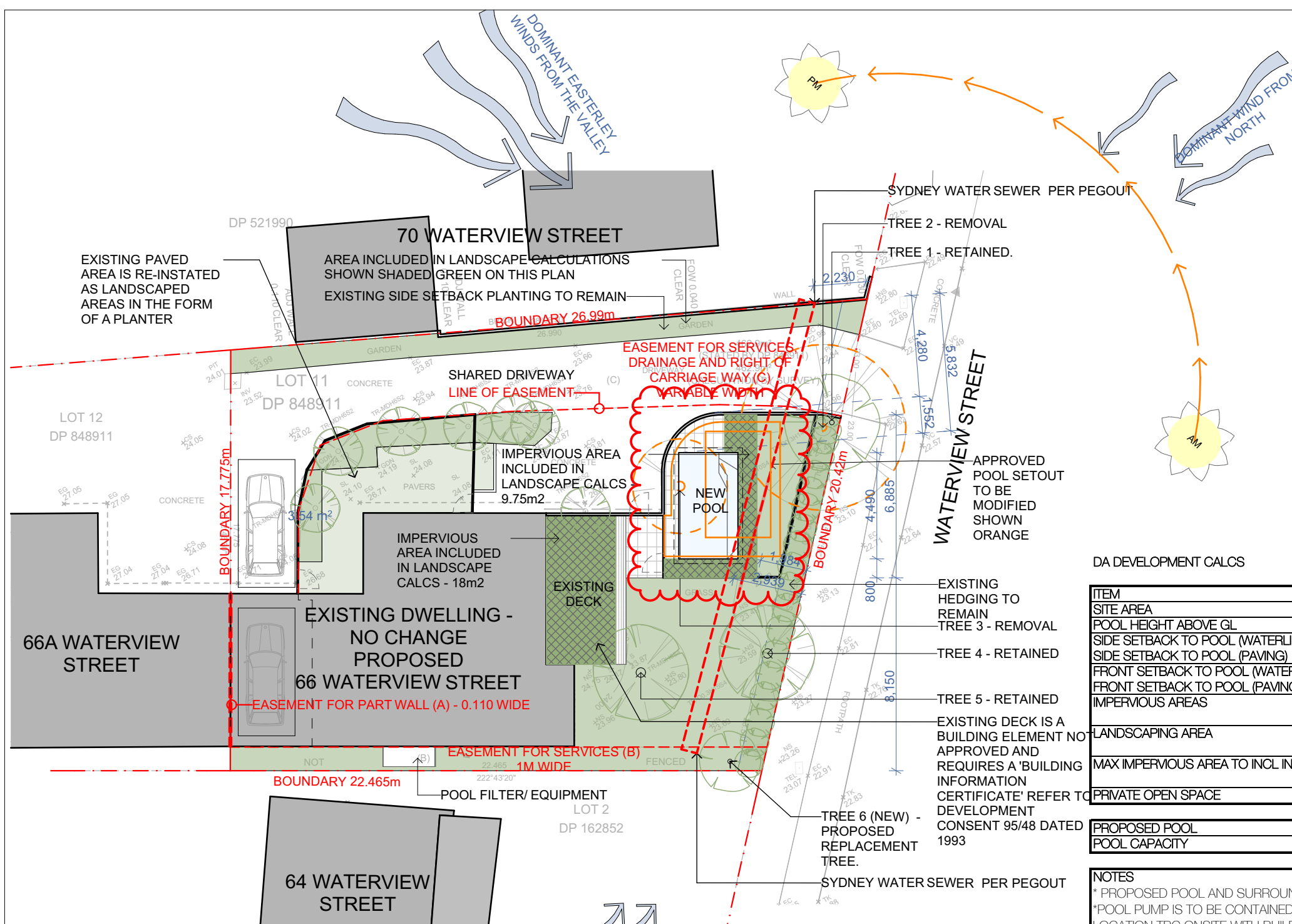




DA DEVELOPMENT CALCS

ITEM	REQUIREMENTS	EXISTING	APPROVED	MODIFICATION
SITE AREA			462.9 m ²	NO CHANGE
POOL HEIGHT ABOVE GL			0.35 m	0.35 m
SIDE SETBACK TO POOL (WATERLINE)			4.93 m	5.83 m
SIDE SETBACK TO POOL (PAVING)			4.37 m	4.28 m
FRONT SETBACK TO POOL (WATERLINE)			1.8 m	2.93 m
FRONT SETBACK TO POOL (PAVING)			1 m	1.98 m
IMPERVIOUS AREAS		52%	52%	NO CHANGE
		242.68 m ²	242.65 m ²	NO CHANGE m ²
LANDSCAPING AREA	min 50%	42%	42%	NO CHANGE
	total 231.45 m ²	192.45 m ²	192.474 m ²	NO CHANGE m ²
MAX IMPERVIOUS AREA TO INCL IN CALC	max 6%	6%	6%	NO CHANGE
	max 27.774 m ²	27.774 m ²	27.774 m ²	NO CHANGE
PRIVATE OPEN SPACE	min 24 m ²	24 m ²	24 m ²	NO CHANGE m ²
PROPOSED POOL	AQUIFY POOLS - VERONA			
POOL CAPACITY	10,300L			

NOTES

* PROPOSED POOL AND SURROUNDS SHALL BE NO GREATER THAN 600mm ABOVE EXISTING GROUND LEVEL.

* POOL PUMP IS TO BE CONTAINED WITHIN A SOUNDPROOFED ACOUSTIC ENCLOSURE TO POOL MFRS SPEC. LOCATION TBC ONSITE WITH BUILDER AND OWNER.

* SWIMMING POOL INCLUDING THE SAFETY FENCING IS TO COMPLY WITH:

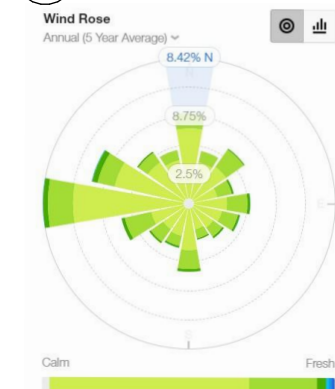
- COUNCIL CODES
- CURRENT NATIONAL CONSTRUCTION CODE (NCC) (AT DATE OF APPROVAL) WITH SPECIFIC REFERENCE TO REQUIREMENTS IN NSW.
- SWIMMING POOLS ACT 1992-NO.49
- SWIMMING POOLS SAFETY AS1926.2-2007
- SWIMMING POOLS SAFETY AS1926.1-2012

* DIAL BEFORE YOU DIG AND REVIEW OF ALL ONSITE SERVICES IS TO BE CONDUCTED BY CONTRACTOR PRIOR TO CONSTRUCTION/EXCAVATION

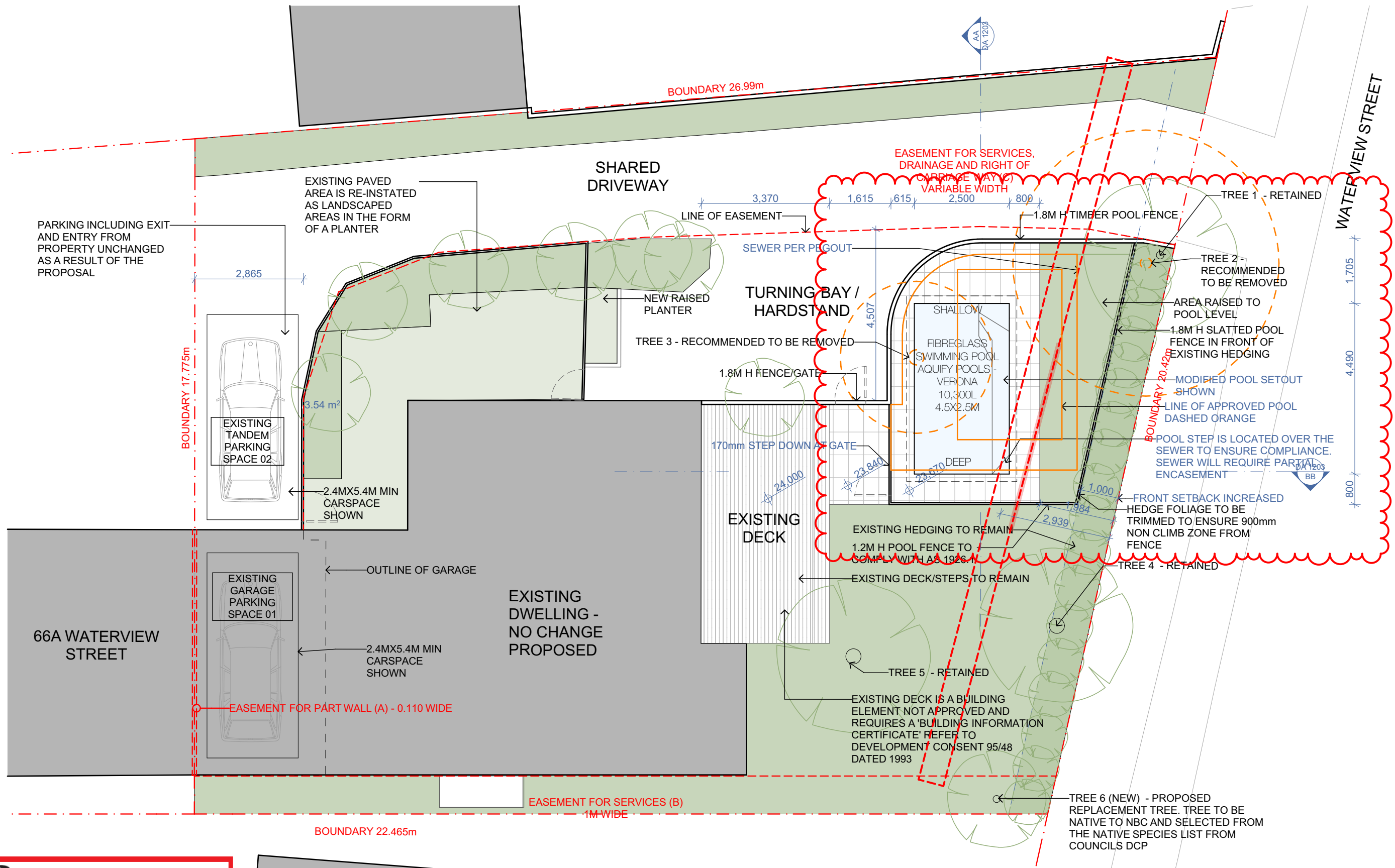
* UNO ALL DIMENSIONS ARE TAKEN FROM EXISTING PROPERTY FENCE LINES. IT IS ASSUMED THAT THE EXISTING FENCE LINE IS THE PROPERTY BOUNDARY UNO BY THE PROPERTY OWNER.

* POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021.

SITE PLAN 1:200



5 YEAR AVERAGE WIND



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2025/0086

**RICH
CARR
ARCHITECTS**
RICHCARRARCHITECTS.COM.AU
T: 02 8593 2141 NSW ARB: 9697
E: info@richcarrarchitects.com.au

project:
66 WATERVIEW STREET MONA VALE 2103

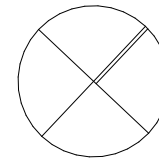
Lot/DP:
LOT 11 / DP 848911

client:
JOE AND LAINEY ALLEN

MOD A 12.02.25 DA MODIFICATION 4.55

issue date description
COPYRIGHT © DA MODIFICATION

This document is the property of Rich Carr Architects Pty Ltd. This drawing shall only be used for the purpose for which it was commissioned. Unauthorised use of this drawing is prohibited.
Note: Do not scale from drawings. Figured dimensions shall take precedence over scaled dimensions. Any discrepancy shall be reported to the Architect for clarification prior to the commencement of any work.
Nominated Architect: Richard Carr NSW ARB 9697



drawing:
FLOOR PLAN

drawing no:
DA 1202

scale:
AS SHOWN ON A3

drawing issue:
MOD A

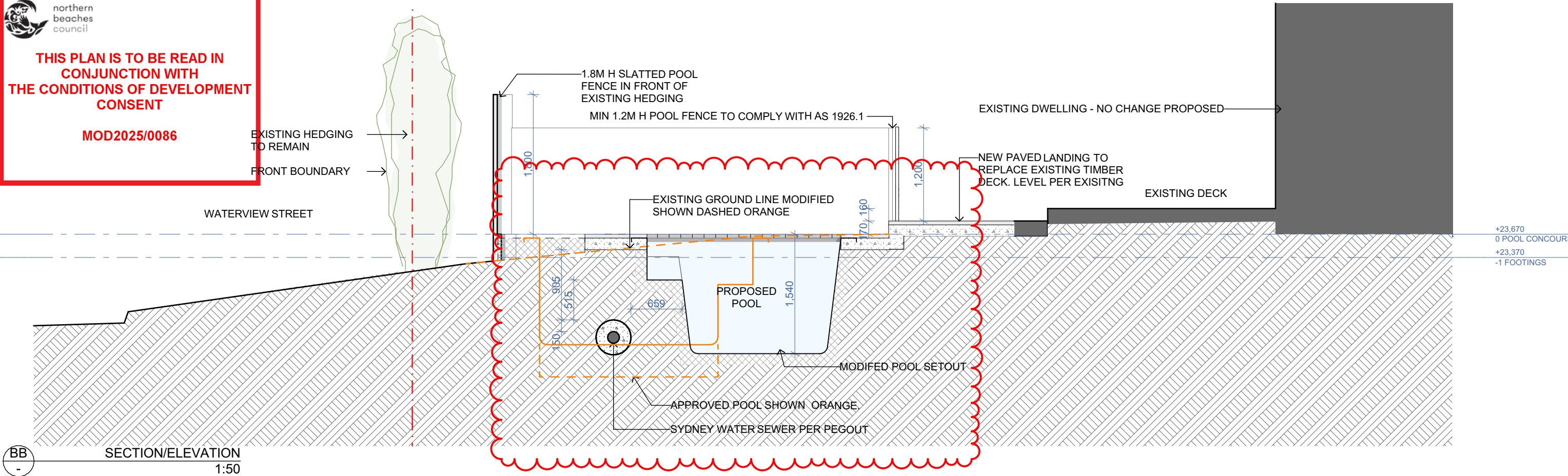
LANDSCAPE PLAN
1:100



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2025/0086



MATERIALS AND FINISHES



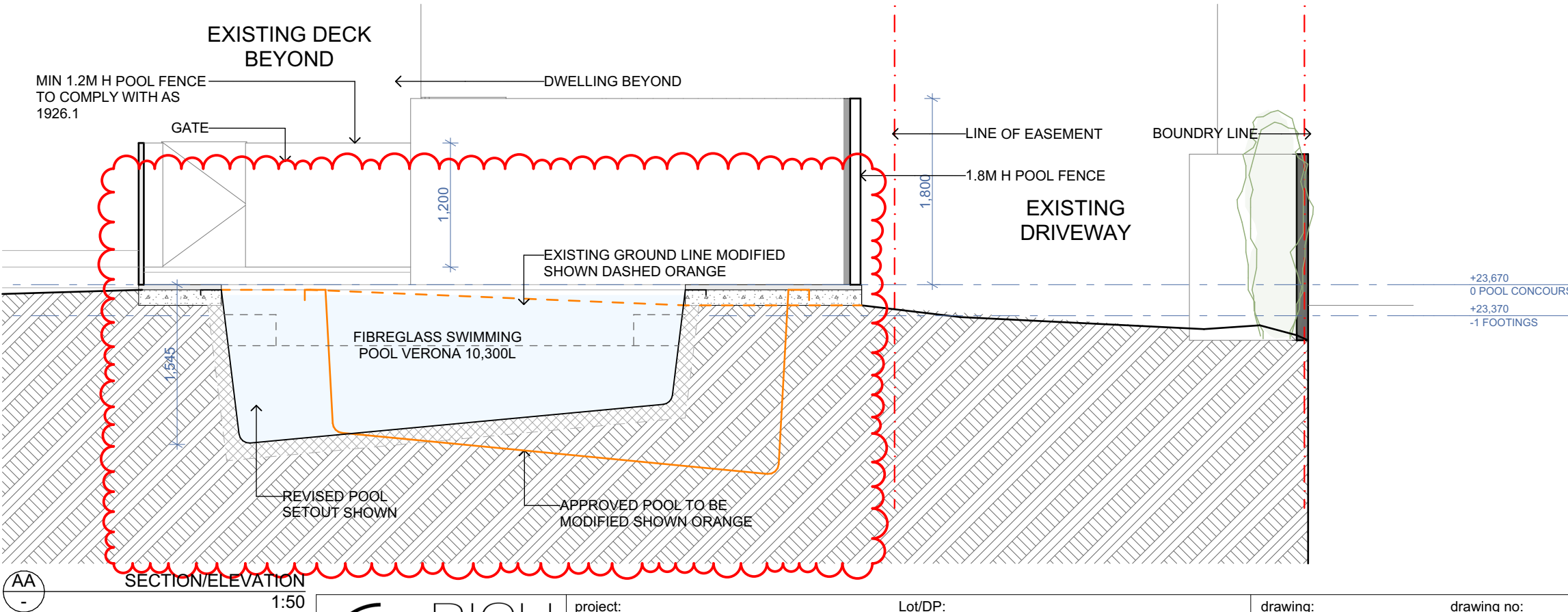
A) PAVED POOL AREA



B) SLATTED FENCING



C) GLASS POOL FENCING





RICH
CARR
ARCHITECTS

RICHCARRARCHITECTS.COM.AU

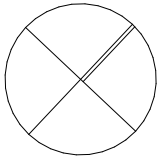
T: 02 8593 2141
E: info@richcarrarchitects.com.au

NSW ARB: 9697

project:
66 WATERVIEW STREET MONA VALE 2103
client:
JOE AND LAINEY ALLEN
MOD A 12.02.25 DA MODIFICATION 4.55
issue date description
COPYRIGHT © DA MODIFICATION

Lot/DP:
LOT 11 / DP 848911

This document is the property of Rich Carr Architects Pty Ltd. This drawing shall only be used for the purpose for which it was commissioned. Unauthorised use of this drawing is prohibited.
Note: Do not scale from drawings. Figured dimensions shall take precedence over scaled dimensions. Any discrepancy shall be reported to the Architect for clarification prior to the commencement of any work.
Nominated Architect: Richard Carr NSW ARB 9697



drawing:
SECTION /
ELEVATIONS

scale:
AS SHOWN ON A3

drawing no:
DA 1203

drawing issue:
MOD A