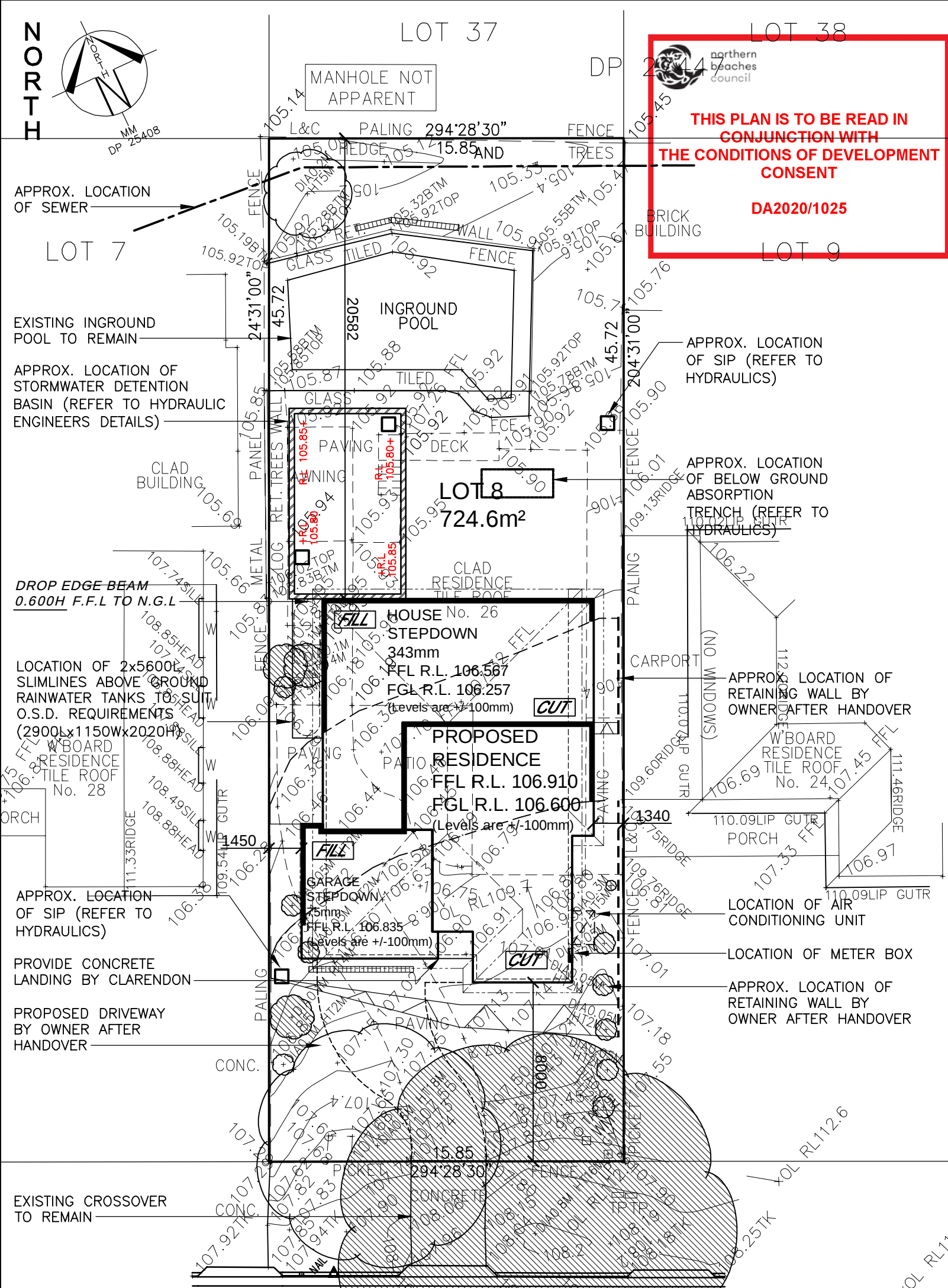




LOT 8
D.P: 25408
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	724.6 m²
ROOF AREA	224.4 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	350.9 m²
(MIN. DIMENSION OF 2.0m)	48.4 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	139.7 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	
SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	224.4m²
DRIVEWAY/ PAVED/ POOL AREAS:	120.1m²
TOTAL:	344.5m²
	47.5 %
MAX SITE COVERAGE FOR OSD:	40%

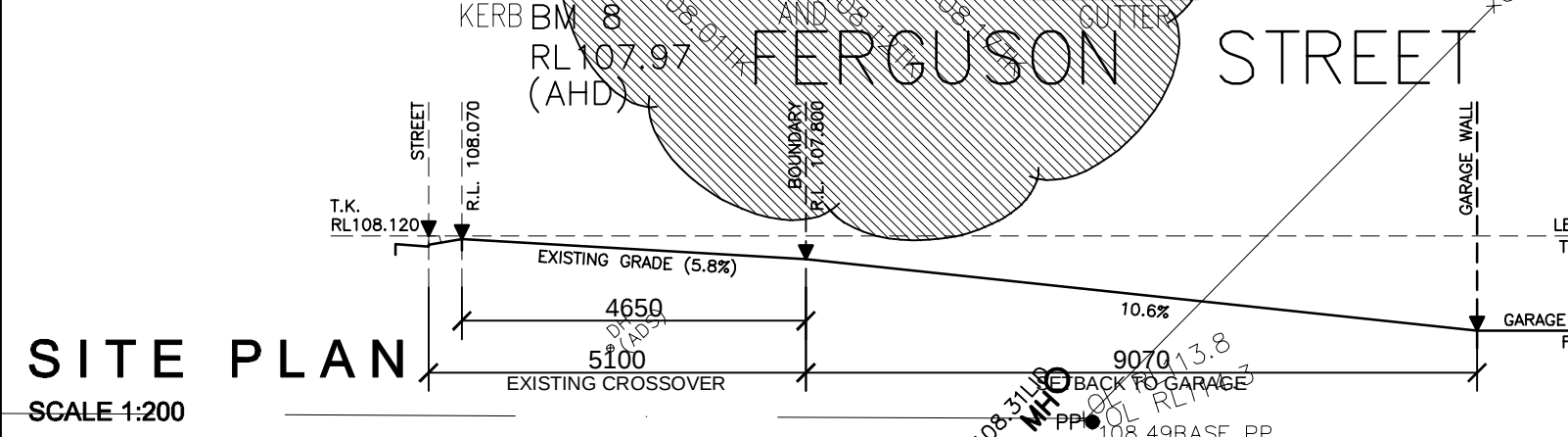
WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M "

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO LEVEL
SPREADER VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS



SITE PLAN
SCALE 1:200

DRIVEWAY GRADIENT PROFILE
SCALE- 1:100

GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

**GRATED DRAIN TO FRONT OF GARAGE
BY OWNER AFTER HANDOVER.**
OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER
FOR THE SIZE OF THE GRATE

CLIENT'S SIGNATURE: _____		DATE: _____		PRODUCT:		CLIENT:		DA DRAWINGS						
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.		STAMFORD 40 Classic L/H Garage Sapphire Specification		Mr. YING Mrs. YING		DRAWN: BG		DATE: 15.06.20		Rev: D		
						SITE ADDRESS: Lot 8 No.26 D.P 25408 Ferguson Street FORESTVILLE 2087				RATIO @ A3: 1:200			CHECKED: AK	
										SHEET: 2		JOB No: 29914351		NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

SP STEEL POST

TSP TELESCOPIC STEEL POST

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

ⓧ LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

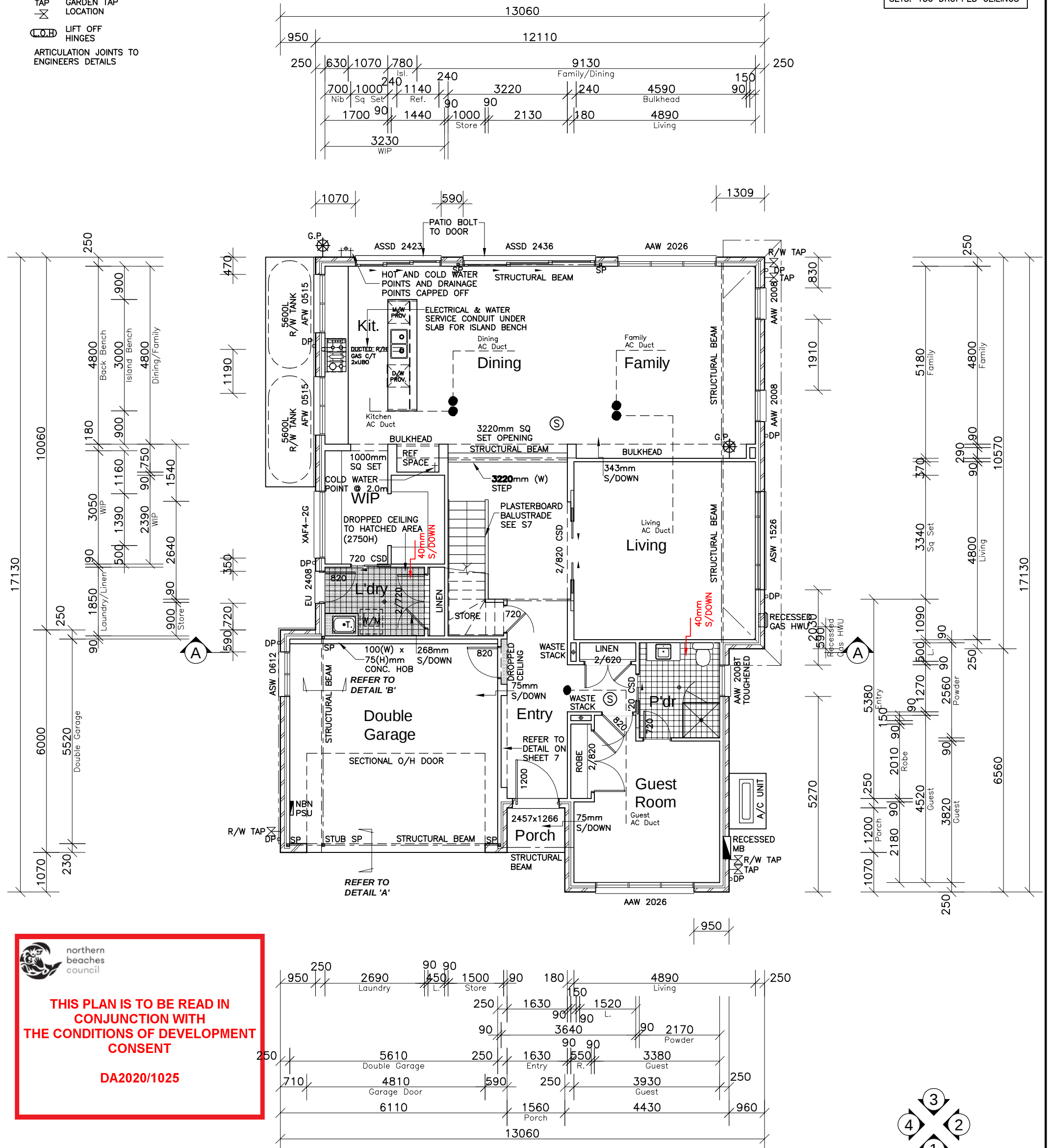
NOTE:
PROVIDE 40mm RECESS TO LAUNDRY & POWDER

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1025

GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706

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ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Classic
L/H Garage

Sapphire Specification

CLIENT:
Mr. YING
Mrs. YING
SITE ADDRESS:
Lot 8 No.26 D.P 25408
Ferguson Street
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 07.07.20	Rev: D
RATIO @ A3: 1:100	CHECKED: AK	
SHEET: 3	JOB No: 29914351	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

400x200mm
EAVE VENT

⊗ EXHAUST FAN

DP ○ DOWN PIPE
LOCATION

⌋ LIFT OFF
HINGES

SP_s STEEL POST

TSP_s TELESCOPIC
STEEL POST

ARTICULATION JOINTS TO
ENGINEERS DETAILS

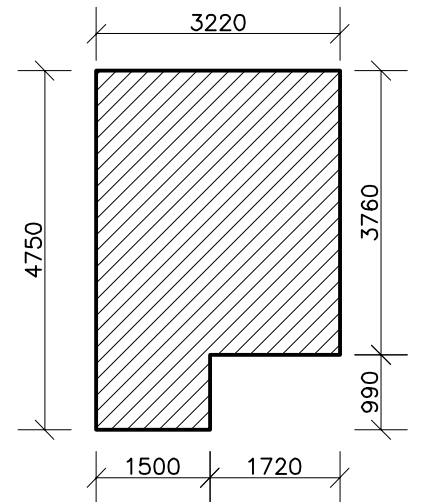
NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

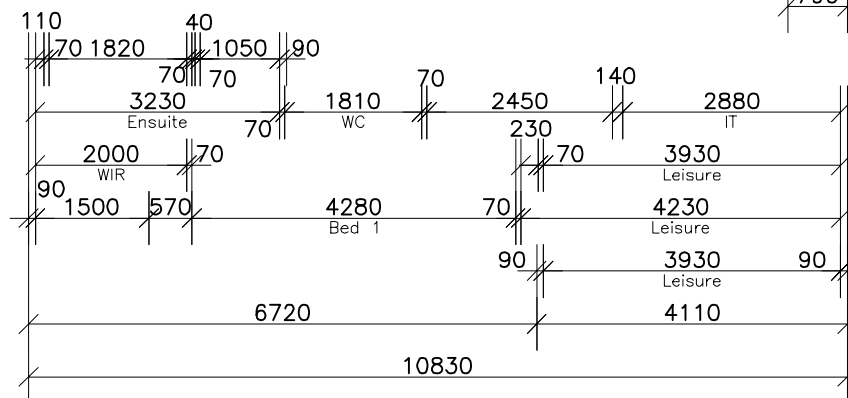
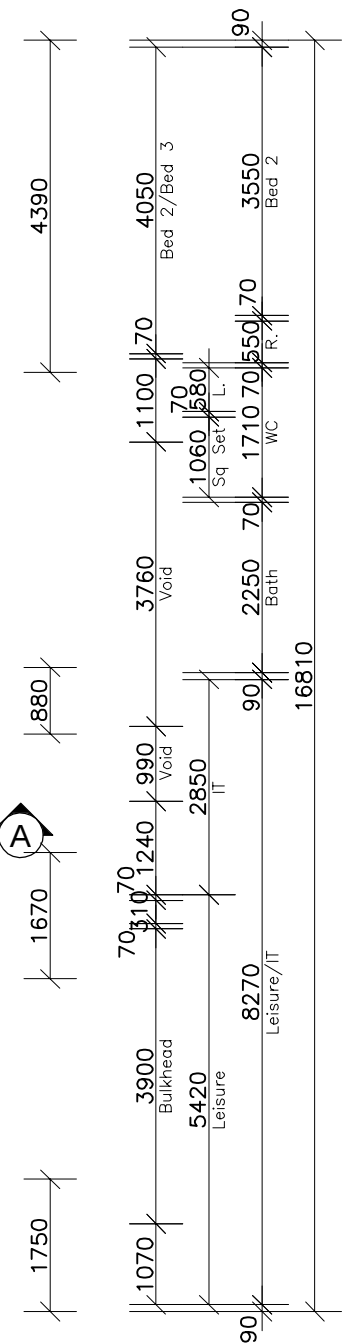
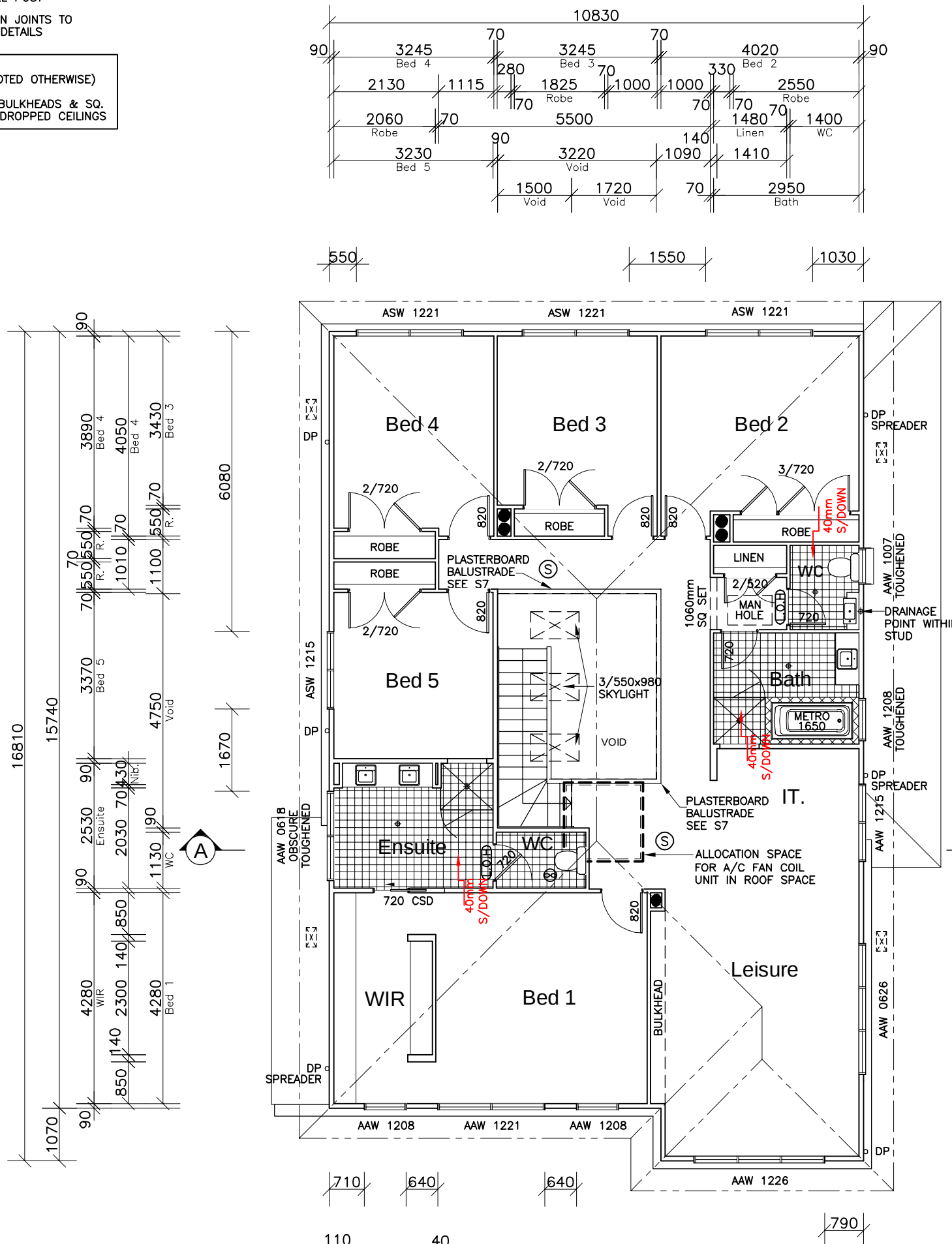
NOTE:
PROVIDE 40mm RECESS TO
ENSUITE, BATHROOM & WC FLOOR

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 10 FOR DETAILS



STAIR CUTOUT
SCALE 1:100

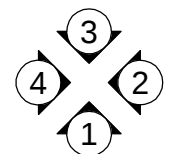


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council**

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CONSENT**

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FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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ABN 18 003 892 706

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PRODUCT:
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Classic
L/H Garage

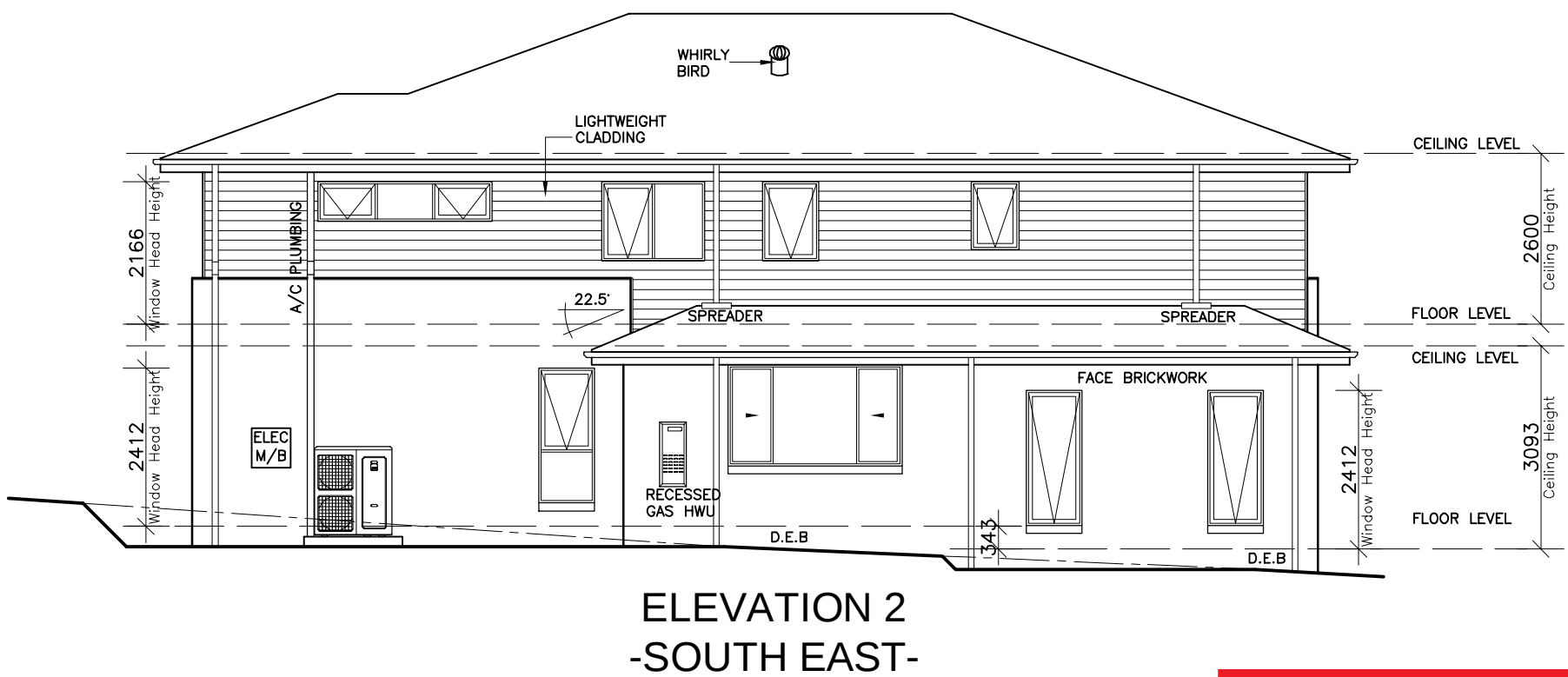
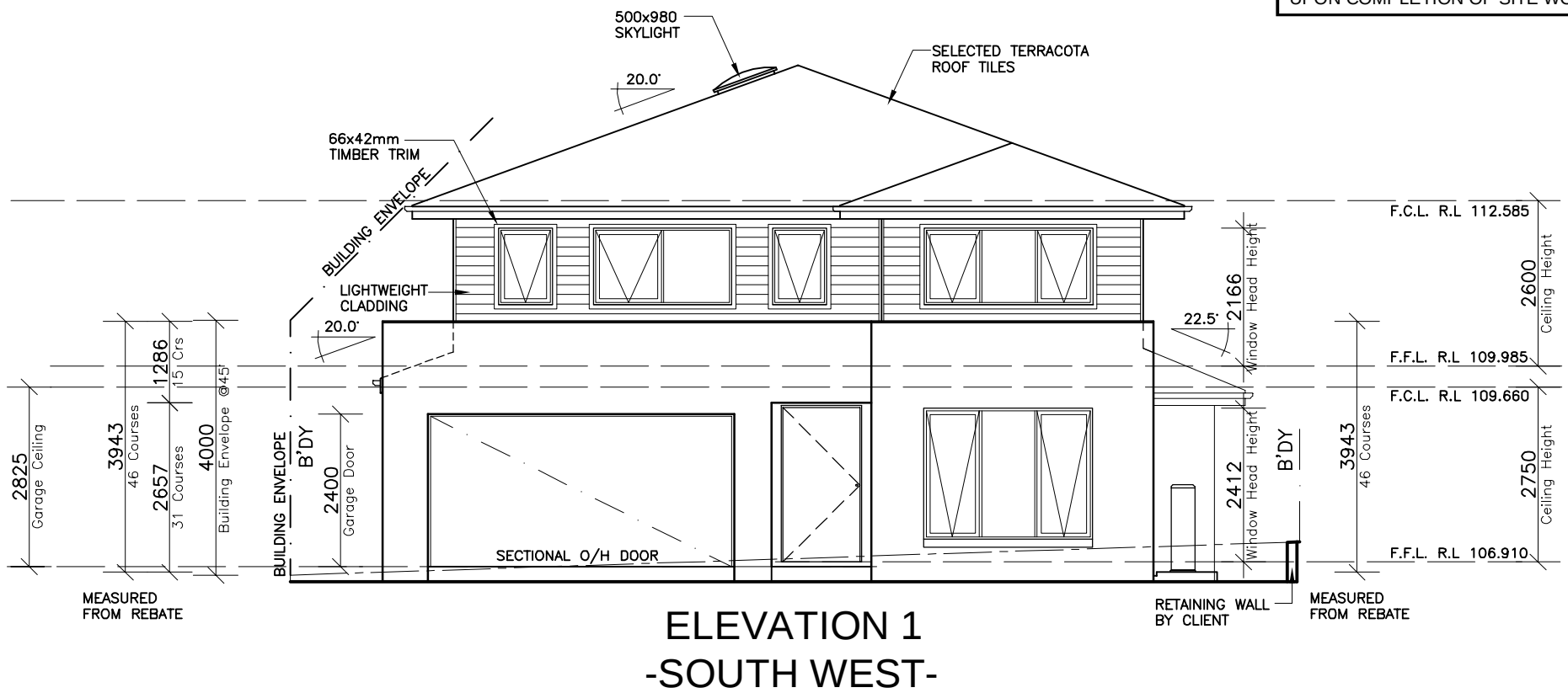
Sapphire Specification

CLIENT:
Mr. YING
Mrs. YING
SITE ADDRESS:
Lot 8 No.26 D.P 25408
Ferguson Street
FORESTVILLE 2087

DA DRAWINGS		
DRAWN: PG.	DATE: 07.07.20	Rev: D
RATIO @ A3: 1:100	CHECKED: AK	
SHEET: 4	JOB No: 29914351	NSW

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS



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beaches
council**

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DA2020/1025

CLIENT'S SIGNATURE: _____ DATE: _____

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CLARENDON HOMES (NSW) P/L
**# ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.**

PRODUCT:
STAMFORD 40
Classic
L/H Garage

Sapphire Specification

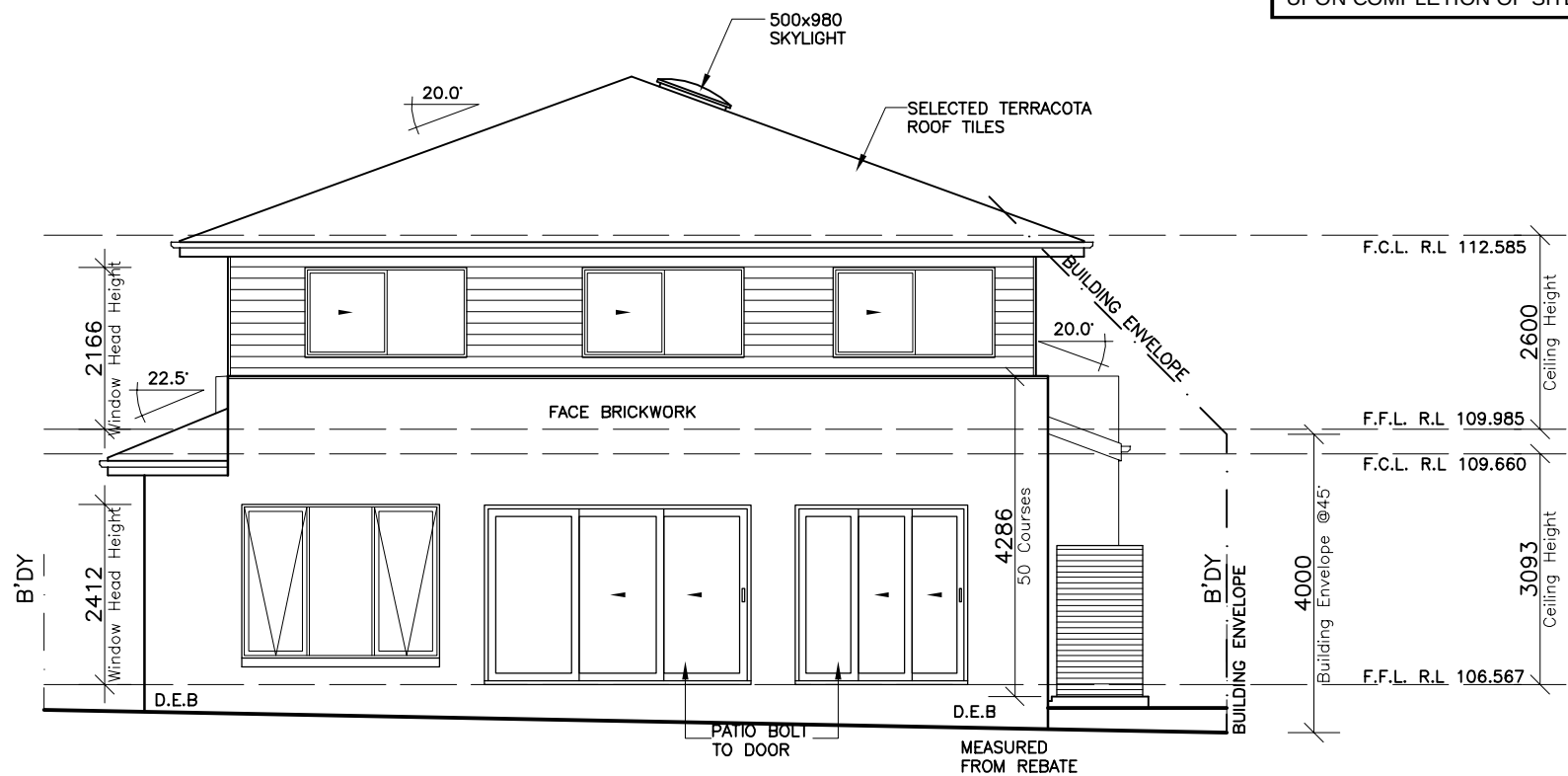
CLIENT:
Mr. YING
Mrs. YING

SITE ADDRESS:
Lot 8 No.26 D.P 25408
Ferguson Street
FORESTVILLE 2087

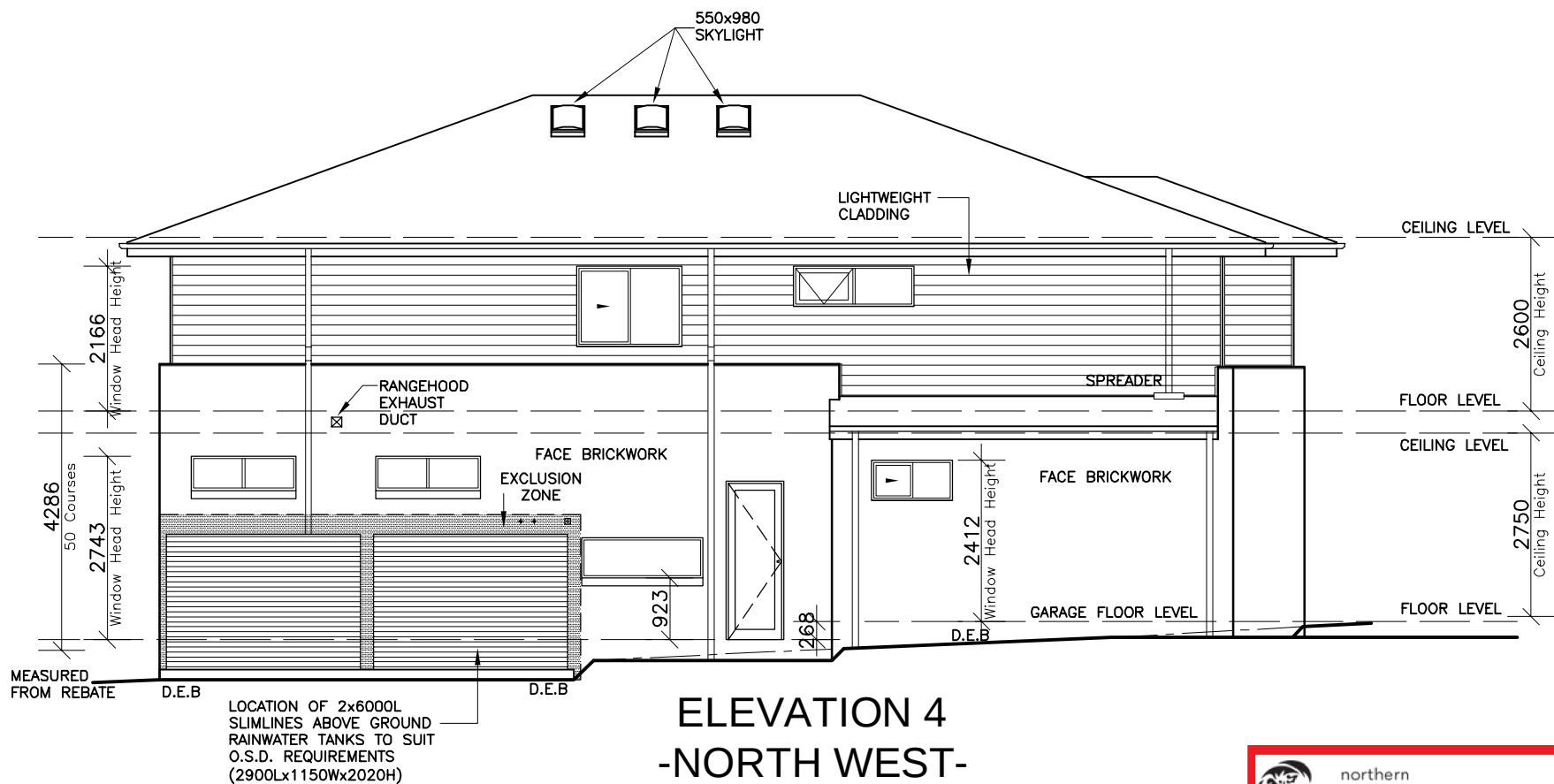
DA DRAWINGS			
DRAWN: PG.	DATE: 07.07.20	Rev: D	
RATIO @ A3: 1:100	CHECKED: AK		
SHEET: 5	JOB No: 29914351	NSW	

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS



ELEVATION 3
-NORTH EAST-



ELEVATION 4
-NORTH WEST-



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DA2020/1025

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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STAMFORD 40
Classic
L/H Garage

Sapphire Specification

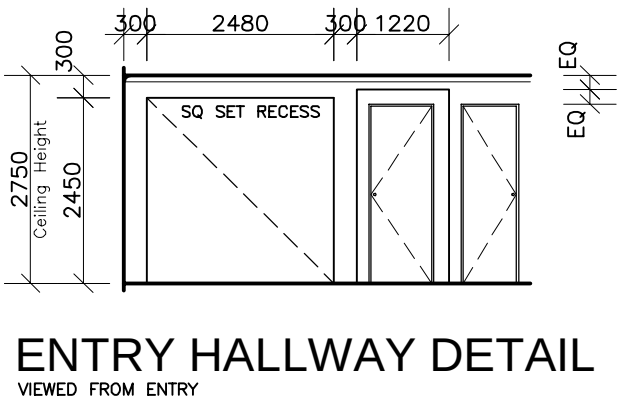
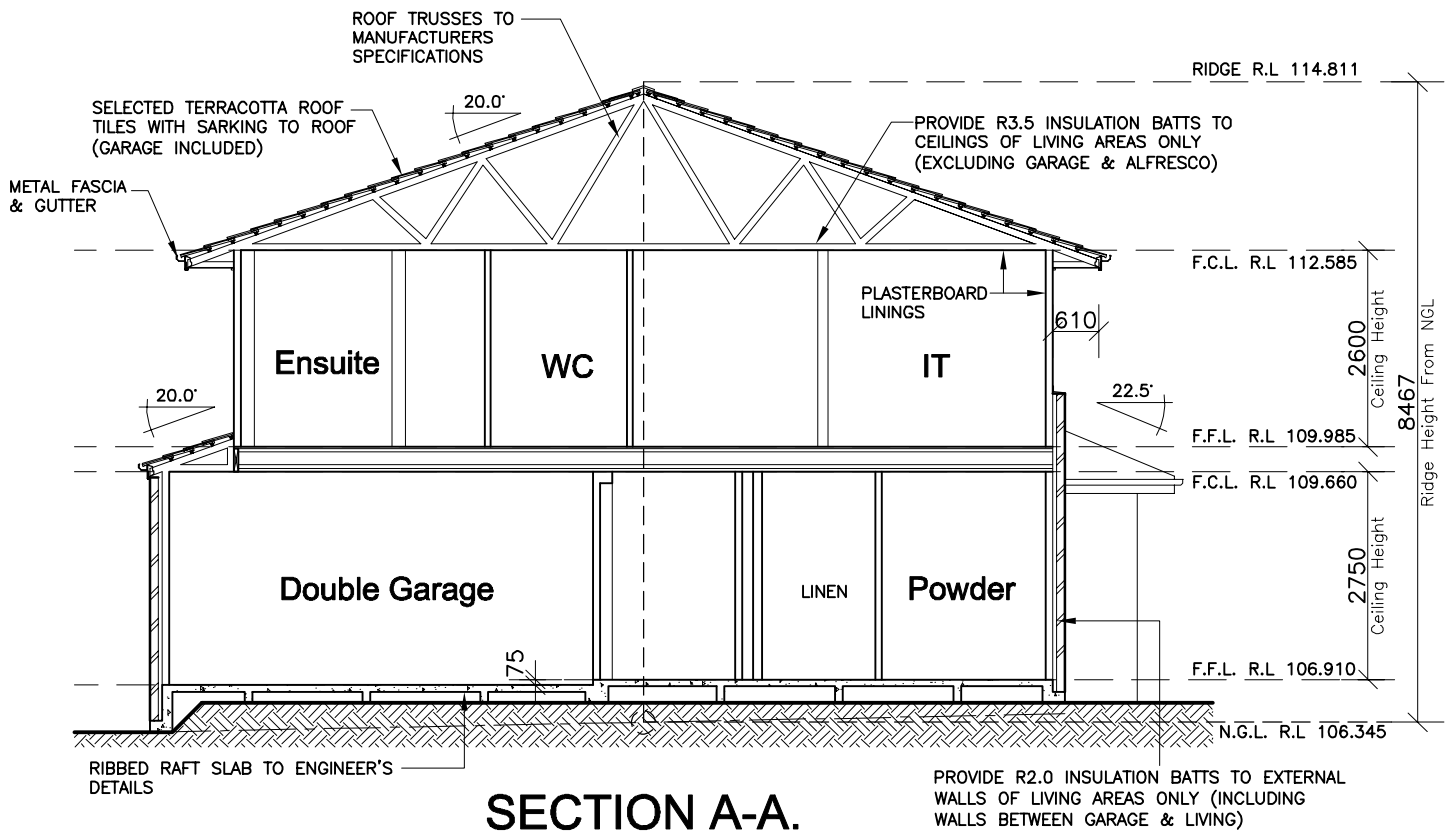
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Mrs. YING
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FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 07.07.20	Rev:
RATIO @ A3: 1:100	CHECKED: AK	D
SHEET: 6	JOB No: 29914351	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

PROVIDE R2.0 INSULATION BATTS TO CEILING
JOISTS BETWEEN GARAGE & FIRST FLOOR



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beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1025

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Classic
L/H Garage

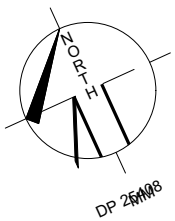
Sapphire Specification

CLIENT:
Mr. YING
Mrs. YING

SITE ADDRESS:
Lot 8 No.26 D.P 25408
Ferguson Street
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 07.07.20	Rev: D
RATIO @ A3: 1:100	CHECKED: AK	
SHEET: 7	JOB No: 29914351	NSW



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1025



LOT 36
DP 27447

LOT 37 DP 27447

LOT 38

Legend

- Colour Concrete / Paving
- Mulched Paths
- Planting Areas
- Lawn Areas
- Retaining Wall
- 1800mm High Boundary Fencing

- Existing Trees To Be Removed
- Existing Trees To Be Retained

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	31/07/20

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 1 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
- See Architects drawings for site levels, setbacks and extent of cut and fill.
 - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 - All relevant Australian standards are to be adhered to.
 - Any structural items are to be installed as per the manufacturer/engineers specifications.
 - This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	724.6 sq m	
LANDSCAPED AREA TOTAL	350.9 sq m	48.425%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Ying**
Mrs Ying

Client Signatures:
1.
2.

Job No. **200236**

Drawing: **Landscape Plan**

Address: **Lot 8 No. 26 Ferguson Street**
Forestville

Council: **Northern Beaches/DA**

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au

Side gates are to be set back from front facade. Side fences are not to extend forward of the side gate

Coloured concrete or paved driveway

Any existing trees are to be protected in accordance with councils Tree Protection Detail

APPROX. LOCATION OF SEWER

LOT 7

EXISTING INGROUND POOL TO REMAIN

APPROX. LOCATION OF STORMWATER DETENTION BASIN (REFER TO HYDRAULIC ENGINEERS DETAILS)

CLAD BUILDING

DROP EDGE BEAM
0.600H F.F.L TO N.G.L

W'BOARD RESIDENCE
TILE ROOF
No. 28

HOUSE
STEPDOWN
343mm
FFL R.L. 106.567

PROPOSED
RESIDENCE
FFL R.L. 106.910

GARAGE
STEPDOWN 75mm
FFL R.L. 106.835

CARPORT

W'BOARD
RESIDENCE
TILE ROOF
No. 24

PORCH

Timber sleeper or masonry retaining wall

Timber sleeper or masonry retaining wall

Side gates are to be set back from front facade. Side fences are not to extend forward of the side gate

Brick or timber edging to all garden beds

Front fence and integrated letterbox to remain

EXISTING CROSSOVER TO REMAIN

KERB
R107.97
(AHD)

FERGUSON STREET

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
TREES							
	Mglg	MAGNOLIA 'LITTLE GEM'	LIITLE GEM MAGNOLIA	5M X 3M	NO	3	45LTR
	Pc	PYRUS CALLERYANA 'CAPITAL'	CAPITAL PEAR	11M X 3M	NO	1	45LTR
SHRUBS							
	Gf	GARDENIA FLORIDA	GARDENIA FLORIDA	1.5M X 1M	NO	6	200MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JS	31/07/20

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 2 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	724.6 sq m	
LANDSCAPED AREA TOTAL	350.9 sq m	48.425%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Ying**
Mrs Ying

Client Signatures:
1.
2.

Job No. **200236**

Drawing: **Plant List/Specification**

Address: **Lot 8 No. 26 Ferguson Street**
Forestville

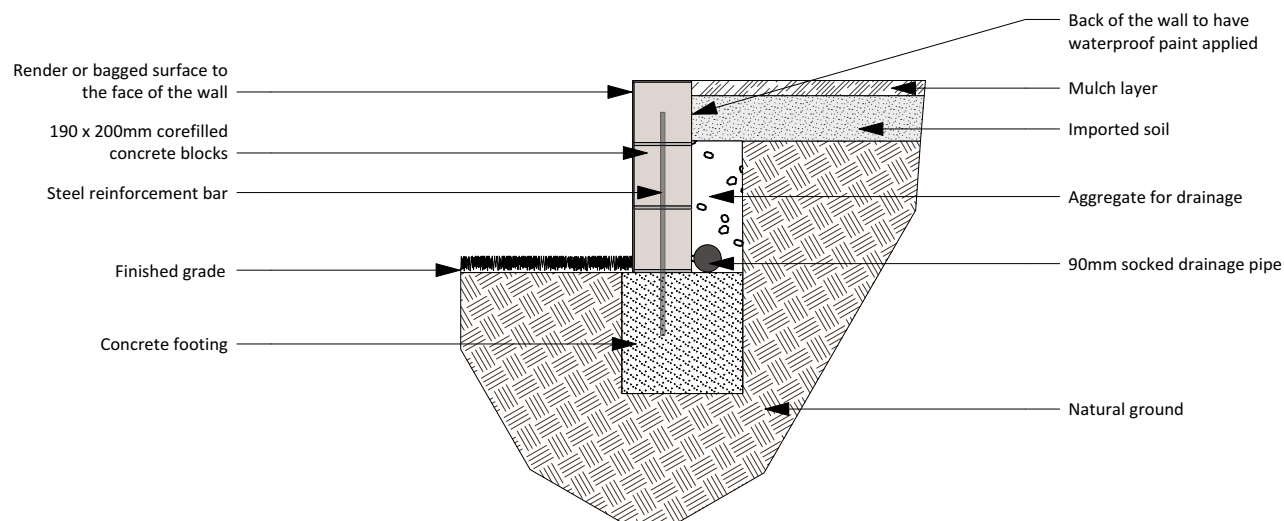
Council: **Northen Beaches/DA**

Ph: 0437 043 112
www.dappledesigns.com.au

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

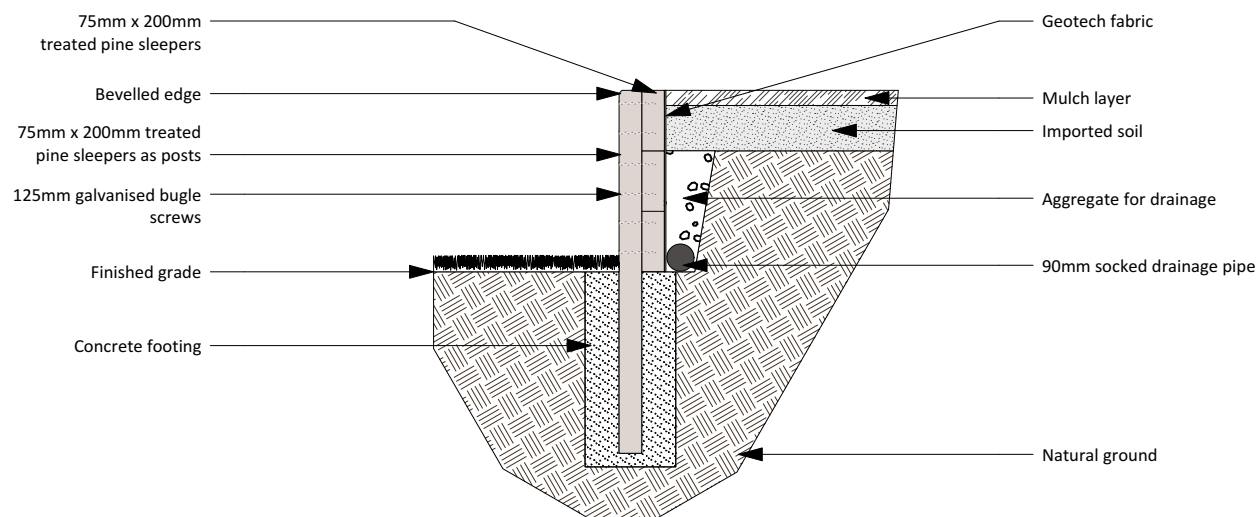
DA2020/1025

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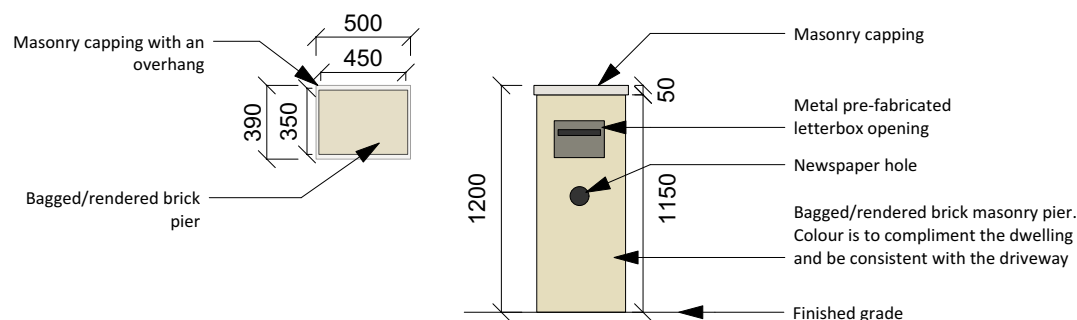
- ## DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIQT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



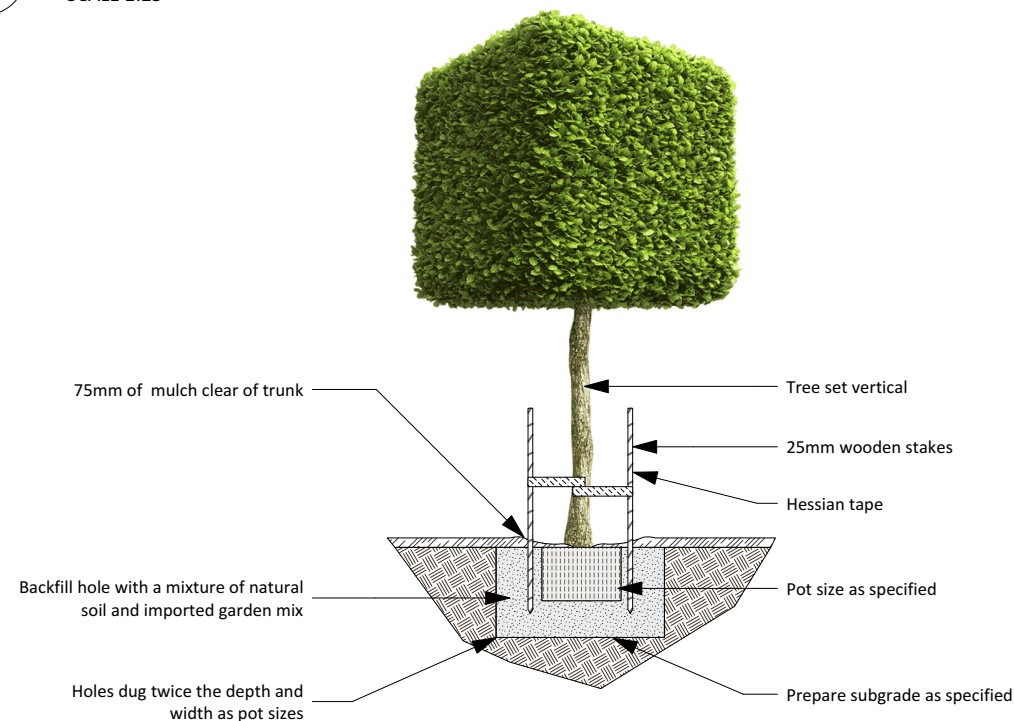
- ## DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STRAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



- ## DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT



- ## DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JS	31/07/20

Drafted: JS		Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 4		Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
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SITE CALCULATIONS		
LOT AREA	724.6 sq m	
LANDSCAPED AREA TOTAL	350.9 sq m	48.425%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Ying**
Mrs Ying

Client Signatures:

- 1.
- 2.

Job No. **200236**

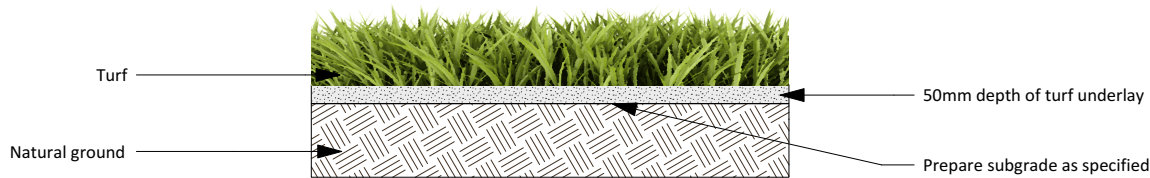
Drawing: **Construction Details**

Address: Lot 8 No. 26 Ferguson Street
Forestville

Council: **Northern Beaches/DA**

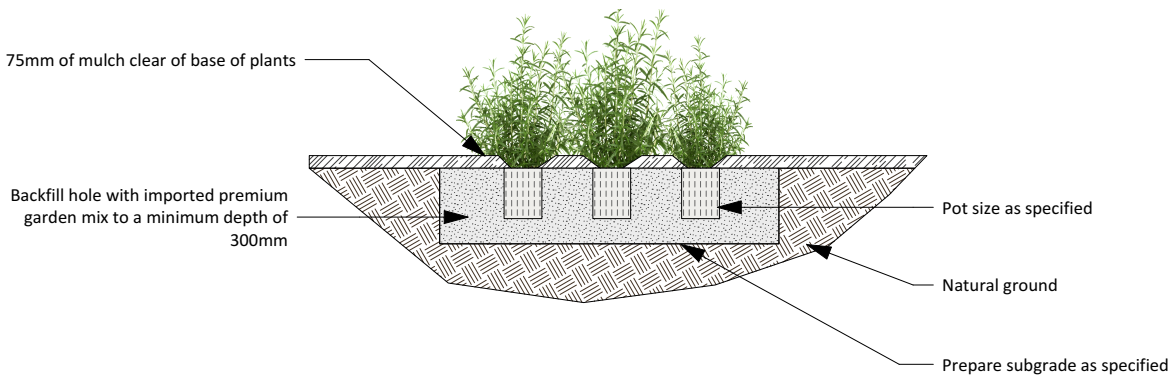
DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au



- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL
SCALE 1:20



- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL
SCALE 1:30



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1025

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	31/07/20

Drafted:
JS

Scale: 1:200


Sheet:
4 of 4

Reference:
LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.

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SITE CALCULATIONS

LOT AREA	724.6 sq m	
LANDSCAPED AREA TOTAL	350.9 sq m	48.425%

Click Here to View Our Plant Profiles!

Client: Mr Ying
Mrs Ying

Client Signatures:

1.

2.

Job No. 200236

Drawing: Planting Details

Address: Lot 8 No. 26 Ferguson Street
Forestville

Council: Northen Beaches/DA

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au

StormCivil		APPROVED ON BEHALF OF STORMCIVIL PTY LTD	
		Mark Taylor <i>M. Taylor</i> MIE Aust CP Eng NER 173333	
JOB No	DWG No	No in SET	ISSUE
305008	D1	3	B

CONTROL DISCHARGE ORIFICE IN PIPE
60 mm DIA. IL 106.68, h = 1.28, q = 10.0 l/s

RELEVANT DESIGN CODE : WARRINGAH COUNCIL "STORMWATER DRAINAGE FROM LOW LEVEL PROPERTIES" PDS-POL 136.

RELEVANT CODE SECTION : SECTION 2.2

COUNCIL HAVE ADVISED THAT OSD/SPREADER SYSTEM IS REQUIRED.

COUNCIL POLICY SECTION 2.2, STEP 3, OPTION 2:

SITE AREA = 724 m2

DETENTION REQUIREMENT

RESTRICT ALL STORMS UP TO 100 YEAR ARI BACK TO 5 YEAR ARI "STATE OF NATURE".

CALCULATION METHOD USED :

FULL-COMPUTATION METHOD USING ILSAX TIME AREA COMPUTER MODEL

DETERMINE PRE-DEVT DISCHARGE RATE

PRE-DEVT HARD SURFACE = 0% (STATE OF NATURE)

ILSAX PIPE FILE : "PREP"

ILSAX RAINFALL FILE : "WR5"

RESULT : REFER OUTPUT FILE "INT-PRE5"

DISCHARGE RATE :

5 YEAR PRE-DEVT DISCHARGE = 23 l/s

ADOPTED PSD = 23 l/s

PROPOSED POST-DEVELOPMENT DETENTION STORAGE SYSTEM

TWO OSD SYSTEMS IN SERIES:

1. OSD1 = 8.2 m3 (8200 litres) IN COMBINED RWT/OSD TANKS

CATCHMENT = ROOF AREA = 224 m2

2. OSD2 = BASIN AT REAR 11.0 m3.

CATCHMENT = 268 m2 PLUS OSD1 OUTFLOW.

DETERMINE POST-DEVELOPMENT DISCHARGE RATES

ILSAX PIPE FILE : "POSTP"

ILSAX RAINFALL FILES : "WR5", "WR20", "WR100"

RESULT : REFER OUTPUT FILES "INT-POST5", "INT-POST20", "INT-POST100"

DISCHARGE RATES:

5 YEAR POST-DEVT DISCHARGE = 17 l/s <= PSD. OK.

20 YEAR POST-DEVT DISCHARGE = 21 l/s <= PSD. OK.

100 YEAR POST-DEVT DISCHARGE = 23 l/s <= PSD. OK.

SUMMARY

OSD1 (RW/OSD TANK) STORAGE REQUIRED = 8.2 m3; DISCHARGE = 10.0 l/s.

OSD2 (BASIN) STORAGE REQUIRED = 11.0 m3; DISCHARGE = 15 l/s

POST DEVT RUNOFF <= 5 YEAR ARI "STATE OF NATURE" ALL STORMS UP TO 100 YEAR ARI. OK.

```
No 26 Ferguson St - PREDEV
*CATCHMENT
A 1 -1 -1
0 2 20 20 10000 0
10 0 0 0 0
A 2 0
0.0724 0 5 0 100 10 0
END
```

ILSAX FILE : "PREP"

```
No 26 Ferguson St - PREDEV
PEAK FLOWS AMONG RUNOFFS FROM 11 RAINFALL PATTERNS
(The following lines give Branch and Reach names;
Maximum surface flow arriving at an entry point or pit,
Maximum flow in the pit before routing through downstream
reach,
and Maximum surface overflow (m3/s);
Diameter (mm) and Capacity (m3/s) for circular pipe reaches.
Other information is given for non-circular reaches
- refer to the program code for details.)
A 1 .023 .023 .000 10000.5004.545
A 2 .000 .023 .000 10000.5004.545
END
```

ILSAX FILE : "INT-PRE5"

```
No 26 Ferguson Street - POST-DEVT
PEAK FLOWS AMONG RUNOFFS FROM 11 RAINFALL PATTERNS
(The following lines give Branch and Reach names;
Maximum surface flow arriving at an entry point or pit,
Maximum flow in the pit before routing through downstream
reach,
and Maximum surface overflow (m3/s);
Diameter (mm) and Capacity (m3/s) for circular pipe reaches.
Other information is given for non-circular reaches
- refer to the program code for details.)
A 1 .016 .016 .000 10000. .000
A 2 .015 .024 .000 10000. .000
B 1 .013 .013 .000 10000.5004.545
A 3 .000 .023 .000 10000.5004.545
END
```

ILSAX FILE : "INT-POST100"

```
No 26 Ferguson Street - POST-DEVT
*OSD1 - RW/OSD TANK
A 1 -1 -1
10 4 20 20 10000 0
A 2 0
3
106.68 0 0 0
107.96 8.2 0.010 0
108.06 8.2 0.010 10
0
0.0224 100 5 0 0 10 0
END
*OSD2- BASIN
A 2 -1 -1
10 4 20 20 10000 0
A 3 0
4
105.50 0 0 0
105.80 0.1 0.010 0
106.10 11.0 0.015 0
106.20 11.0 0.015 10
0
0.0268 20 5 0 80 10 0
END
*BYPASS
B 1 -1 -1
0 2 20 20 10000 0
10 0 0 0 0
A 3 0
0.0232 0 5 0 100 10 0
ADD B TO A
*CATCHMENT COMBINED OUTLET
A 3 -1 -1
0 1 20 20 10000 0
10 0 0 0 0
0 0 0 0 0 0 0
END
```

ILSAX FILE : "POSTP"

```
No 26 Ferguson Street - POST-DEVT
PEAK FLOWS AMONG RUNOFFS FROM 11 RAINFALL PATTERNS
(The following lines give Branch and Reach names;
Maximum surface flow arriving at an entry point or pit,
Maximum flow in the pit before routing through downstream
reach,
and Maximum surface overflow (m3/s);
Diameter (mm) and Capacity (m3/s) for circular pipe reaches.
Other information is given for non-circular reaches
- refer to the program code for details.)
A 1 .011 .011 .000 10000. .000
A 2 .008 .014 .000 10000. .000
B 1 .007 .007 .000 10000.5004.545
A 3 .000 .017 .000 10000.5004.545
END
```

ILSAX FILE : "INT-POST5"

```
No 26 Ferguson Street - POST-DEVT
PEAK FLOWS AMONG RUNOFFS FROM 11 RAINFALL PATTERNS
(The following lines give Branch and Reach names;
Maximum surface flow arriving at an entry point or pit,
Maximum flow in the pit before routing through downstream
reach,
and Maximum surface overflow (m3/s);
Diameter (mm) and Capacity (m3/s) for circular pipe reaches.
Other information is given for non-circular reaches
- refer to the program code for details.)
A 1 .014 .014 .000 10000. .000
A 2 .012 .019 .000 10000. .000
B 1 .010 .010 .000 10000.5004.545
A 3 .000 .021 .000 10000.5004.545
END
```

ILSAX FILE : "INT-POST20"

```
3 2 11
10 MINUTE 5 YEAR DESIGN STORM
2 2 -1 0 -0.3 0 300 0.3
1 5 2.5 3 1 0 0
1
5 10 5 1 1.0
1 20 166
0
15 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 15 5 1 1
1 20 142
0
20 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 20 5 1 1
1 20 125
0
25 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 25 5 1 1
1 20 112
0
30 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 30 5 1 1
1 20 104
0
45 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 45 5 1 1
1 20 85
0
60 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 60 5 1 1
1 20 73
0
90 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 90 5 2 1
1 20 58
0
120 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 120 5 2 1
1 20 49.2
0
180 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 180 15 2 1
1 20 38.7
0
270 MINUTE 5 YEAR DESIGN STORM
2 0 3
1
5 270 15 5 1
1 20 28
0
```

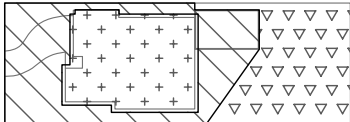
ILSAX FILE : "WR5"

```
3 2 11
10 MINUTE 20 YEAR DESIGN STORM
2 2 -1 0 -0.3 0 300 0.3
1 5 2.5 3 1 0 0
1
5 10 5 1 1.0
1 20 166
0
15 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 15 5 1 1
1 20 142
0
20 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 20 5 1 1
1 20 125
0
25 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 25 5 1 1
1 20 112
0
30 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 30 5 1 1
1 20 104
0
45 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 45 5 1 1
1 20 85
0
60 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 60 5 1 1
1 20 73
0
90 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 90 5 2 1
1 20 58
0
120 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 120 5 2 1
1 20 49.2
0
180 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 180 15 2 1
1 20 38.7
0
270 MINUTE 20 YEAR DESIGN STORM
2 0 3
1
5 270 15 5 1
1 20 28
0
```

ILSAX FILE : "WR20"

```
3 2 11
10 MINUTE 100 YEAR DESIGN STORM
2 2 -1 0 -0.3 0 300 0.3
1 5 2.5 3 1 0 0
1
5 10 5 1 1.0
1 20 166
0
15 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 15 5 1 1
1 20 142
0
20 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 20 5 1 1
1 20 125
0
25 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 25 5 1 1
1 20 112
0
30 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 30 5 1 1
1 20 104
0
45 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 45 5 1 1
1 20 85
0
60 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 60 5 1 1
1 20 73
0
90 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 90 5 2 1
1 20 58
0
120 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 120 5 2 1
1 20 49.2
0
180 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 180 15 2 1
1 20 38.7
0
270 MINUTE 100 YEAR DESIGN STORM
2 0 3
1
5 270 15 5 1
1 20 28
0
```

ILSAX FILE : "WR100"



- ++ IMPERVIOUS TO OSD1 = 224 m2
- AREA DIRECT TO OSD2 = 268 m2
- ▽▽ OSD BYPASS = 232 m2

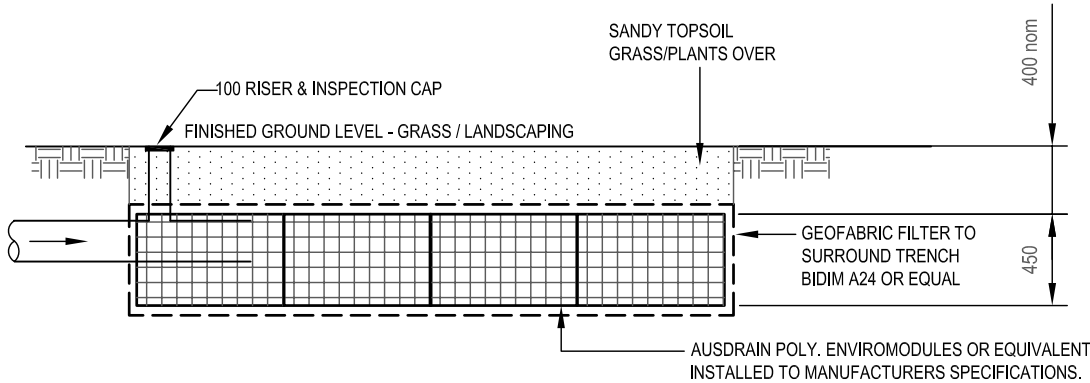
DETENTION AREA DIAGRAM

SCALE 1:500 at A3



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1025



TYPICAL DETAIL - ABSORPTION TRENCH

B	20.08.2020	ADD DP - DA ISSUE
A	11.07.2020	DA ISSUE
ISS	DATE	AMENDMENT

ARCHITECT/BUILDER	ARCH. REF : 29914351
CLARENDON HOMES	
OWNER	
YING	
LGA	NORTHERN BEACHES (WARRINGAH)

Consulting Engineers Civil & Environmental, Stormwater Management.
StormCivil
3 Gresham Street, Cowan NSW 2081 ph/fax (02) 9456 7233 mobile : 0424023047 mark@stormcivil.com.au
Pty Ltd. ABN 71 612 151 461

DWG TITLE	STORMWATER DETENTION CALCULATIONS
PROJECT TITLE	PROPOSED RESIDENTIAL DEVELOPMENT Lot 8, No 26 FERGUSON STREET, FORESTVILLE

StormCivil		APPROVED ON BEHALF OF STORMCIVIL PTY LTD	
		Mark Taylor <i>M Taylor</i> MIE Aust CP Eng NER 173333	
JOB No	DWG No	No IN SET	ISSUE
305008	D2	3	B

TREE PRESERVATION NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS.

COMBINED STORMWATER DETENTION / RAINWATER TANKS
INTERCONNECTED ABOVE-GROUND TANKS. TOTAL STORAGE 11,200 litres min.
USE 2 x CUSTOM "KINGSPAN SLIMLINE":
EACH TANK : 1860h x 2900 lg x 1150 w = 5600 litres.
TOTAL STORAGE = 2 x 5600 = 11,200 litres.
CONNECT ALL ROOFWATER DIRECT TO PRIMARY TANK.
TOP TANKS : RL 108.06
DETENTION ZONE : 8200 litres
TOP WATER LEVEL = RL 107.96
INVERT OUTLET = RL 106.68
OUTLET : 60mm ORIFICE IN PIPE
RE-USE/BASIX ZONE : 3000 litres
TOP WATER LEVEL = RL 106.68
INVERT = TANK PAD = RL 106.20
REFER TYPICAL DETAIL DRAWING D1.
SPECIAL NOTES :
1. REQUIRE 60mm ORIFICE IN OUTLET FROM SIDE OF PRIMARY TANK AT SPECIFIED RL - SEE DRAWING D1.
2. PROVIDE 2 x 100 DIA CHARGED INLET PIPES TO PRIMARY TANK AS SHOWN.
3. PRIMARY TANK TO HAVE 2 x 100 DIA OVERFLOW PIPES AS SHOWN CONVERTING TO 1 x 150 DIA AT GROUND LEVEL.
4. TANKS TO BE SET AT THE SAME LEVEL.
5. ENSURE ALL ROOF GUTTERS AT LEAST 1.0m ABOVE TOP OF TANKS.
INSTALL TO MANUFACTURERS SPECIFICATIONS AND BY LICENSED PLUMBER IN ACCORDANCE WITH AS/NZS 3500:2003 AND NSW CODE OF PRACTICE PLUMBING AND DRAINAGE 2006.

STORMWATER DETENTION BASIN - ABOVE GROUND
EXTENT OF BASIN SHOWN SHADED.
DESIGN AREA = 8.0m x 5.0m = 40 m2
AVERAGE DEPTH = 280 mm
MAXIMUM DEPTH = 300 mm
TOP WATER LEVEL = RL 106.10
DESIGN VOLUME = 40 x 0.28 = 11.0 m3
PROVIDE EVEN GRADES BETWEEN SPOT LEVELS SHOWN.
DISCHARGE CONTROL PIT : REFER DETAIL DRAWING D1.
TOP WALLS : RL 106.10 min AS SHOWN.
PERIMETER WALL TO BE WATERTIGHT MASONRY.
BASIN AREA TO BE GRASS/ GROUND COVERS/ SHRUBS WITH NO FLOATABLE MULCHES.

PIT P3 : 450 x 450
DISCHARGE CONTROL PIT.
REFER DETAIL SHEET D1.
GRATE : 105.80
INVERT : 105.50
OUTLET = 150 DIA
INSTALL ORIFICE PLATE AND TRASH SCREEN OVER OUTLET.

GRATED TRENCH DRAIN.
200 WIDE CHAMBER.
150 DIA OUTLET.
DRAIN TO BE SET 0.3 m FROM GARAGE FACE WITH DOWN-GRADE FROM GARAGE TO DRAIN.
FINISHED DRIVEWAY SURFACE TO BE GRADED SO THAT DRIVEWAY RUNOFF IS DIRECTED DOWN SIDE PASSAGEWAY AND NOT INTO GARAGE SHOULD GRATED TRENCH DRAIN BLOCK.

PIT P1 : 450 x 450
GRATE : 106.70
INVERT : 106.25
150 DIA OUTLET

PIT P2 : 450 x 450
GRATE : 105.80
INVERT : 105.55
150 DIA OUTLET

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/1025

LEVEL SPREADER SYSTEM
INSTALL 5.0m long x 200mm WIDE GRATED TRENCH DRAIN.
GRATE : RL 105.35
DEPTH 150mm nom.
DRAIN TO BE LAID SO THAT THE TOP IS LEVEL ALONG FULL LENGTH AND OUTFLOW IS EVENLY SPREAD ACROSS FULL LENGTH. WILL REQUIRE MINOR GROUND RESHAPING TO ACHIEVE.
PROVIDE 30mm DIA, nom WEEPHOLES THRU BASE AT 300mm CTS.
PROVIDE 300 wide x 150 deep AGGREGATE BASE UNDER FULL LENGTH OF DRAIN COMPRISING 14mm AGG. WRAPPED GEOFABRIC.
DRAIN TO BE MINIMUM 3.0m FROM DOWNSLOPE REAR AND SIDE BOUNDARIES

100 DIA ROOF ONLY.
CHARGED LINE SEWER GRADE uPVC SOLVENT WELDED.
NOTE CHARGED SYSTEM TO BE FULLY SEALED FROM TANK INLET TO ROOF GUTTER LEVEL.
ROOF GUTTER RL = 108.30
TANK INLET RL = 108.06
DIFFERENTIAL HEAD = 1.24 m

PROVIDE 100mm DIA EXTENSIONS FROM LOWPOINTS OF MAIN CHARGED LINES TO TERMINATE AS CAPPED STUBS INSIDE CLEANOUT PIT FOR OCCASIONAL CHARGED SYSTEM CLEANOUT. REFER CLEANOUT PIT DETAIL DRAWING D1.

INSTALL BELOW-GROUND ABSORPTION TRENCH. REFER TYPICAL DETAIL SHEET D2.
NOTE : TRENCH IS FIRST FLUSH TRENCH ONLY. TRENCH IS DESIGNED TO FILL UP FIRST WHEN WATER ENTERS PIT P4 BEFORE WATER THEN OVERFLOWS TO SPREADER. USE PLASTIC CELL MODULAR TYPE TRENCHING.
PLASTIC CELL DIMENSIONS :
1200 w x 3200 lg x 450 deep nom.
TOPSOIL COVER OVER : 400mm min.
USE "AUSDRAIN" MODULES OR APPROVED EQUIVALENT INSTALLED TO MANUFACTURERS SPECIFICATIONS (www.ausdrain.com).
TRENCH OFFSETS :
1. 3000 min FROM SIDE BOUNDARIES.
2. 4000 min FROM BUILDING FOOTINGS.
3. 3000 min FROM POOL.

PIT P4 : 450 x 450
GRATE : 105.90
INVERT : 105.35
INVERT 150 DIA OUTLET TO SPREADER : 105.45
INVERT 100 DIA OUTLET TO TRENCH : 105.35.
PROVIDE SCREEN OVER OUTLET TO TRENCH

NOTE
ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003.

NOTE
THIS DRAWING DOES NOT INCLUDE ROOF GUTTER/DOWNSPIPE OR SUBSOIL DRAINAGE DESIGN UNLESS NOTED OTHERWISE. THE DESIGN OF ROOF AND SUBSOIL DRAINAGE SYSTEMS IS THE RESPONSIBILITY OF OTHERS.

NOTE
THIS PLAN MANAGES STORMWATER RUNOFF DERIVED FROM ROOF AND DRIVEWAY SURFACES ONLY AS SHOWN ON ARCHITECTURAL DRAWINGS. ANY OTHER SURFACE RUNOFF WATER INCLUDING REAR/FRONT YARD OR NEIGHBOURING PROPERTY RUNOFF TO BE MANAGED BY SEPARATE SYSTEM BY OWNER IN ACCORDANCE WITH AS 3500.3 AND BCA PART 3.1.2

STORMWATER MANAGEMENT PLAN
SCALE 1:200 at A3

StormCivil
Consulting Engineers
Civil & Environmental,
Stormwater Management.
3 Gresham Street,
Cowan NSW 2081
ph/fax (02) 9456 7233
mobile : 0424023047
mark@stormcivil.com.au
Pty Ltd. ABN 71 612 151 461

DWG TITLE
STORMWATER MANAGEMENT PLAN
PROJECT TITLE
PROPOSED RESIDENTIAL DEVELOPMENT
Lot 8, No 26 FERGUSON STREET, FORESTVILLE

StormCivil
APPROVED ON BEHALF OF STORMCIVIL PTY LTD
Mark Taylor
MIE Aust CP Eng NER 173333
JOB No 305008
DWG No D3
No IN SET 3
ISSUE B



ISS	DATE	AMENDMENT
B	20.08.2020	ADD DP - DA ISSUE
A	11.07.2020	DA ISSUE

ARCHITECT/BUILDER	ARCH. REF : 29914351
CLARENDON HOMES	
OWNER	YING
LGA	NORTHERN BEACHES (WARRINGAH)