
A	DA SET	LW	10.02.25

LEGEND
EXISTING SHADOWS
PROPOSED SHADOW REDUCTIONS
PROPOSED SHADOW ADDITIONS

ABBREVIATIONS
DP: DEPOSIT PLAN
SP: STRATA PLAN



CLIENTS: ALAN KENT
SITE ADDRESS: 75 CHERYL CRESCENT NEWPORT, NSW, 2106

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 3PM	
SCALE: 1:250 @A3	DATE: 10/2/2025
PROJECT NO: 1010	DRAWING NO: DA23

Alterations and Additions

Certificate number: A1771209

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 01 November 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
floor above existing dwelling or building.	nil	N/A			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W01	N	2.53	20	8.96	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	N	8.66	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	S	1.57	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W03	S	1.89	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	W	12.82	0	0	eave/ verandah/ pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	W	7.62	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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0400 699 850
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REV.

NOTES.

INITIAL

DATE

NOTES

A	DA SET	LW	10.02.25	

- DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS
- DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER
- NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH BCA/NCC H5D3 - PART 11.3.7
- NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH BCA/NCC H5D3 - PART 11.3.8

CLIENTS:

ALAN KENT

SITE ADDRESS:

75 CHERYL CRESCENT
NEWPORT, NSW, 2106

DRAWING TITLE:

BASIX REQUIREMENTS

SCALE:

DATE:

10/2/2025

PROJECT NO:

1010

DRAWING NO:

DA24

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