PROPOSED NEW DOUBLE STOREY DUAL OCCUPANCY DWELLING

LOT 34, NO.20 GRIMES PLACE, DAVIDSON, NSW 2085

MR. M. DAYOUB, MR. M. DAYOUB, MR. B. GAFFNEY & MRS. N. GAFFNEY

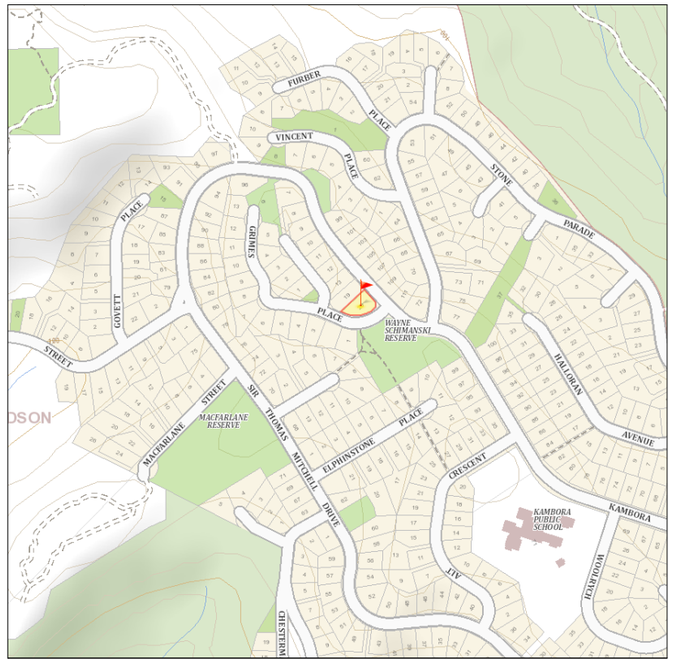
SHEET LIST

01	COVER SHEET
02	GENERAL NOTES AND SPECIFICATIONS
03	SITE PLAN
04	DEMOLITION PLAN
05	SWEPT PATH ANALYSIS
06	SEDIMENT & WASTE MANAGEMENT PLAN
07	SITE ANALYSIS PLAN
08	SHADOW DIAGRAMS
09	PROPOSED STRATA SUBDIVISION PLAN
10	GROUND FLOOR PLAN
11	FIRST FLOOR PLAN
12	ROOF PLAN
13	ELEVATIONS A & B
14	ELEVATIONS C & D
15	SECTION & BASIX / NatHERS REQUIREMENTS
16	SLAB LAYOUT PLAN

SHEET LIST

17	ELECTRICAL PLAN
18	UNIT 1 - I.E. - KITCHEN
19	UNIT 1 - I.E. - W.I.P.
20	UNIT 1 - I.E. - LAUNDRY
21	UNIT 1 - I.E. - BATH 2
22	UNIT 1 - I.E. - ENSUITE
23	UNIT 1 - I.E. - BATH 1
25	UNIT 2 - I.E. - KITCHEN
25	UNIT 2 - I.E. - W.I.P.
26	UNIT 2 - I.E. - LAUNDRY
27	UNIT 2 - I.E. - BATH 2
28	UNIT 2 - I.E. - ENSUITE
29	UNIT 2 - I.E. - BATH 1
30	WINDOW / DOOR SCHEDULE
31	COLOUR SCHEDULE

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025



LOCATION PLAN

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

COVER SHEET

GENERAL NOTES:
DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. MERIDIAN HOMES (AUST) PTY. LTD. OWNS THE COPYRIGHT IN THE DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.

MERIDIAN HOMES
Office Tower Building E, Ground Floor, Unit E204 / 24-32 Lexington Drive, Bella Vista NSW 2153
Tel: 1300 855 138 | ABN: 93 152 822 430 | www.meridianhomes.net.au

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CLIENT: MR. M. DAYOUB, MR. M. DAYOUB, MR. B. GAFFNEY & MRS. N. GAFFNEY	HOUSE DESIGN: CUSTOM	FACADE: ASTRID	INCLUSIONS: CLASSIC
ADDRESS: LOT 34, NO.20 GRIMES PLACE,	DEPOSITED PLAN: DP 251101	COUNCIL: NOTHERN BEACHES COUNCIL	REVISION: L
SUBURB: DAVIDSON, NSW 2085	SCALE: N/A	DRAWN: TN / DATE: 21/05/2025 / SHEET: 01 OF 31	JOB NUMBER: 3081

General Notes

Coordination
Refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify any discrepancies between the architectural and/or other consultant's documentation prior to proceeding with the works.

Specifications and Schedules
Refer to and coordinate with applicable Specifications and Schedules. Notify any discrepancies between documents prior to proceeding with the works.

Detail Drawings
Drawings at larger scales take precedence over drawings at smaller scales, Notify any discrepancies prior to proceeding with the works.

Execution of the Works
Execute the works in accordance and compliance with:

• The approved Development Application and in accordance with the relevant Conditions of Consent and other relevant Local Authority requirements;
• The requirements scheduled by a current BASIX Certificate consistent with the works.
• The current edition of the Building Code of Australia (as amended); and
• Current editions of the relevant Australian and other applicable published standards relevant to the execution of the works.

Units of Measurement
Dimensions are shown in millimetres unless noted otherwise.

Materials Handling and Storage
Material, fixtures and fittings are to be handled, stored and installed in accordance with the manufacturer's current written instructions.

Structure
Foundations, footings, reinforced concrete slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics
Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be constructed in accordance with Local Authority and Hydraulic Engineer's requirements.

Client Note
These plans are drawn for construction purposes only and the owner must consider real-life viewing angles when interpreting the 2D elevations, roof angles, parapets and window visibility may differ based on the viewing angle of your home.

General Building Specifications

1. Introduction

1.1 General
This Specification forms part of the Contract documents referred to in the building Contract and details the works to be executed and the materials to be used in carrying out those works at the site.
This Specification is to be read as a general specification only. The extent of the works shall be governed by the approved plans and other requirements under the Contract. Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in acconfance with the National Construction Code (NCC) Series, the relevant manufacturer's instructions or Engineer's Instructions.

1.2 Preliminary Use
This Specification forms part of the Contract and should be read in conjunction with the other contract documents.

1.3 Prevailing Documents
Where there is a difference between the plans and this Specification, this Specification shall take precedence. The Builder must at all times maintain a legible copy of the plans and this Specification bearing the approval of the relevant Local Authority.
Otherwise to the extent of any conflict between documents, the order of precedence set out in the building contract shall apply.

1.4 Size and Dimensions
Unless otherwise stated, all dimensions given in this specification are in millimetres and are nominal only.

1.5 Prime Cost and Provisional Sum Items
Prime Cost and Provisional Sums Items are items that the Owner is to select after the contract has been entered into. The prices listed are the Builder's reasonable estimate of the "cost price" of those items including GST. The prices listed do not include unquantifiable components including the "Builder's margin", cost of cartage and freight.

1.6 Definitions
In this Specification the following definitions shall apply:

• "NCC" Series includes NCC Series Volume 2 2022, "Building Code of Australia Class 1 and Class 1O Buildings and the ABCB Housing Provisions Standard 2022 (unless otherwise noted), NCC Series Volume 3 2022 Plumbing Code of Australia is also included.
• "Engineer's Instruction" includes any soil classification report, preliminary footings report, construction footings report and any other report, recommendation, site or other instruction, calculations or plans prepared by an engineer in respect of the works.
• Where the term "Local Authority" is mentioned it shall mean the local council, or other governing authority or private certifier with statutory responsibility for the compliance of the work performed.
• Where referred to in this Specification, "Regulations" and NCC"shall mean the building Regulations and Codes (including the NCC, as amended) statutorily enforceable at the time application is made for a construction certificate or other permits, consents or approvals relating to the Contract.
• The "HIA Guide" means the HIA Guide to Materials & Workmanship for Residential Building Work.
• References to Australian Standards mean the version of the Standard referenced within Schedule 2 of the NCC version listed above, as modified by NCC Schedule 5 in NSW, or as referenced within the relevant legislation.
Unless the context suggests otherwise, terms used in this Specification shall have the same meaning as in the HIA Building Contract between the Owner and the Builder ("Contract").

2. Statutory Requirements

2.1 The Building Works
The building works outlined in the Schedule of Works, annexed to this Specification, shall be constructed in accordance with:
• the Regulations and in particular the Performance Requirements referred to in the NCC 2022 Volume 2;
• any conditions imposed by the relevant development consent or complying development certificate; and
• commitments outlined in the BASIX Certificate.

2.2 Performance Solutions
Where a performance solution is used in the building instead of an acceptable construction practice referenced within this specification, the solution is to be specified and documented in accordance with Part A2G2 (4) of the NCC.

2.3 Compliance with Requirements of Authorities
The Builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.

2.4 Electricity
Where there is no existing building, the Builder is to make arrangements for any electrical power to be used in the construction of the building works. The cost of providing and installing any poles, wiring, service risers or underground wiring etc, as may be required by the electricity supply authority, shall be borne by the Owner.

2.5 Sanitary Accommodation
Prior to the commencement of the building works, unless toilet facilities exist on the site, the Builder shall provide temporary toilet accommodation for the use of site personnel. Where the Local Authority requires the temporary toilet to be connected to sewer mains, the cost of this work shall be borne by the Owner. On completion the Builder shall remove the convenience.

3. Owner's Obligations

3.1 Engineer's Instructions
If the Contract indicates, the Owner, at their expense, shall provide the Builder with engineer's reports and specifications (including wind and soil classifications) for the foundation or footing requirements. In these circumstances, if the Builder instructs any party to provide such reports, the Builder does so only as agent for the Owner.

3.2 Water Supply
Where there is no existing building on the site, the Owner, at their expense, shall supply adequate water to the site for construction purposes. The contract documents must include all details for management of water providing clarity for the Owner and Builder regarding items such as rainwater tanks, septic systems and the like.

3.3 Sanitation
Unless otherwise specified the Owner shall supply sewerage connection and pay the standard sewer connection fee to the sewerage supply authority.

4. Plans, Permits and Application Fees

4.1 Permits and Fees
Subject to a contrary requirement under the Contract, the Builder shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence
In areas affected by mine subsidence, the appropriate authority is to be consulted and any work carried out in accordance with the authority's requirements.

4.3 Setting Out
The Builder shall accurately set out the building works in accordance with the site plan and within the boundaries of the site.

5. General Structural Provisions
The building shall be constructed in accordance with ABCB Housing Provisions Standard 2022 Section 2, relevant provisions of NCC Volume 2 H1D3 to H1D12, or any combination of these provisions. Specific requirements for building elements in accordance with NCC Volume 2 H1D3 to H1D12 are outlined further below.

6. Excavations

6.1 Excavations
The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Bulk earthworks shall be in accordance with ABCB Housing Provisions Standard 2022 Part 3.2 per NCC Volume 2 H1D3, or any Engineer's Instructions.
Top soil shall be cut to a depth sufficient to remove all vegetation.
Excavations for all footings shall be in accordance with the Engineer's Instructions, or part NSW 4.2.3 of the ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4.

7. Foundations and Footings

7.1 Underfloor Fill
Underfloor fill shall be in accordance with ABCB Housing Provisions Standards 2022 Part 4.2.4, per NCC Volume 2 H1D4.

7.2 Termite Risk Management
Termite treatment shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.4, per NCC Volume 2 H1D3.

7.3 Foundation and Slab Design Elements
Where relevant the following elements shall be in accordance with the Engineer's Instructions. Per NCC Volume 2 H1D4 these may reflect AS3600, AS2870, or the listed provisions from the ABCB Housing Provisions Standard 2022:
• Site classification in accordance with Part 4.2.2 and AS2870
• Site foundations for footings and slabs in accordance with Part 4.2.5
• Slab edge support on sloping sites in accordance with Part 4.2.6
• Stepped footing in accordance with Part 4.2.7
• Edge rebates in accordance with Part 4.2.9.

7.4 Vapour Barrier
The vapour barrier installed under slab-on-ground construction shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW 4.2.8 (state variation), Damp-proofing membrane (including AS2870 as referenced).

7.5 Reinforcement
Reinforcement shall conform and be placed in accordance with the Engineer's Instructions or ABCB Housing Provisions Standard 2022 4.2.11 including AS2870 as referenced.
Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement.

7.6 Concrete
Except where otherwise approved by an engineer, structural concrete shall be in accordance with ABCB Housing Provisions Standard 2022 4.2.10.
Pre-mixed concrete shall be manufactured to comply with AS3600 with delivery dockets kept on site or available for inspection by the engineer, or the Local Authority.
Concrete shall be placed and compacted in accordance with good building practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).

7.7 Curing
All concrete slabs shall be cured in accordance with good practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).

7.8 Footings and Slabs on Ground
Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the Local Authority.
Unless otherwise specified bench and floor levels indicated on the site plan shall be regarded as nominal.
Footings and slabs on ground shall be in accordance with the Engineer's Instructions or the relevant provisions of ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4:
• General requirements in accordance with Part 4.2.12
• Stump footings in accordance with Part 4.2.13
• Stiffened raft slabs on Class A, S and M sites in accordance with Part 4.2.14
• Strip footings on Class A, S and M sites in accordance with Part 4.2.15
• Footings for Class A sites in accordance with Part 4.2.16
• Footings for single leaf masonry, mixed, and earth wall construction in accordance with Part 4.2.17
• Footings for fireplaces on Class A and S sites in accordance with Part 4.2.18
• Shrinkage control in accordance with Part 4.2.19
• Concentrated loads in accordance with Part 4.2.20
• Minimum edge beam dimensions in accordance with Part 4.2.21
• Recessed areas of slabs in accordance with Part 4.2.22

7.9 Suspended Slabs
All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's Instructions.

7.10 Foundation Walls
Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.

7.11 Sub-Floor Ventilation
All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the ABCB Housing Provisions Standard 2022 Part 6.2 per NCC Volume 2 H2D5.

7.12 Sub-Floor Access
Where required, access to suspended sub floor areas shall be located as indicated on the plan.

8. Retaining Walls

8.1 Retaining Walls
Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct retaining walls as shown on the approved plans. The design and construction of earth retaining structures shall be in accordance with AS4678 as referenced in NCC Volume 2 H1D3.
Where a retaining wall is not included in the Schedule of Works, the construction of any retaining wall shall be the responsibility of the Owner.

9. Effluent Disposal/Drainage

9.1 Effluent Disposal/Drainage
In both sewered and unsewered areas:

(a) any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and

(b) waste pipes with traps shall be provided to the above fittings and connected to the drainage system.
The whole of the work is to be performed in accordance with NCC Volume 3 and AS/NZS3500 series and requirements of the sewerage authority concerned.

9.2 Septic System
The Builder will provide and install a septic system where applicable to the requirements of the Local Authority and in accordance with the manufacturer's instructions.

9.3 Drainage
Drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3 and AS/NZS3500.3 per NCC Volume 2 H2D2, and the requirements of NCC Volume 3.

9.3.1 Stormwater Drainage
Stormwater drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3.5, NCC Volume 3 and AS/NZS3500.3.
The Builder will allow for the supplying and laying of stormwater drains as shown on the site plan.

9.3.2 Surface Water Drainage
Surface water drainage shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.3.

9.3.3 Subsoil Drainage
Where subsoil drainage is required it shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.4.

10. Timber Framing

10.1 Generally
All timber framing shall comply with NCC Volume 2 Part H1D6(4), or alternative structural framing shall be to structural engineer's details and certification. These may reflect any of the following:
• Timber structure design to AS1720.1
• Nailplated timber roof trusses per AS1720.5
• Residential construction in non-cyclonic areas per AS1684.2 or AS1684.4
• Residential construction in cyclonic areas per AS1684.3
• Installation of particleboard flooring per AS1860.2

Timber Engineered products may be used provided their design comply with the NCC and they are installed in accordance with the manufacturer's instructions.
The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

10.1.1 Floor Framing
All floor framing is to be framed at the level shown on the plan.

10.1.2 Wall Framing
Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab.
The interface between masonry veneer and wall framing will conform with AS3700 or AS4773.1 and AS4773.2, or conform with ABCB Housing Provisions Standard 2022 Part 5.2, per NCC Volume 2 H1D5.

10.1.3 Heads Over Opening (Lintels)
• All solid timber lintels shall conform to the AS1684.2 or AS1684.4.
• Glue laminated beams conforming to AS1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used.

10.1.4 Roof Trusses
Where roof truss construction is used, trusses shall be designed in accordance with AS1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.

10.1.5 Bracing
Bracing units shall be determined and installed in accordance with the Engineer's Instructions or AS1684 as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.
10.1.6 Flooring

Strip and sheet timber floors shall be installed in accordance with the AS1684.
Per NCC Volume 2 H4D2 and H4D3, the selection, installation and waterproofing of wet area floors shall conform to:
• The ABCB Housing Provisions Standard 2022 Part 10.2; or
• AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or
• The manufacture installation guides when listed in the Schedule of Works.
Where specified in the Contract floors shall be sanded to provide an even surface and shall be left clean throughout.

10.1.7 Roof Framing
Roofs shall be pitched to the slope shown on plan.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.
Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of ABCB Housing Provisions Standard 2022 Part 7.2, 9.2.1, 9.2.3 and 9.2.9.

10.1.8 Timber Posts
Unless otherwise specified and where required by the NCC posts supporting carports, verandas and porches shall be timber suitable for external use.

10.2 Corrosion Protection
All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with AS1684.

10.3 Hot Water Storage Units
Where a hot water storage unit or solar panels are supported by the roof structure the structure shall be specifically designed to support all imposed loads.

11. Steel Framing

11.1 Generally
Steel framing shall be installed in accordance with the manufacturer's recommendations and NCC Volume 2 H1D6 (3). This may reflect AS4100, AS/NZS4600 or the NASH Standard 'Residential and Low Rise Steel Framing'.

11.2 Structural Steel Sections
Structural steel shall be designed and constructed in accordance with the manufacturer's recommendations and NCC Volume 2 Part H1D6(5). This may reflect AS4100, AS/NZS4600 or the ABCB Housing Provisions Standard 2022 Part 6.3 where allowed under H1D6(6).

12. Roofing Claddings
All roof cladding is to comply with the relevant structural performance and weathering requirements of the NCC and be installed as per the manufacturer's specifications.

12.1 Tiled Roofing
The Builder shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with AS2050 or the ABCB Housing Provisions Standard 2022 Part 7.3 per NCC Volume 2 H1D7(3). Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable.

12.2 Metal Roofing
The Builder shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with AS1562.1 or the ABCB Housing Provisions Standard 2022 Part 7.2 per NCC 2022 H1D7(2), and the manufacturer's recommendations.
Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.

12.3 Gutters and Downpipes
Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with AS/NZS 3500.3 or the ABCB Housing Provisions Standard 2022 Part 7.4, per NCC Volume 2 H2D6.

12.4 Corrosion Protection
Materials used for flashings, fasteners, gutters and downpipes and shall be compatible.

12.5 Sarking
Sarking under tile roof coverings must comply with and be fixed in accordance with ABCB Housing Provisions Standard 2022 Part 7.3.4 or AS2050. Where required an anti-ponding device or board shall be installed per ABCB Housing Provisions Standard 2022 Part 7.3.5 or AS2050.
12.6 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

12.7 Flashing
Flashings shall comply with, and be installed in accordance with the ABCB Housing Provisions Standard 2022 Part 7.2.7 or AS1562.1 for metal roofs; and ABCB Housing Provisions Standard 2022 Part 7.3.3 or AS2050 for tiled roofs.

13. Masonry

13.1 Generally
All masonry construction and shall comply with AS3700, or AS4773.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Parts 5.2 to 5.7 as relevant, per NCC 2022 Volume 2 H1D5 and H1D4.

13.2 Bricks
Masonry units shall comply with AS3700, or AS4733.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Part 5.6.2.
Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As clay masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.

13.3 Concrete Blocks
Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with NCC Volume 2 H1D5 and H2D4. Concrete blockwork shall be constructed in accordance with NCC Volume 2 H1D5 and H2D4.
Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out. Autoclaved aerated concrete wall cladding shall be in accordance with ABCB Housing Provisions Standard 2022 Part 7.5 or AS5146.1 per NCC Volume 2 H1D7(4).

13.4 Damp Proof Courses
All damp proof course materials and installations shall comply with ABCB Housing Provisions Standard 2022 Part 5.7.3 and 5.7.4, or AS3700, or AS4773.1 and AS4773.2.
The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.

13.5 Cavity Ventilation (Weepholes)
Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with ABCB Housing Provisions Standard 2022 Part 5.7.5, or AS3700, or AS4773.1 and AS4773.2.
Cavities for masonry veneer shall be in accordance with the ABCB Housing Provisions Standard 2022 Part 5.7.2, or AS3700, or AS4773.1 and AS4773.2.

13.6 Mortar and Joining
Mortar mixes and joint tolerances shall comply with ABCB Housing Provisions Standard 2022 Parts 5.6.3 and 5.6.4, or AS3700, or AS4773.1 and AS4773.2.

13.7 Masonry Accessories
Masonry accessories shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.
Vertical articulated joints shall be constructed in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.8, or AS3700, or AS4773.1 and AS4773.2.
Veneer wall ties shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.5 and AS/NZS2699.1, or AS3700 or AS4773.1 and AS4773.2.

13.8 Lintels
Lintels used to support masonry above openings in walls shall comply with ABCB Housing Provisions Stanard 2022 Part 5.6.7, or AS3700 or AS4773.1 and AS4773.2, per NCC Volume 2 H1D5(1). Alternatively, lintels shall comply with ABCB Housing Provisions Standard 2022 Part 6.3.5 or AS4100 per NCC Volume 2 H1D6(3).
Lintels are to be provided to each wall leaf and are to be corrosion protected to a degree appropriate for the site environment and location of the lintel within the structure, in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.7, or AS3700 or AS4773.1 and AS4773.2. The durability class shall be as defined in AS2699.3.

13.9 Masonry Piers
Engaged piers in masonry construction shall comply with the relevant provisions of ABCB Housing Provisions Standard 2022 Parts 5.2.6 (masonry veneer) or 5.4.2 (unreinforced single leaf masonry), or AS3700, or AS4773.1 and AS4773.2.
Isolated masonry piers shall comply with ABCB Housing Provisions Standard 2022 Part 5.5, or AS4773.1 and AS4773.2, or AS3700 as modified by NCC Volume 2 H1D5.

13.10 Cleaning
All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

14. Cladding and Linings

14.1 External Claddings
Timber and composite external wall cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details or ABCB Housing Provisions Standard 2022 Part 7.5, per NCC Volume 2 H1D7(4).
• Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches in accordance with ABCB Housing Provisions Standard 2022 Part 7.5.5.
• Flashings to openings in external walls shall comply with ABCB Housing Provisions Standard Part 7.5.6.
• Parapet cappings shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.8.
• Ground clearances for external cladding shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.7.
• Autoclaved aerated concrete wall cladding shall be designed and constructed in accordance with AS5146.1.
Metal wall cladding shall be in accordance with AS1562.1 per NCC Volume 2 H1D7(5).

14.2 Internal Wall and Ceilings Linings
Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards.
Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.
Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles.
Wet area linings are to be fixed in accordance with the manufacturer's recommendations.
The ceiling access hole shall be of similar material to the adjacent ceiling.

15. Joinery

15.1 General
All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

15.2 Door Frames
External door frames shall be suitable for the exposed conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.

15.3 Doors and Doorsets
All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.

15.4 Windows and Sliding Doors
Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS2047.
All glazing shall comply with ABCB Housing Provisions Standard Part 8.2, AS2047 or AS1288, per NCC Volume 2 H1D8, and any commitments outlined in the relevant BASIX Certificate.

15.5 Architraves and Skirting
Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with accepted building practice.

15.6 Cupboards/ Kitchens/ Bathroom
Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

16. Services

16.1 Plumbing
All plumbing shall comply with the requirements of NCC Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber.
Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications.
Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.

16.2 Electrical
All electrical work is to be carried out by a licensed electrical contractor to AS/NZS3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents.
Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

16.3 Gas
All installation (including LPG) shall be carried out in accordance with AS5601.1, the relevant regulations and the rules and requirements of the relevant supply authority.

17. Fire Safety

17.1 Generally
Where required for fire performance the selection of materials, design and installation shall comply with the provisions of ABCB Housing Provisions Standard 2022 Part 9, per NCC Volume 2 Part H3.

17.2 Fire separation of external walls
Construction of external wall shall comply with ABCB Housing Provisions Standard 2022 Part 9.2.

17.3 Fire protection of separating walls and floors
Construction of separating walls and floors shall comply with ABCB Housing Provisions Standard 2022 Part 9.3.

17.4 Garage top dwellings
Construction of any garage top dwelling in NSW shall comply with ABCB Housing Provisions Standard 2022 NSW Part 9.4.

17.5 Smoke alarms and evacuation lighting
Smoke and heat alarms shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW Part 9.5.1, and Parts 9.5.2 to 9.5.4.
Where required evacuation lighting shall be installed in accordance with ABCB Housing Provisions Standard 2022 Part 9.5.5.

18. Health and Amenity

18.1 Waterproofing
All internal wet areas are to be waterproofed in accordance with NCC Volume 2 H4D2 and H4D3. Waterproofing shall comply with:
• ABCB Housing Provisions Standard 2022 Part 10.2; or
• AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or
• the manufacture installation guides when listed in the Schedule of Works.
External tiled decks and balconies, and roofing systems outside the scope of NCC Volume 2 H1D7(2) and (3), where required are to be waterproofed in accordance with AS4654.1 and AS4654.2 and relevant manufacturer's specifications, per NCC Volume 2 2022 H2D8.

18.2 Room heights
Room heights shall comply with ABCB Housing Provisions Standard 2022 Part 10.3, per NCC Volume 2 H4D4.

18.3 Facilities
The building facilities shall be installed as indicated on the plan, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.4, per NCC Volume 2 H4D5.

18.4 Lighting
Natural and artificial lighting shall be installed as indicated on the plans, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.5, per NCC Volume 2 H4D6.

18.5 Ventilation
Ventilation shall be installed as indicated on the plans, and shall comply with ABCB Housing Provisions Standard 2022 Part 10.6 or AS1668.2, per NCC Volume 2 H4D7.

18.6 Sound insulation
Where required sound insulation shall comply with ABCB Housing Provisions Standard 2022 Part 10.7, per NCC Volume 2 H4D8.
18.7 Condensation Management

18.7.1 Generally

For construction approval applications submitted before 1 October 2023, condensation management shall be provided in accordance with NCC Volume 2 2019 Amendment 1 Part 3.8.7.
For construction approval applications submitted on or after 1 October 2023, condensation management shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 10.8, per NCC 2022 Volume 2 H4D9.

18.7.2 Pliable Building membranes
Where required a pliable building membrane shall comply with, and be installed in accordance with the following:
• NCC Volume 2 2019 Amendment 1 Part 3.8.7.2 (applications made prior to 1 October 2023); or
• ABCB Housing Provisions Standard 2022 Part 10.8.1 (applications made from 1 October 2023).

18.7.3 Flow rate and discharge of exhaust systems
Exhaust systems shall comply with, and be installed in accordance with:
• NCC Volume 2 2019 Amendment 1 Part 3.8.7.3 (applications made prior to 1 October 2023); or
• ABCB Housing Provisions Standard 2022 Part 10.8.2 (applications made from 1 October 2023).

18.7.4 Ventilation of roof spaces
When required a ventilated roof space shall be provided in accordance with:
• NCC Volume 2 2019 Amendment 1 Part 3.8.7.4 (applications made prior to 1 October 2023); or
• ABCB Housing Provisions Standard 2022 Part 10.8.3 (applications made from 1 October 2023).

19. Safe Movement and Access

19.1 Stairways and ramps
Design and construction of stairways and ramps shall comply with ABCB Provisions Standard 2022 Part 11.2, per NCC Volume 2 H5D2.

19.2 Barriers and handrails
Design and construction of barriers and handrails shall comply with ABCB Housing Provisions Standard 2022 Part 11.3, per NCC Volume 2 H5D3.

19.3 Protection of openable windows
In bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.7.
In rooms other than bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.8.

20. Energy Efficiency

20.1 BASIX
The building works will comply with the BASIX commitments outlined within the relevant BASIX Certificate and any conditions of development consent. For projects where application for development consent is made on or after 1 October 2023 this will be in accordance with the requirements of the State Environmental Planning Policy (Sustainable Buildings) 2022 and any relevant savings and transitional provisions.

20.2 Thermal insulation
Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the NCC or as outlined in the relevant BASIX Certificate for NSW.

20.3 Other NCC requirements
Where the application for construction approval is made prior to 1 October 2023, energy efficiency measures not amended by BASIX will be installed in accordance with NCC Volume 2 2019 Amendment 1 NSW Part 3.12.1, NSW Part 3.12.3, and NSW Part 3.12.5 or the manufacturer's recommendations.
Otherwise, these measures will be provided and installed in accordance with ABCB Housing Provisions Standard 2022 Part 13.2, Part 13.4 and Part 13.7 as varied by the NSW Variations per NCC Volume 2 2022 NSW Part H6D2 or the manufacturers recommendations.

21. Ancillary Features

21.1 Swimming pools
Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct any swimming pool as shown on the approved plans. Where constructed a swimming pool shall be provided with safety barriers in accordance with AS1926.1 and AS1926.2, or Clause 9 of the Swimming Pools Regulation 2018 for spa pools, per NCC Volume 2 2022 NSW H7D2(1). The recirculation system shall comply with AS1926.3 per NCC Volume 2 2022 NSW H7D2(2).
Where a swimming pool is not included in the Schedule of Works, the construction of any swimming pool and associated safety barriers and recirculation systems shall be the responsibility of the Owner.

21.2 Balconies and decks attached to external walls
Where a balcony or deck is attached to an external wall it shall comply with ABCB Housing Provisions Standard 2022 Part 12.3, per NCC Volume 2 H1D11 or the engineered specifications.

21.3 Fireplaces, heating appliances, chimneys and flues
Where the Builder is required by the Schedule of Works annexed to this Specification, the construction or installation of a boiler, pressure vessel, fireplace or heating appliance shall comply with AS/NZS2918 or ABCB Housing Provisions Standard 2022 Part 12.4, per NCC Volume 2 H7D5.
Where not included in the Schedule of Works, the construction and installation of any fireplace or heating appliance shall be the responsibility of the Owner.

21.4 Alpine areas
In alpine areas construction shall comply with ABCB Housing Provisions Standard 2022 Part 12.2, per NCC Volume 2 H7D3.

21.5 Bushfire prone areas
In bushfire prone areas construction shall comply with AS3959, or NASH Standard - Steel Framed Construction in Bushfire Areas; except as amended by Planning for Bushfire Protection and as modified by development consent following consultation with the NSW Rural Fire Service, or bushfire safety authority for the purposes of integrated development, per NCC Volume 2 2022 NSW H7D4.

21.6 Flood hazard areas
In flood hazard areas, construction shall comply with ABCB Standard for Construction of Buildings in Flood Hazard Areas, per NCC Volume 2 H1D10.

22. Tiling

22.1 Materials
Tiles shall be as listed in the Schedule of Works or as selected by the Owner.
Cement mortar and other adhesives shall comply with AS3958.1 or tile manufacturer's specifications.

22.2 Installation
Installation of tiles shall be in accordance with AS3958.1 or the manufacturer's recommendations and accepted building practices.
Where practicable, spacing between tiles should be even and regular.
Expansion joints shall be installed in accordance with AS3958.1 or the tile manufacturer's specifications.
All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant.
All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice.
As tiles are made of natural products a slight variation in colour is acceptable.
Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

22.3 Walls
Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

22.4 Floors
Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or metal angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 10.2 or AS3740, per NCC Volume 2 H4D2 and H4D3.
Adequate falls shall be provided to floor wastes in accordance with ABCB Housing Provisions Standard 2022 Part 10.2.12.

23. Painting

23.1 General
All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

24. Workmanship Standards and Tolerances

24.1 General
These general specifications incorporate the HIA Guide. By agreeing to these specifications, the Owner agrees that he/she has been provided with a copy and has had the opportunity to read the HIA Guide.
The HIA Guide is to be used by the Builder and Owner as a point of reference for information on workmanship standards and tolerances, and amongst other things, in deciding whether an alleged defect exists and/or whether the materials used and/or workmanship is in accordance with the plans and specifications.
The parties agree to use the HIA Guide in precedence over any other nonlegislated guide to standards and tolerances.

DRAWING LEGEND

AJ	ARTICULATION JOINT
DP	DOWNPIPE
DP+SPR	DOWNPIPE WITH SPREADER
RWH	RAINWATER HEAD
F.W.	FLOOR WASTE
S.A.	SMOKE ALARM
GM	GAS METER
MB	METER BOX
HWS	HOT WATER SYSTEM
RWT	RAINWATER TANK
A/C	AIR CONDITIONING UNIT
W.M.	WASHING MACHINE PROVISION
M/W	MICROWAVE PROVISION
D/W	DISHWASHER PROVISION
REF.	REFRIGERATOR
SHR.	SHOWER
M/H	MANHOLE
C.S.D.	CAVITY SLIDING DOOR
L.O.H.	LIFT OFF HINGES
F.C.	FIBRE CEMENT
OHC	OVERHEAD CUPBOARD/S
MGA	MAP GRID OF AUSTRALIA
A.H.D.	AUSTRALIAN HEIGHT DATUM
R.L.	REDUCED LEVEL
F.R.L.	FINISHED RIDGE LEVEL
F.C.L.	FINISHED CEILING LEVEL
F.F.L.	FINISHED FLOOR LEVEL
F.G.L.	FINISHED GROUND LEVEL
N.G.L.	NATURAL GROUND LEVEL
PD'R	POWDER ROOM
W.I.R.	WALK IN ROBE
W.I.L.	WALK IN LINEN
W.I.P.	WALK IN PANTRY
P'TRY	PANTRY
BATH.	BATHROOM
ENS.	ENSUITE
LIN.	LINEN
W.C.	WATER CLOSET (TOILET)
L'DRY	LAUNDRY
W01	WINDOW NUMBER
D01	DOOR NUMBER
TAP	GARDEN TAP
	AIR CONDITIONING VOID / DROPPER
	EAVE VENT
	ROOF VENT

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

GENERAL NOTES AND SPECIFICATIONS

GENERAL NOTES:
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HOUSE DESIGN: **CUSTOM**
FACADE: **ASTRID**
INCLUSIONS: **CLASSIC**
ADDRESS: **LOT 34, NO.20 GRIMES PLACE,**
DEPOSITED PLAN: **DP 251101**
COUNCIL: **NOTHERN BEACHES COUNCIL**
REVISION: **L**
SUBURB: **DAVIDSON, NSW 2085**
SCALE: **N/A**
DRAWN: **TN**
DATE: **21/05/2025**
SHEET: **02 OF 31**
JOB NUMBER: **3081**

SITE NOTES

PROPOSED DRIVEWAY / ENTRY PATH AREA: **137.00m²**

PROPOSED CROSSOVER AREA: **N/A - EXISTING**

SITE SPECIFICATIONS

SLAB CLASSIFICATION: **'S'**

CONCRETE STRENGTH: **25 MPa**

WIND CLASSIFICATION: **'N2'**

BY BUILDER / OWNER

DRIVEWAY: BY **OWNER**

CROSSOVER: BY **OWNER**

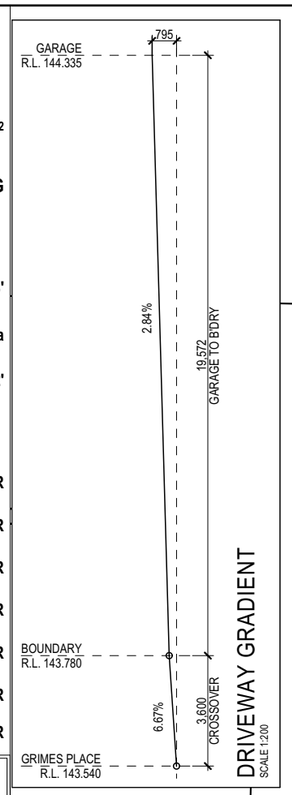
RETAINING WALLS: BY **OWNER**

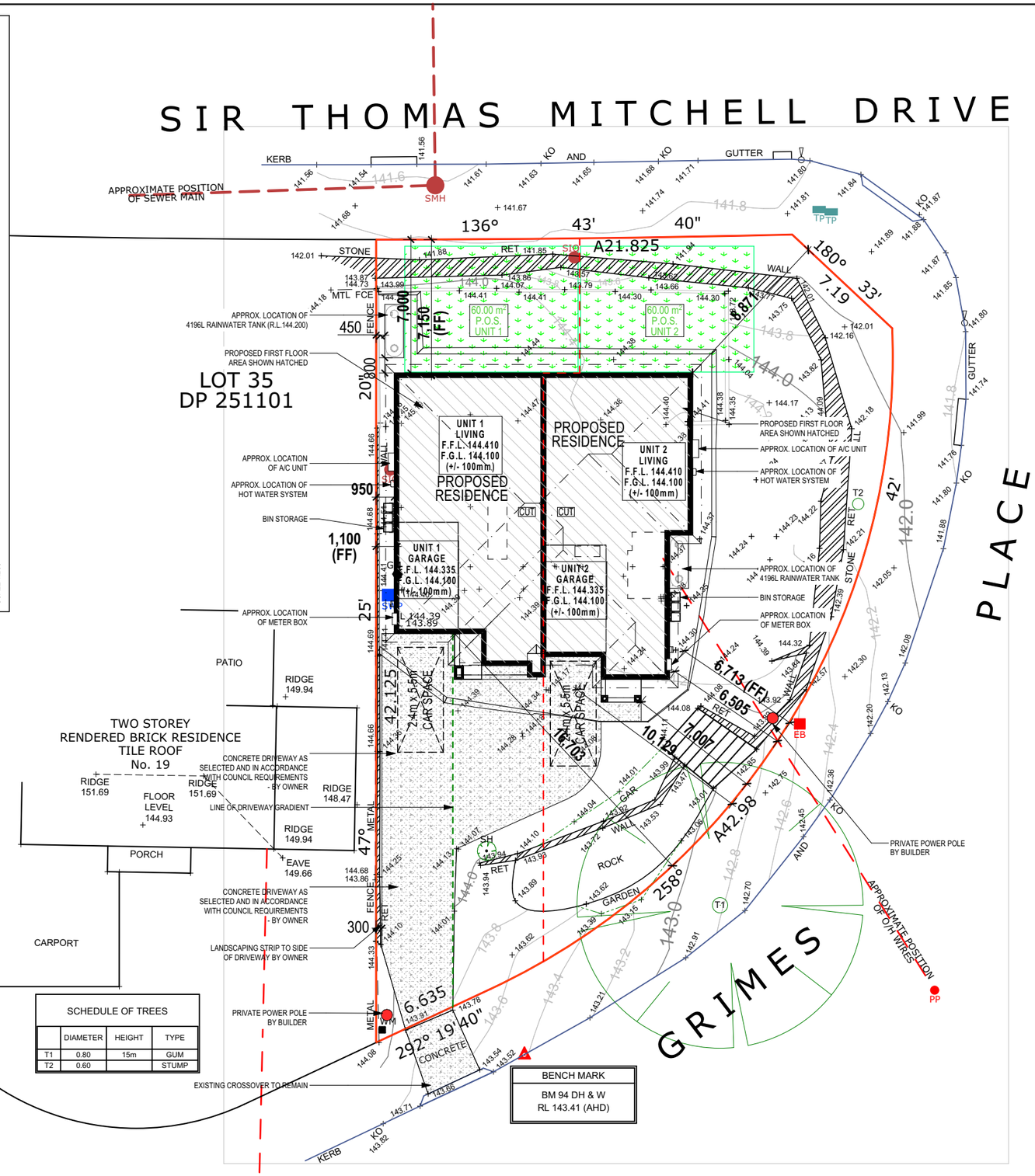
SOFT LANDSCAPING: BY **OWNER**

CLOTHES DRYING LINE: BY **OWNER**

SIDE & REAR FENCING: BY **OWNER**

LETTERBOX: BY **OWNER**





SURVEY LEGEND

	BENCH MARK
1	PHOTO POINT
	GULLY PIT
	VEHICULAR/ PRAM CROSSING
	TOP OF BANK
	BOTTOM OF BANK

N

MGA

SURVEY ABBREVIATIONS

EB	- ELECTRICAL BOX
EM	- ELECTRICAL METER
GM	- GAS METER
H	- HYDRANT
KO	- KERB OUTLET
LH	- LAMP HOLE
LP	- LIGHT POLE
MH	- MAN HOLE
MS	- MAINTENANCE SHAFT
PP	- POWER POLE
R	- HYDRANT RECYCLED
SH	- SHRUB
SIO	- SEWER INSPECTION OPENING
SMH	- SEWER MAN HOLE
SR	- STOP VALVE RECYCLED
SV	- STOP VALVE
SVP	- SEWER VENT PIPE
SWP	- STORM WATER PIT
T	- TREE
TP	- TELECOMMUNICATIONS PIT
VER	- VERANDAH
WT	- WATER TAG
WM	- WATER METER
WMR	- WATER METER RECYCLED
WC, GC, EC, TC	- SERVICE CONDUIT
W/C	- WATER CLOSET

SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	0.80	15m	GUM
T2	0.60		STUMP

BENCH MARK

BM 94 DH & W
RL 143.41 (AHD)

D.A. LODGEMENT

REFER TO **WARRINGAH DEVELOPMENT CONTROL PLAN 2011** FOR DEVELOPMENT CONTROLS

SITE AREA:

866.50 m²

PROPOSED ROOF COVERAGE:

259.84m²

STORMWATER CALC.:

HARD LANDSCAPE AREAS:
(INCL. ROOF, DRIVEWAY, PATHS ETC.)
395.27m²

SITE COVERAGE RATIO:
45.62%

MAXIMUM ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED:
60.00%

PRIVATE OPEN SPACE:

(MINIMUM DIMENSION OF 5m)

TOTAL:
179.93m²

MINIMUM REQUIRED:
(MINIMUM 60 SQM)
60.00m²

LANDSCAPE AREA:

(EXCLUDES ALL HARD SURFACES, MINIMUM DIMENSION OF 2m)

TOTAL LANDSCAPED AREA:
467.36m²
53.94%

MINIMUM REQUIRED BY DCP:
(MINIMUM LANDSCAPE AREA = 40% OF LOT AREA)
346.60m²

BUILDING HEIGHT:

MAXIMUM RIDGE HEIGHT:
8.5m

MAXIMUM CEILING HEIGHT:
7.2m

CUT / FILL:

MAXIMUM 1000mm CUT
MAXIMUM 1000mm FILL
(FILL MUST BE CONTAINED WITHIN THE BUILDING FOOTPRINT)

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SITE PLAN

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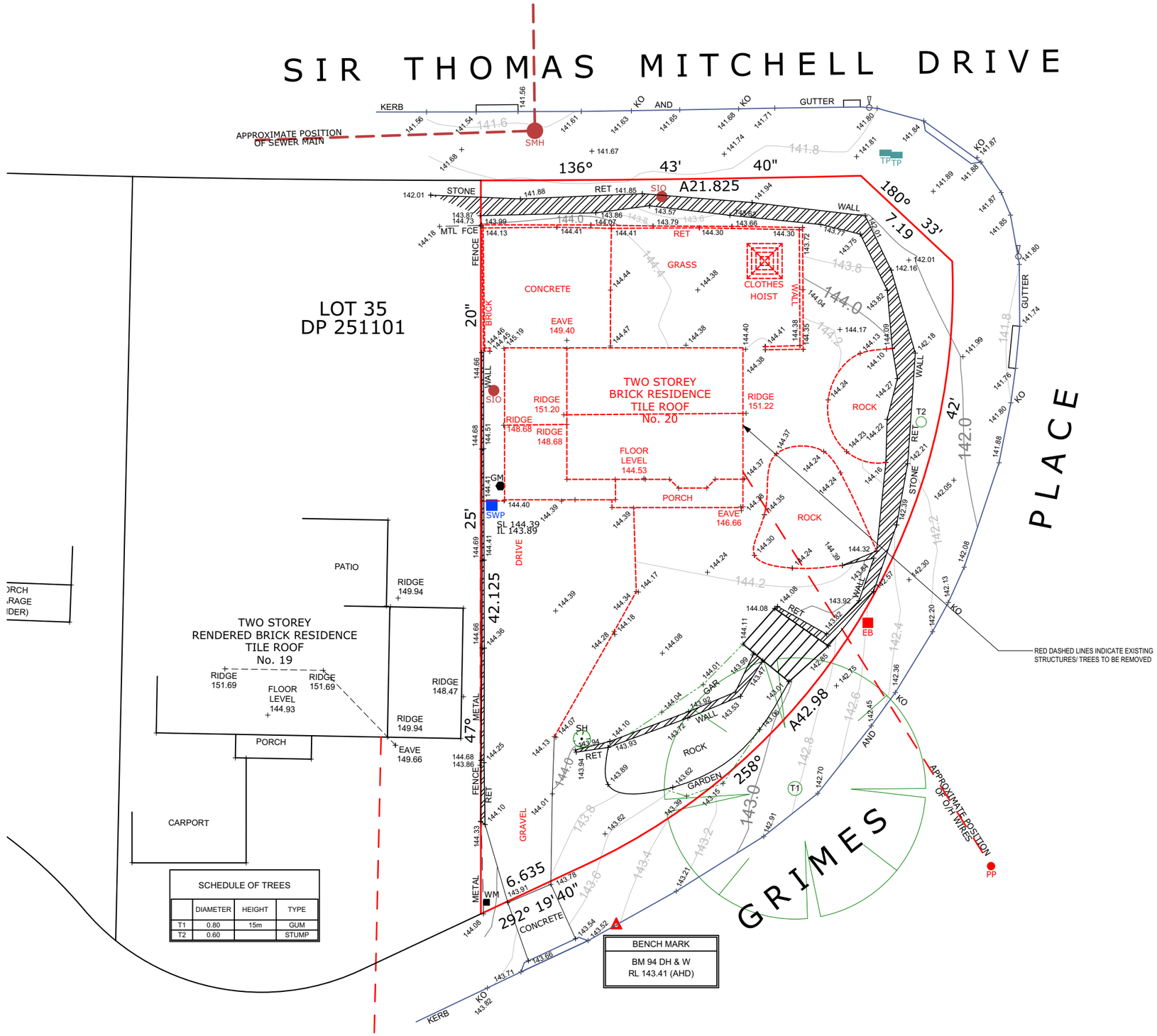
SUBURB: **DAVIDSON, NSW 2085**	SCALE: **1:250 @ A3**	DRAWN: **TN** / DATE: **21/05/2025** / SHEET: **03 OF 31**	JOB NUMBER: **3081**



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DEMOLITION PLAN

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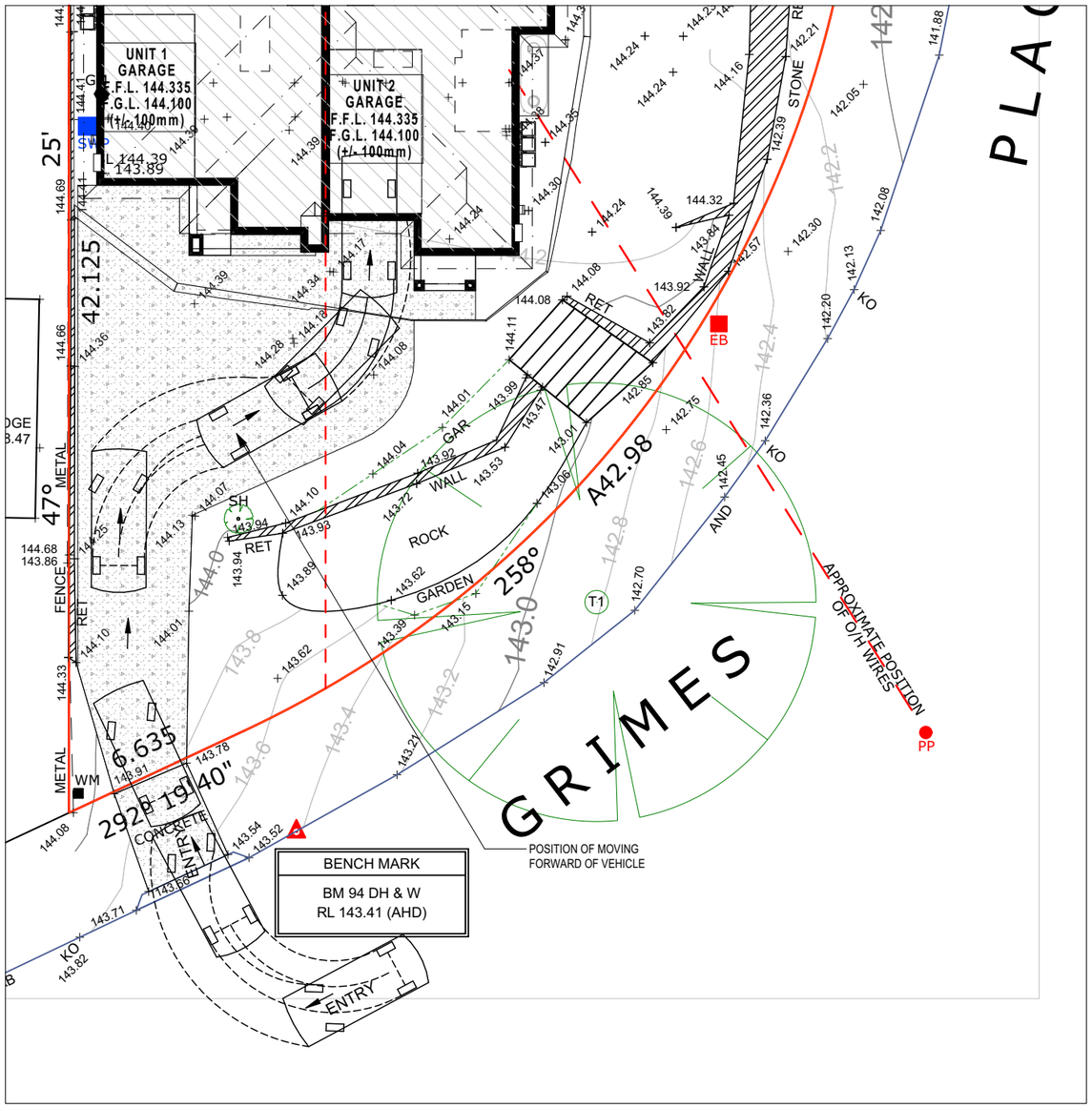

1

SWEPT PATH ANALYSIS
1:200

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SWEPT PATH ANALYSIS

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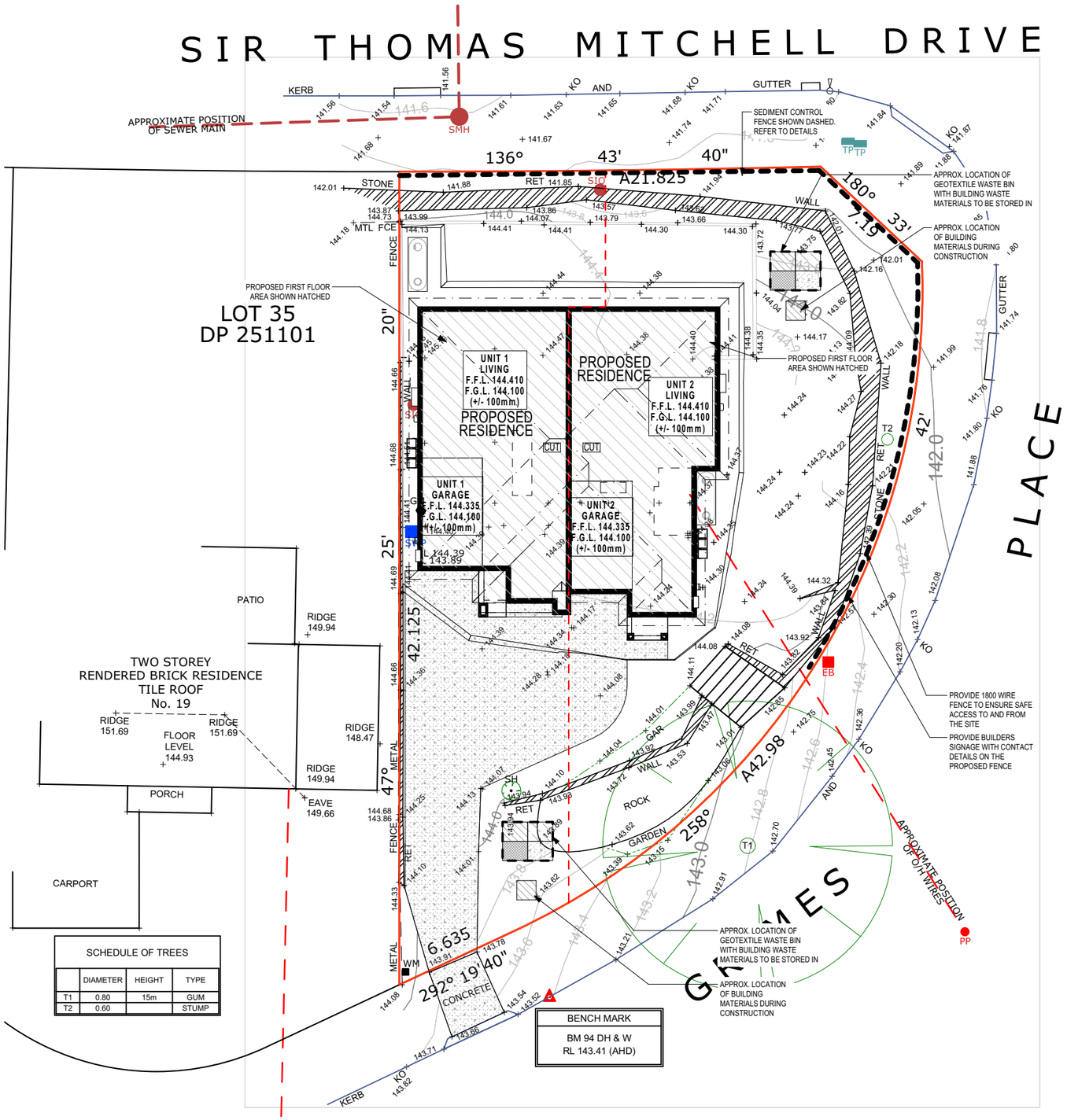


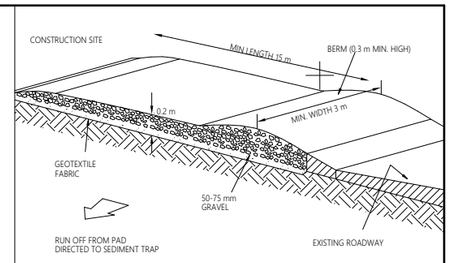
SCHEDULE OF TREES			
	DIAMETER	HEIGHT	TYPE
T1	0.80	15m	GUM
T2	0.60		STUMP

EROSION CONTROL

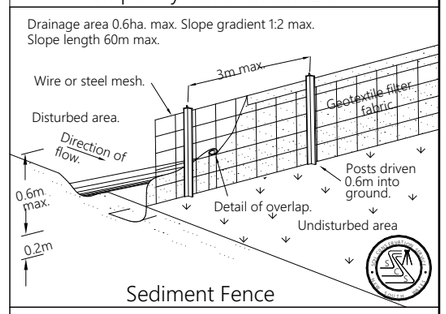
TEMPORARY SEDIMENT AND EROSION CONTROL AND MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY WORKS ON THE SITE. THESE MEASURES MUST BE MAINTAINED IN WORKING ORDER DURING CONSTRUCTION WORKS UP TO COMPLETION. ALL SEDIMENT TRAPS MUST BE CLEARED ON A REGULAR BASIS AND AFTER MAJOR STORM AND/OR AS DIRECTED BY THE PRINCIPAL CERTIFYING AUTHORITY AND COUNCIL OFFICERS.

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY.
CURRENT "DIAL BEFORE YOU DIG" SERIVCES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION.

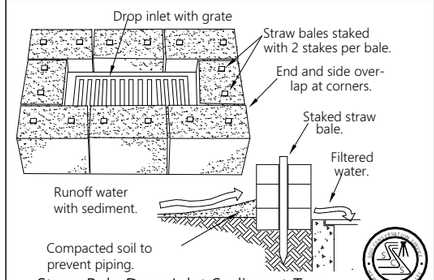
DIAL BEFORE YOU DIG
www.1100.com.au



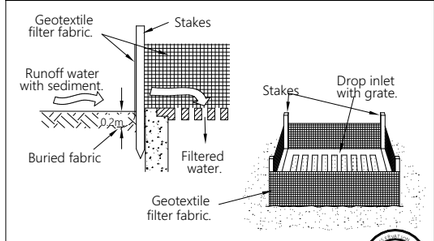
Temporary Construction Exit



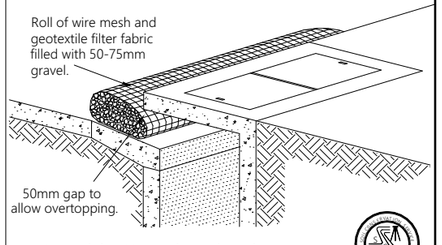
Sediment Fence



Straw Bale Drop Inlet Sediment Trap.



Geotextile Filter Fabric Drop Inlet Sediment Trap.



Portable Gravel Kerb Inlet Sediment Trap

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

SEDIMENT & WASTE MANAGEMENT PLAN

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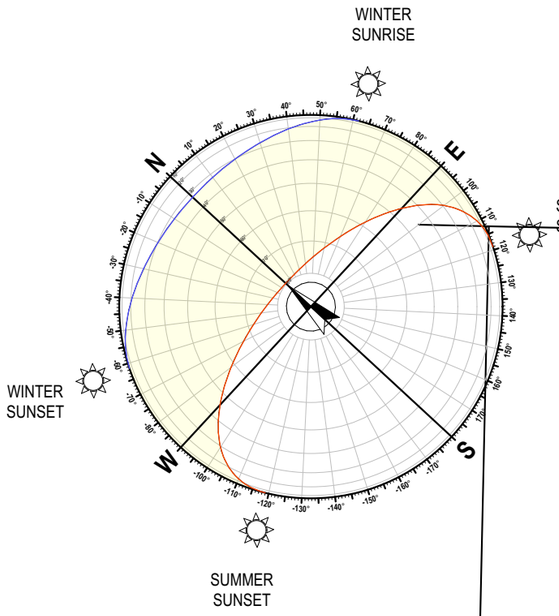
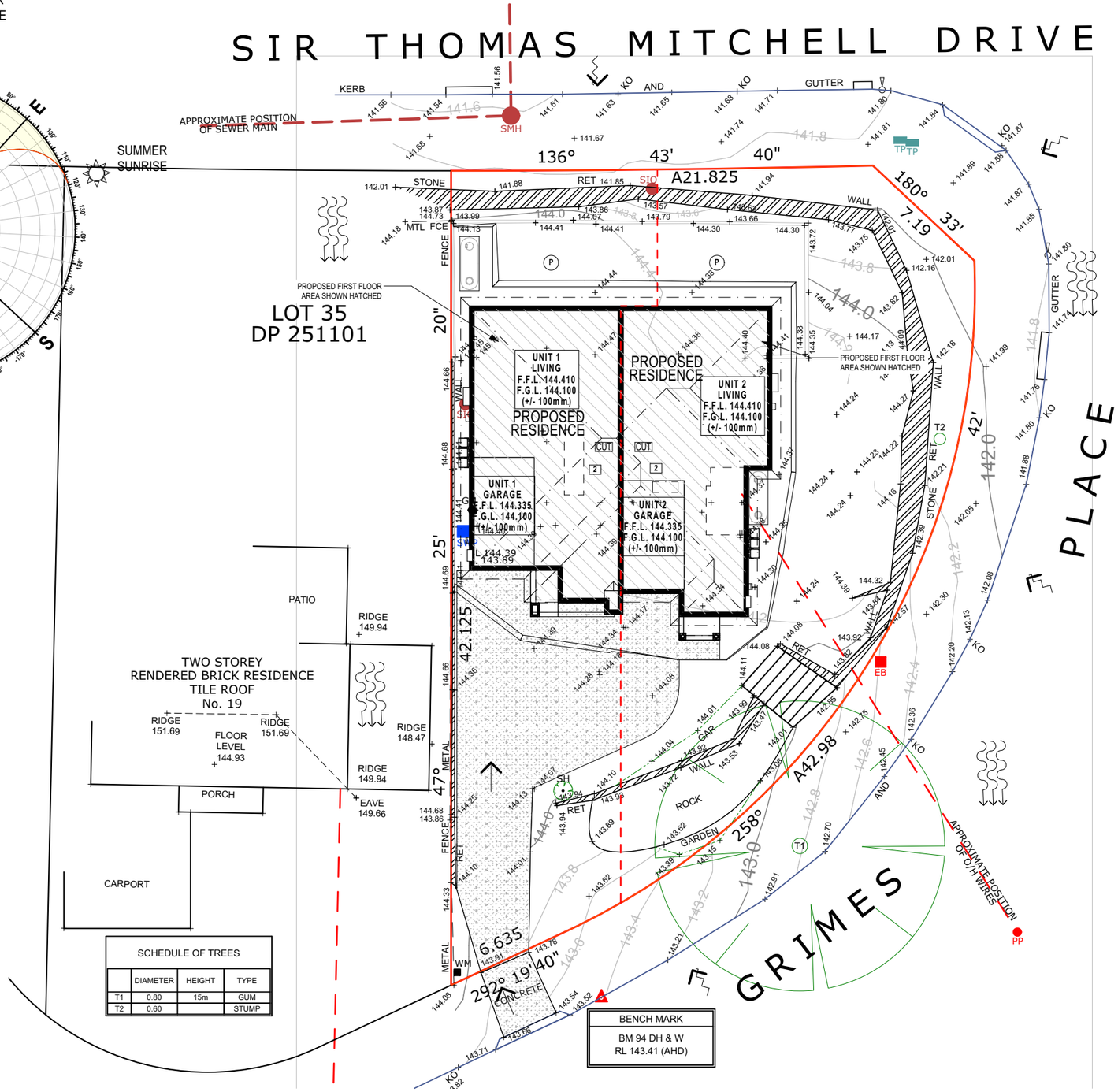
CLIENT: MR. M. DAYOUB, MR. M. DAYOUB, MR. B. GAFFNEY & MRS. N. GAFFNEY	HOUSE DESIGN: CUSTOM	FACADE: ASTRID	INCLUSIONS: CLASSIC
ADDRESS: LOT 34, NO.20 GRIMES PLACE,	DEPOSITED PLAN: DP 251101	COUNCIL: NOTHERN BEACHES COUNCIL	REVISION: L
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:250 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 06 OF 31	JOB NUMBER: 3081





SCHEDULE OF TREES			
	DIAMETER	HEIGHT	TYPE
T1	0.80	15m	GUM
T2	0.60		STUMP

Site Analysis Legend

- solar path
- prevailing winds
- noise
- vehicular access
- 1 2 number of stories
- site
- P private open space

REV.	DESCRIPTION	DATE
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SITE ANALYSIS PLAN

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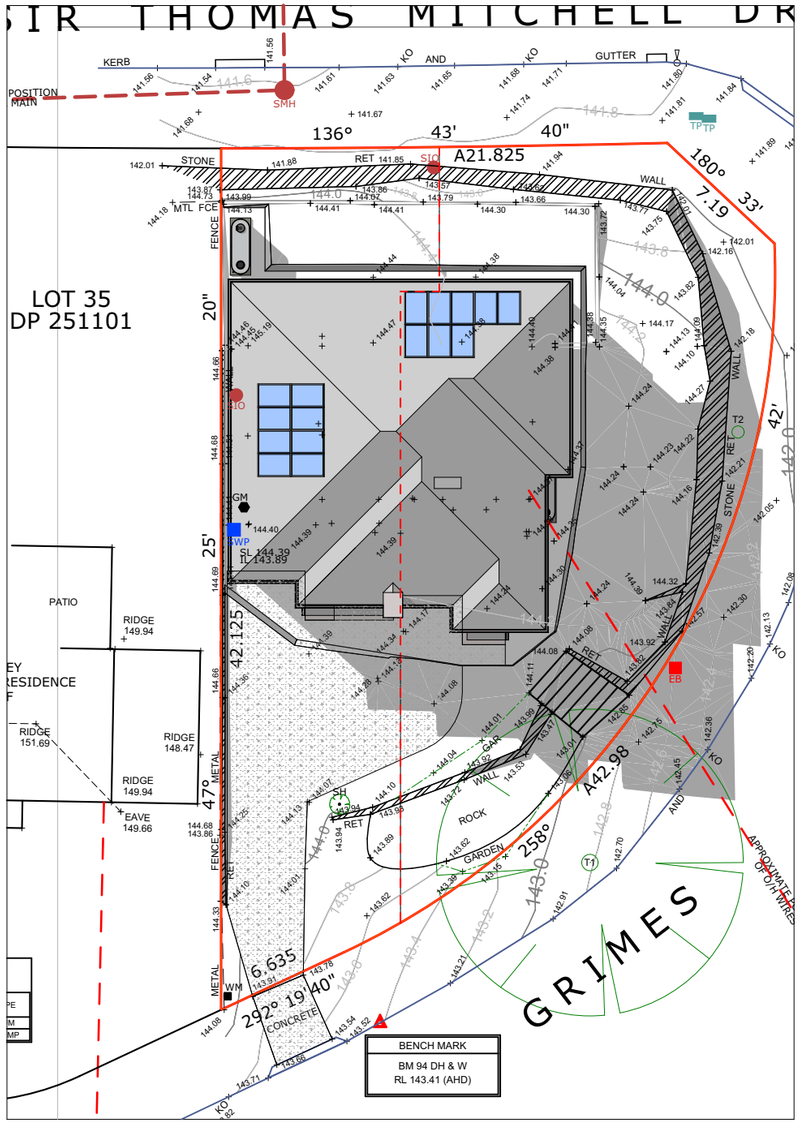
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:250 @ A3	DRAWN: TN	DATE: 21/05/2025 / SHEET: 07 OF 31	JOB NUMBER: 3081

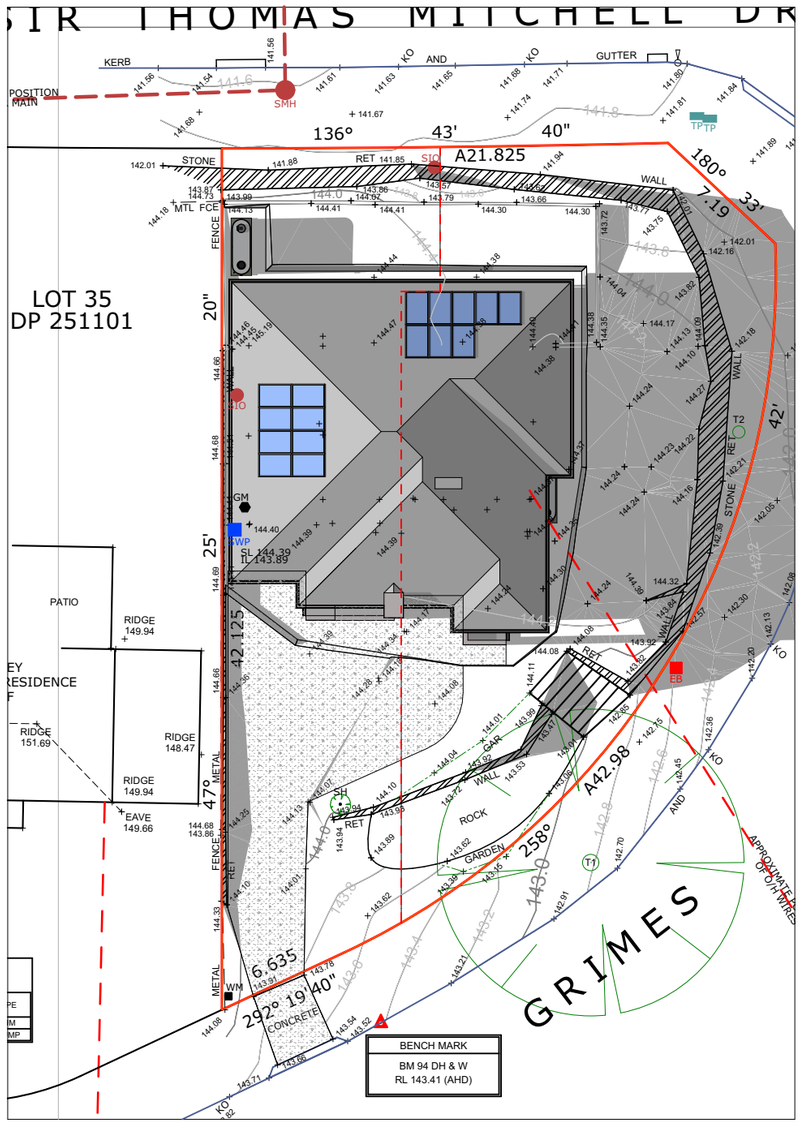
N

MGA

6 3D SHADOW DIAGRAM - 21st JUNE 9am
1:300



7 3D SHADOW DIAGRAM - 21st JUNE 12pm
1:300



8 3D SHADOW DIAGRAM - 21st JUNE 3pm
1:300

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
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SHADOW DIAGRAMS

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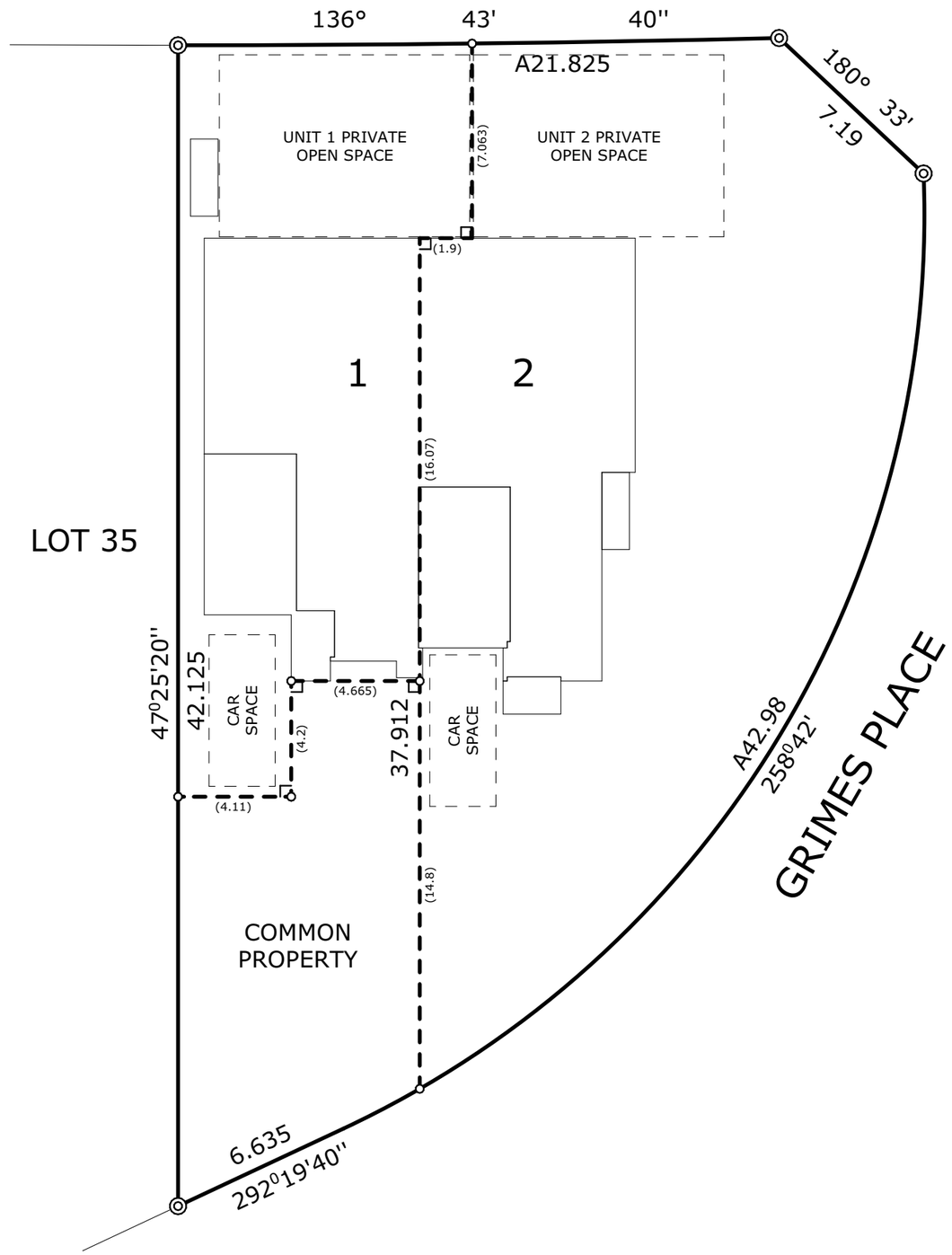
SUBURB: **DAVIDSON, NSW 2085**	SCALE: **1:300 @ A3**	DRAWN: **TN** / DATE: **21/05/2025** / SHEET: **08 OF 31**	JOB NUMBER: **3081**



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PROPOSED STRATA SUBDIVISION PLAN

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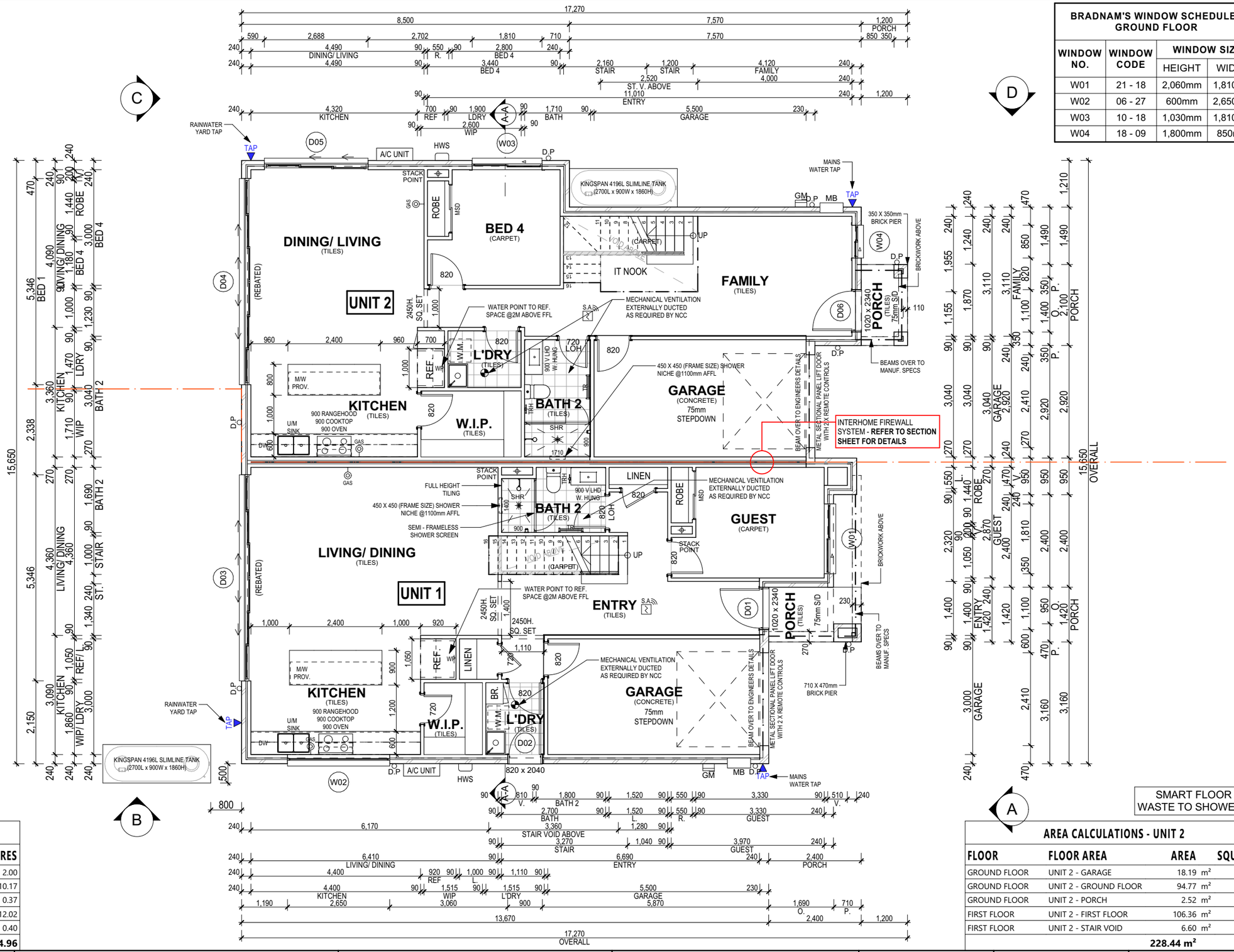
SUBURB: **DAVIDSON, NSW 2085**	SCALE: **1:200 @ A3**	DRAWN: **TN** / DATE: **21/05/2025** / SHEET: **09 OF 31**	JOB NUMBER: **3081**

DOOR SCHEDULE - GROUND FLOOR				
DOOR NO.	DOOR CODE	DOOR SIZE		QTY.
		HEIGHT	WIDTH	
D01	23 - 10	2,340mm	1,020mm	1
D02	20 - 08	2,040mm	820mm	1
D03	24 - 53	2,400mm	5,346mm	1
D04	24 - 53	2,400mm	5,346mm	1
D05	24 - 27	2,400mm	2,688mm	1
D06	23 - 10	2,340mm	1,020mm	1
INT-D01	23 - 07	2,340mm	720mm	3
INT-D02	23 - 08	2,340mm	820mm	9
				18

BRADNAM'S WINDOW SCHEDULE - GROUND FLOOR			
WINDOW NO.	WINDOW CODE	WINDOW SIZE	
		HEIGHT	WIDTH
W01	21 - 18	2,060mm	1,810mm
W02	06 - 27	600mm	2,650mm
W03	10 - 18	1,030mm	1,810mm
W04	18 - 09	1,800mm	850mm



AREA CALCULATIONS - UNIT 1				
FLOOR	FLOOR AREA	AREA		SQUARES
GROUND FLOOR	UNIT 1 - GARAGE	18.57	m²	2.00
GROUND FLOOR	UNIT 1 - GROUND FLOOR	94.47	m²	10.17
GROUND FLOOR	UNIT 1 - PORCH	3.41	m²	0.37
FIRST FLOOR	UNIT 1 - FIRST FLOOR	111.71	m²	12.02
FIRST FLOOR	UNIT 1 - STAIR VOID	3.72	m²	0.40
		231.88 m²		24.96

AREA CALCULATIONS - UNIT 2				
FLOOR	FLOOR AREA	AREA		SQUARES
GROUND FLOOR	UNIT 2 - GARAGE	18.19	m²	1.96
GROUND FLOOR	UNIT 2 - GROUND FLOOR	94.77	m²	10.20
GROUND FLOOR	UNIT 2 - PORCH	2.52	m²	0.27
FIRST FLOOR	UNIT 2 - FIRST FLOOR	106.36	m²	11.45
FIRST FLOOR	UNIT 2 - STAIR VOID	6.60	m²	0.71
		228.44 m²		24.59

REV.	DESCRIPTION	DATE
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L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

GROUND FLOOR PLAN

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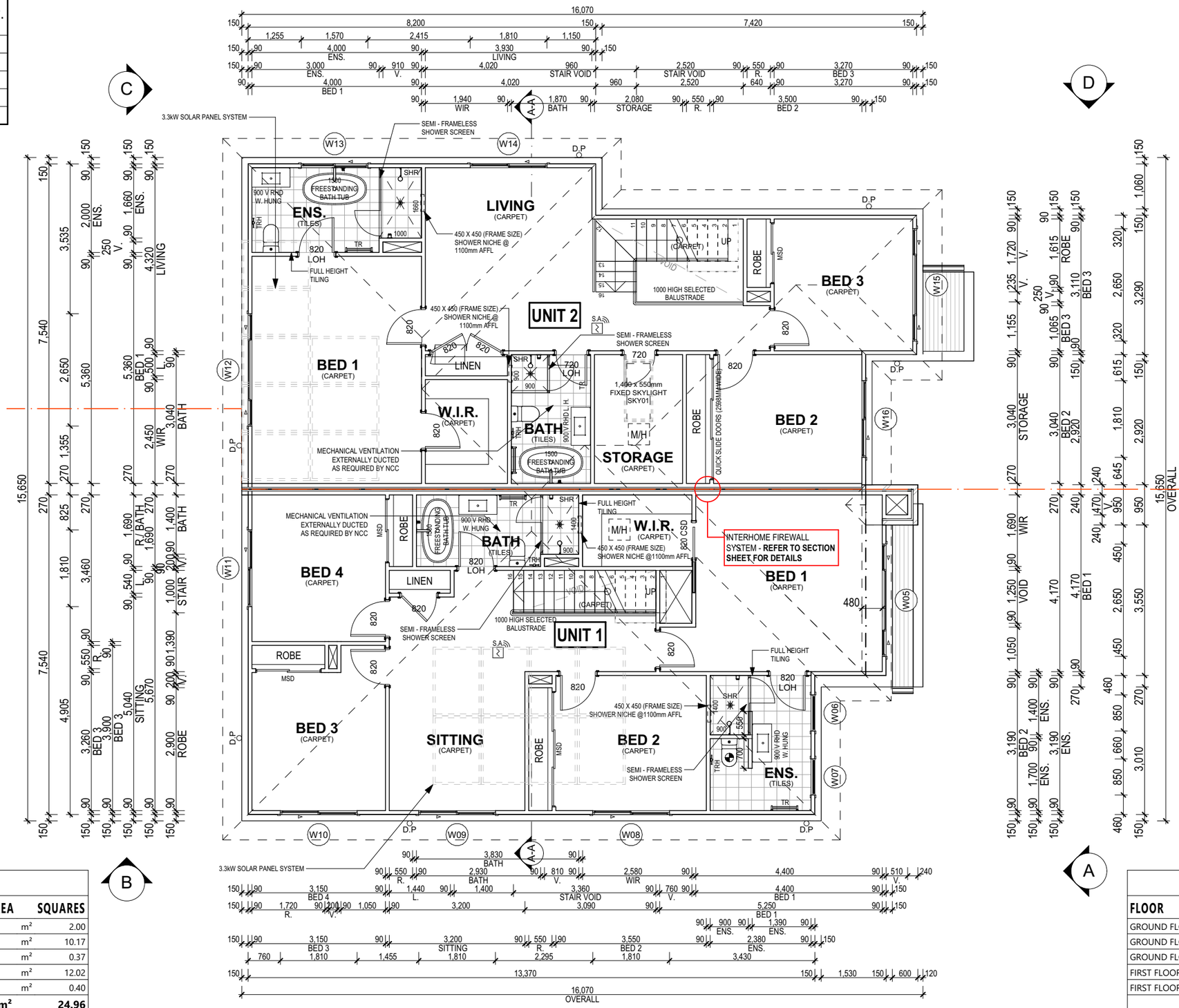
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:100 @ A3	DRAWN: TN	DATE: 21/05/2025
		SHEET: 10 OF 31	JOB NUMBER: 3081

DOOR SCHEDULE - FIRST FLOOR				
DOOR NO.	DOOR CODE	DOOR SIZE		QTY.
		HEIGHT	WIDTH	
INT-D03	20 - 07	2,040mm	720mm	2
INT-D04	20 - 08	2,040mm	820mm	12
INT-D05	20 - 08	2,040mm	820mm	1
INT-D06	20 - 16	2,040mm	1,640mm	1
				16

BRADNAM'S WINDOW SCHEDULE - FIRST FLOOR			
WINDOW NO.	WINDOW CODE	WINDOW SIZE	
		HEIGHT	WIDTH
SKY01	14 - 06	1,400mm	550mm
W05	15 - 27	1,460mm	2,650mm
W06	10 - 09	1,030mm	850mm
W07	10 - 09	1,030mm	850mm
W08	10 - 18	1,030mm	1,810mm
W09	10 - 18	1,030mm	1,810mm
W10	10 - 18	1,030mm	1,810mm
W11	10 - 18	1,030mm	1,810mm
W12	12 - 27	1,200mm	2,650mm
W13	10 - 16	1,030mm	1,570mm
W14	10 - 18	1,030mm	1,810mm
W15	15 - 27	1,460mm	2,650mm
W16	15 - 18	1,460mm	1,810mm



SMART FLOOR WASTE TO SHOWERS

AREA CALCULATIONS - UNIT 1				
FLOOR	FLOOR AREA	AREA		SQUARES
GROUND FLOOR	UNIT 1 - GARAGE	18.57	m²	2.00
GROUND FLOOR	UNIT 1 - GROUND FLOOR	94.47	m²	10.17
GROUND FLOOR	UNIT 1 - PORCH	3.41	m²	0.37
FIRST FLOOR	UNIT 1 - FIRST FLOOR	111.71	m²	12.02
FIRST FLOOR	UNIT 1 - STAIR VOID	3.72	m²	0.40
		231.88 m²		24.96

AREA CALCULATIONS - UNIT 2				
FLOOR	FLOOR AREA	AREA		SQUARES
GROUND FLOOR	UNIT 2 - GARAGE	18.19	m²	1.96
GROUND FLOOR	UNIT 2 - GROUND FLOOR	94.77	m²	10.20
GROUND FLOOR	UNIT 2 - PORCH	2.52	m²	0.27
FIRST FLOOR	UNIT 2 - FIRST FLOOR	106.36	m²	11.45
FIRST FLOOR	UNIT 2 - STAIR VOID	6.60	m²	0.71
		228.44 m²		24.59

REV.	DESCRIPTION	DATE
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FIRST FLOOR PLAN

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SUBURB: DAVIDSON, NSW 2085	SCALE: 1:100 @ A3	DRAWN: TN	DATE: 21/05/2025
			SHEET: 11 OF 31
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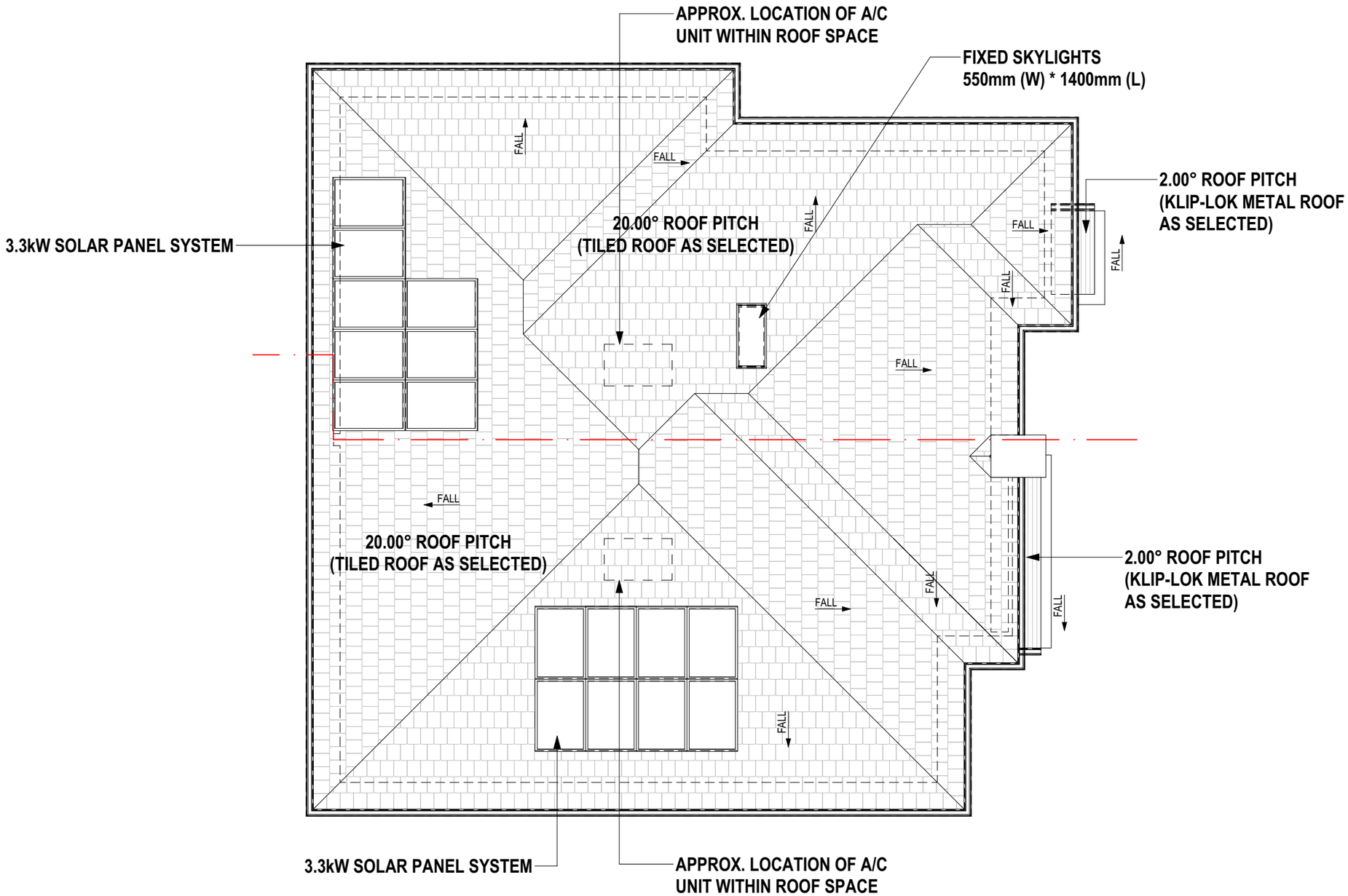

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L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

ROOF PLAN

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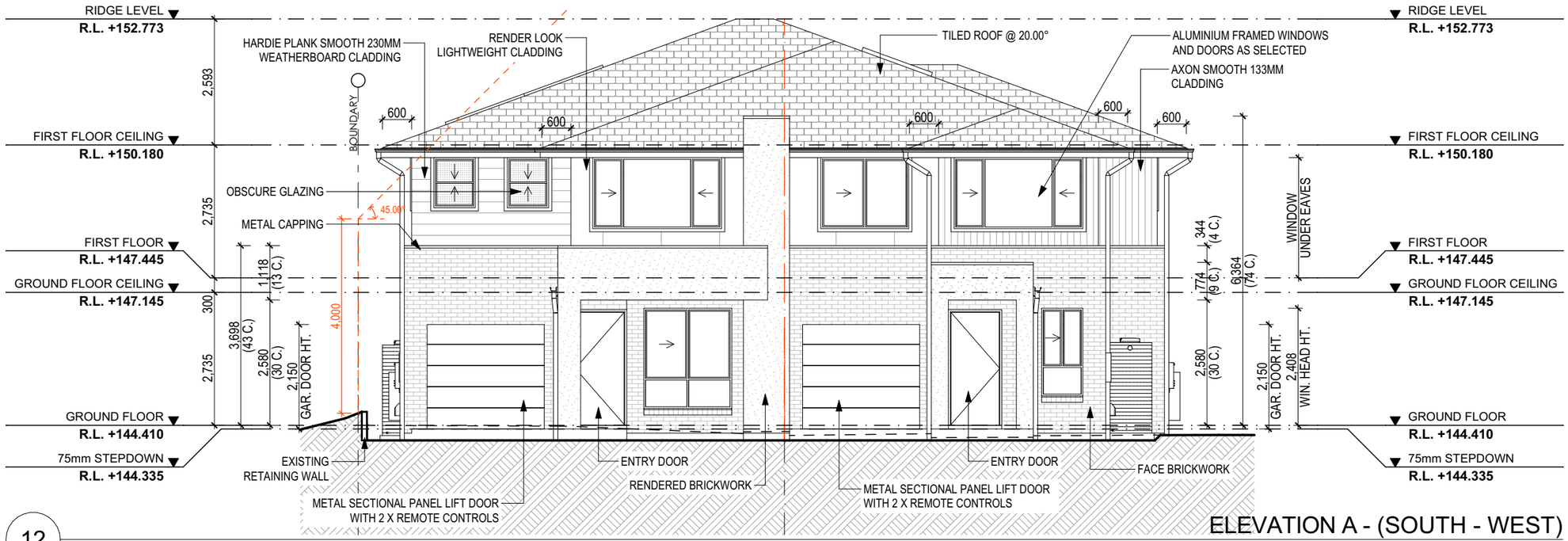
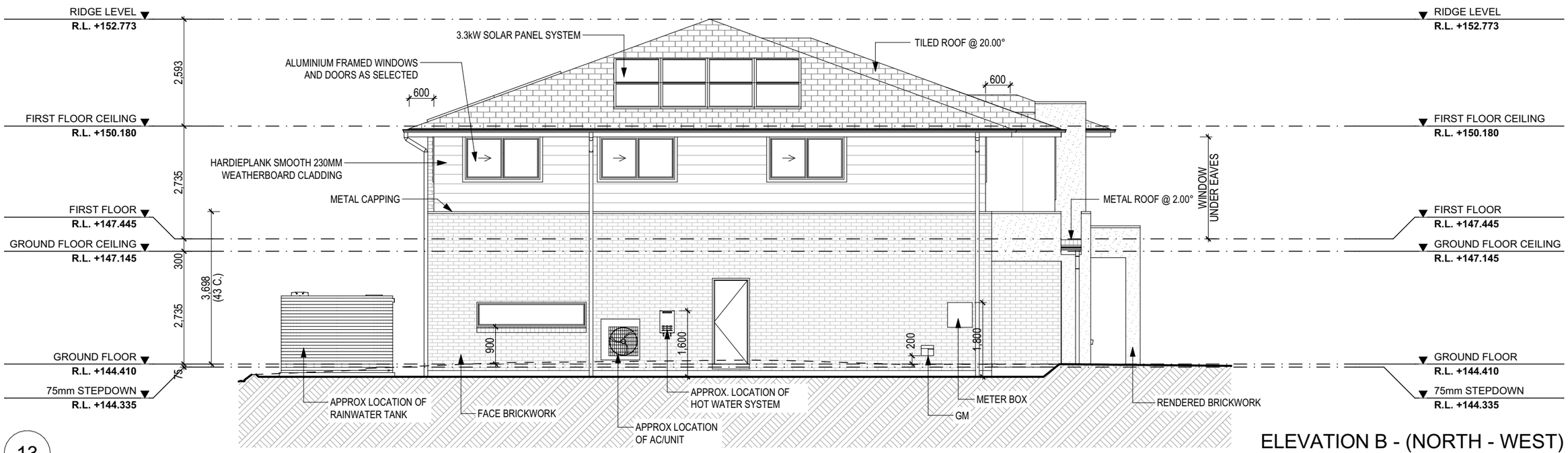


12

ELEVATION A - (SOUTH - WEST)
1:100



13

ELEVATION B - (NORTH - WEST)
1:100

REV.	DESCRIPTION	DATE
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ELEVATIONS A & B

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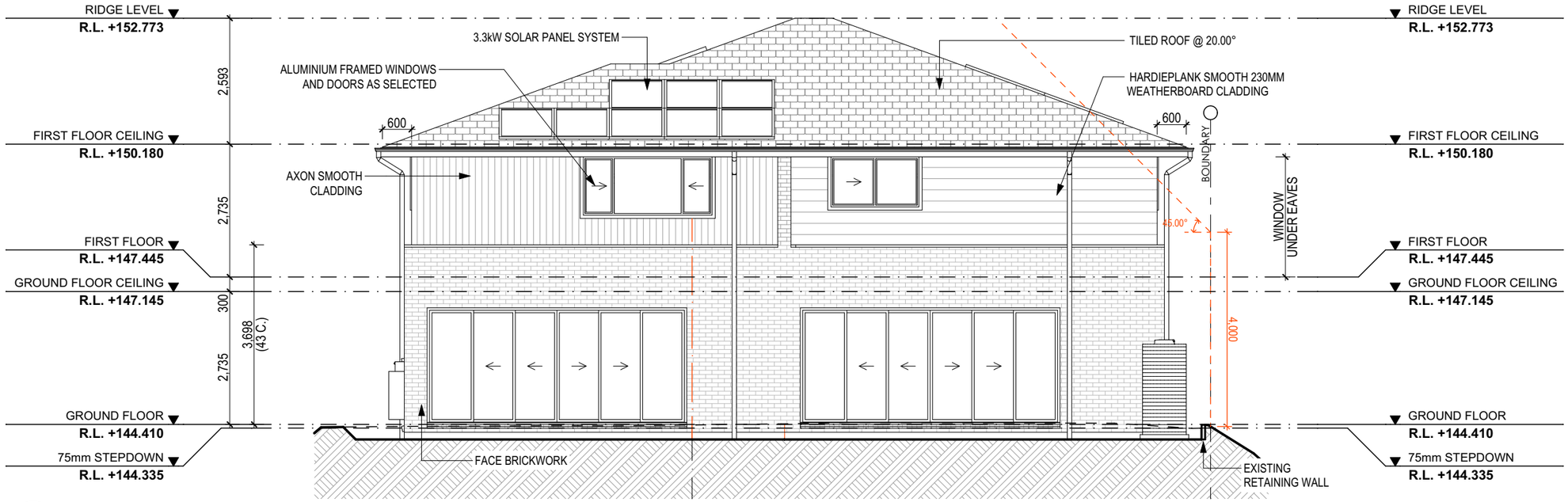
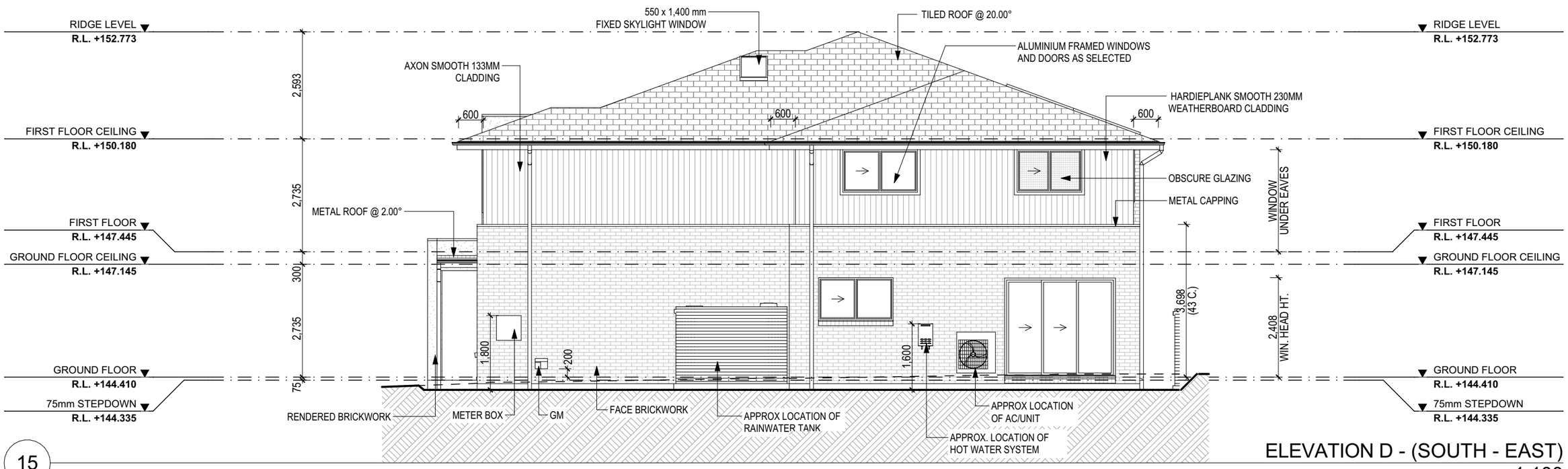


14

ELEVATION C - (NORTH - EAST)

1:100



15

ELEVATION D - (SOUTH - EAST)

1:100

REV.	DESCRIPTION	DATE
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ELEVATIONS C & D

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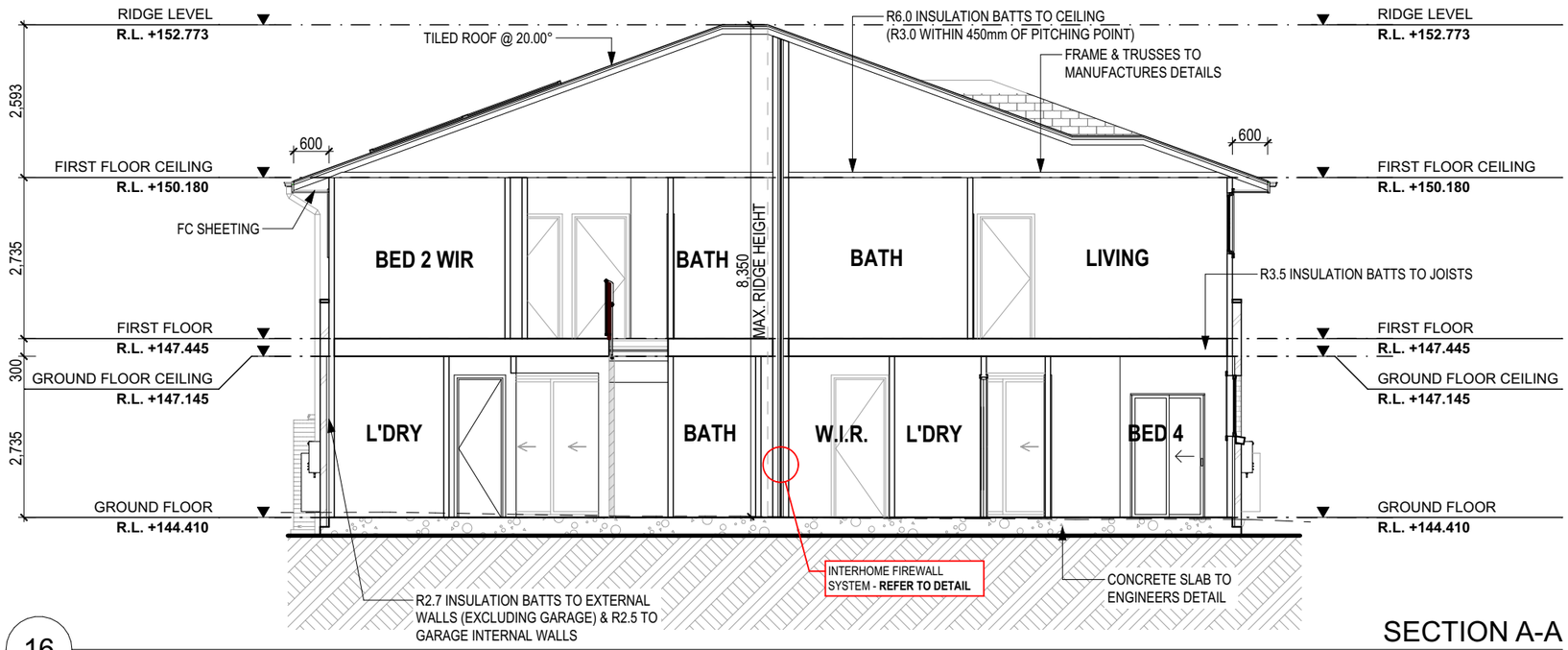
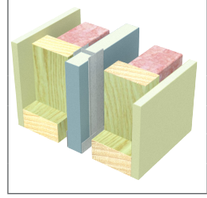


16

SECTION A-A
1:100

IHW2



- 1 layer of 13mm **sound**shield or **tru**rock
- Timber stud framing with insulation
- Minimum 20mm air-gap
- 1 layer of 25mm **shaft**liner or **inter**shield encased in **inter**home H-studs
- Minimum 20mm air-gap
- Timber stud framing with insulation
- 1 layer of 13mm **sound**shield or **tru**rock

Fire Resistance Level

60/60/60
rated for the wall frame opposite to fire attack

Fire Report FC11661

Minimum Cavity On Each Side (mm)	Wall Width (mm)	Sound Insulation Rw (Rw + Ctr)				
Cavity size = stud size + air-gap		2 x Pink® Batts Wall R2.0	2 x Pink® Batts Wall R2.5	2 x Polyester R1.5	2 x Polyester R2.0	Acoustic Report Day Design 3094-42
90 (eg: 70 stud + 20 gap)	231	67 (**52**)	68 (**53**)*	65 (**50**)	64 (**51**)	Note: Impact Sound Resistant - Discontinuous Construction
110 (eg: 90 stud + 20 gap)	271	67 (**55**)	69 (**56**)	66 (**51**)	65 (**53**)	

BASIX COMMITMENTS NOTES

WATER				
Fixtures	**All Shower Heads**	**All toilet flushing systems**	**All kitchen taps**	**All bathroom taps**
	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	4 star
Alternative Water Source	**Individual rainwater tank to collect run off from at least 80sqm of roof area - Tank size min 2,000 litres**			
	The applicant must connect the rainwater tank to:			
	Outdoor tap connection	**Toilet connection**	**Laundry connection**	**Pool top up**
	Yes	**Yes**	**Yes**	**N/A**
ENERGY	**Hot water system: Gas Instantaneous with a performance of 6 stars**			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; interlocked to light with timer off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system: 3 Phase air-conditioning EER 3.0-3.5 in at least 1 Living/bed area (zoned)			
	Heating system: 3 Phase air-conditioning EER 3.5-4.0 in at least 1 Living/bed area (zoned)			
	Natural lighting: As per BASIX **Artificial lighting: As per BASIX**			
	Must install a gas cooktop and electric oven.			
	Must install a fixed outdoor clothes drying line as part of the development			

NatHERS - THERMAL COMFORT SUMMARY

Address: 20 Grimes Place, Davidson NSW

Building Elements	Material	Detail
External walls	Brick Veneer - as per colour schedule	R2.7 bulk insulation (excluding Garage)
	Lightweight Cladding - as per clour schedule	R2.7 bulk insulation
Internal walls	Plasterboard on studs	R2.5 bulk insulation to Garage internal walls (Unit 2)
Ceiling (Open over)	Pasterboard	R6.0 bulk insulation (reduce to R3.0 within 450mm of roof/wall pitching points)
Ceiling Fans	≥ 1200mm diameter	To Family, throughout First Floor Bedrooms and Family (Unit 1)
	≥ 1400mm diameter	To Dining/Living (Both Dwellings)
Floors	Concrete - Ground Floor	Waffle Pod Slab (310mm) M Class Slab
	Timber Bearers/Joists - First Floor	R3.5 bulk insulation (Unit 2)
Roof	Roof Tiles - as per colour schedule	Sarking under tiled roof
Windows/Glazed Doors	***Sliding windows* - W01, W09, W08, W11, W05 and W10** Aluminium Frame, Single glazed	≤ U Value 6.38, SHGC 0.70 - 0.78
	***Stacker sliding doors* - D03** Aluminium Frame, Single glazed (6.38mm Comfortplus)	≤ U Value 4.33, SHGC 0.57 - 0.63
	***Fixed windows* - W02** Aluminium Frame, Single glazed	≤ U Value 5.87, SHGC 0.69 - 0.77
	***Double hung windows* - W06 and W07** Aluminium Frame, Single glazed	≤ U Value 6.23, SHGC 0.69 - 0.77
	***Stacker sliding doors* - D04 and D05** Aluminium Frame, Double glazed (638CPNtl/8Ar/4mm)	≤ U Value 3.16, SHGC 0.37 - 0.41
	***Sliding windows* - W03, W04, W13, W14, W15, W16 and W12** Aluminium Frame, Double glazed (4ET/12Ar/4mm)	≤ U Value 3.15, SHGC 0.50 - 0.56

***Lighting:* This dwelling has been rated with non-ventilated LED downlights as per Electrical Plan.**

***Note:* Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.**

***Note:* In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.**

***Note:* Self-closing damper to all exhaust fans**

***Note:* Additional insulation may be required to meet acoustic requirements**

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SECTION & BASIX / NatHERS REQUIREMENTS

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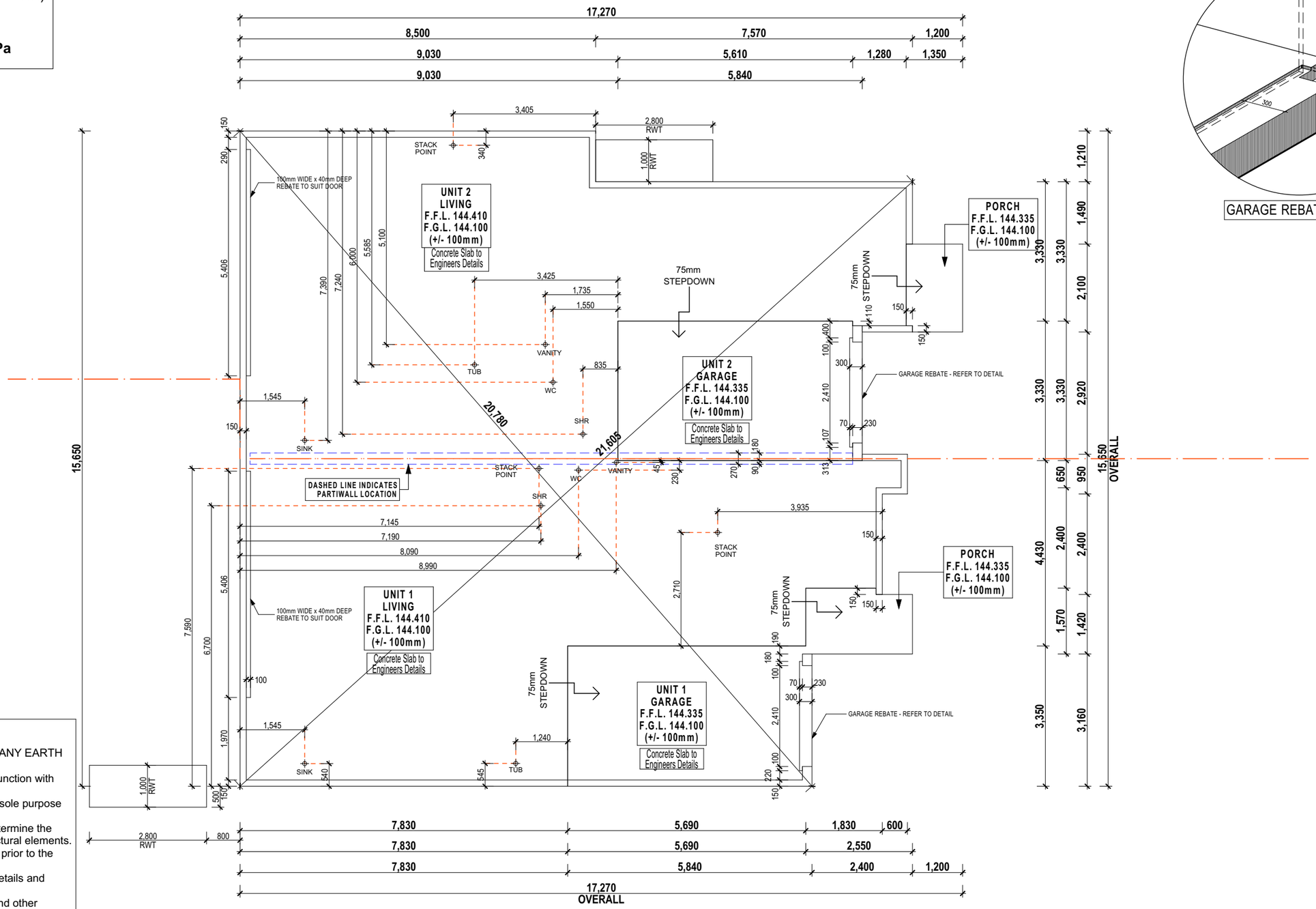
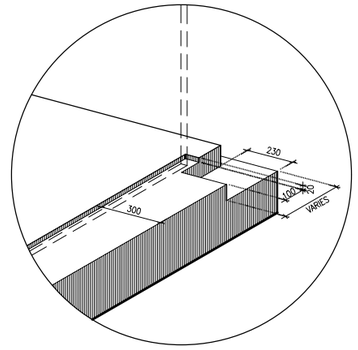
ADDRESS: **LOT 34, NO.20 GRIMES PLACE,**	DEPOSITED PLAN: **DP 251101**	COUNCIL: **NOTHERN BEACHES COUNCIL**	REVISION: **L**
SUBURB: **DAVIDSON, NSW 2085**	SCALE: **1:100 @ A3**	DRAWN: **TN** / DATE: **21/05/2025** / SHEET: **15 OF 31**	JOB NUMBER: **3081**

SLAB SPECIFICATIONS
(REFER TO ENGINEER'S DRAWINGS):

SLAB CLASSIFICATION: 'S'

CONCRETE STRENGTH: 25 MPa





GARAGE REBATE DETAIL

Supplementary Notes:

- DIAL 1100 BEFORE YOU DIG PRIOR TO ANY EARTH EXCAVATION.
- The "Slab Layout Plan" is to be read in conjunction with the architectural floor plans.
- The "Slab Layout Plan" is to be read for the sole purpose of 'setting out' the slab.
- The slab layout plan shall not be used to determine the location of thickening beams and other structural elements.
- Queries or discrepancies are to be resolved prior to the commencement of excavation.
- Refer to engineer's drawings for structural details and concrete specifications.
- Refer to engineer's drawings for plumbing and other service penetration details.
- If in doubt, contact the building designer prior to the commencement of works.
- Drop edge beam allowance to be confirmed prior to regulatory approvals and commencement of works on site.

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SLAB LAYOUT PLAN

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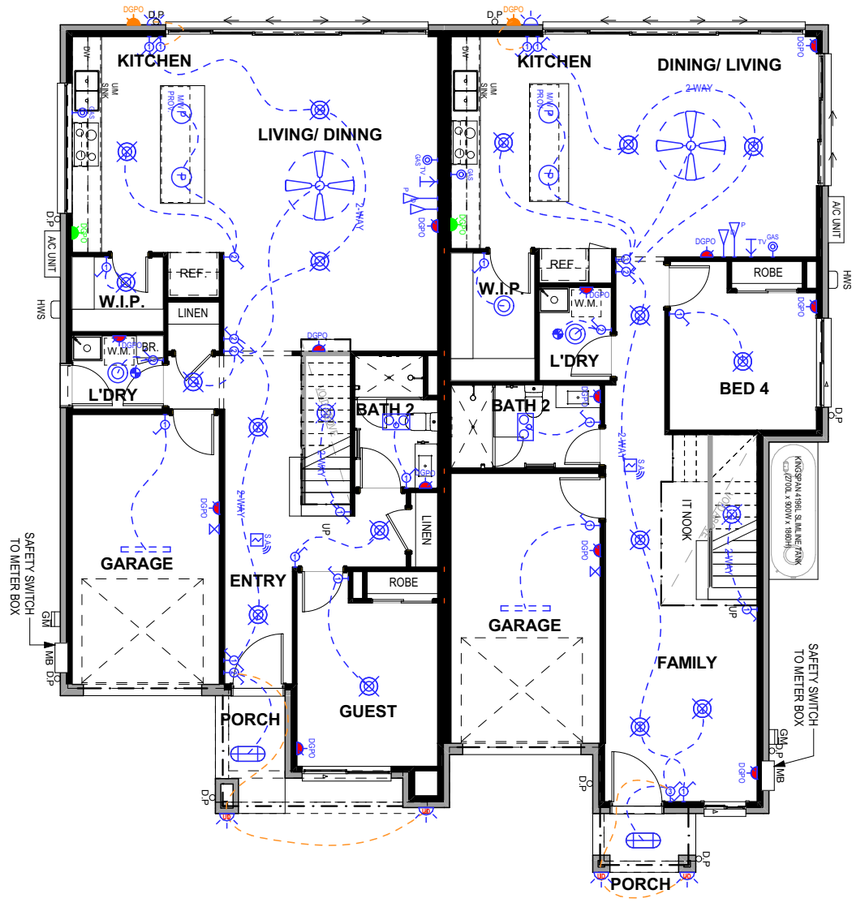
PROVIDE 3 PHASE ELECTRIC CONNECTION

PROVIDE THE FOLLOWING ADDITIONAL ITEMS

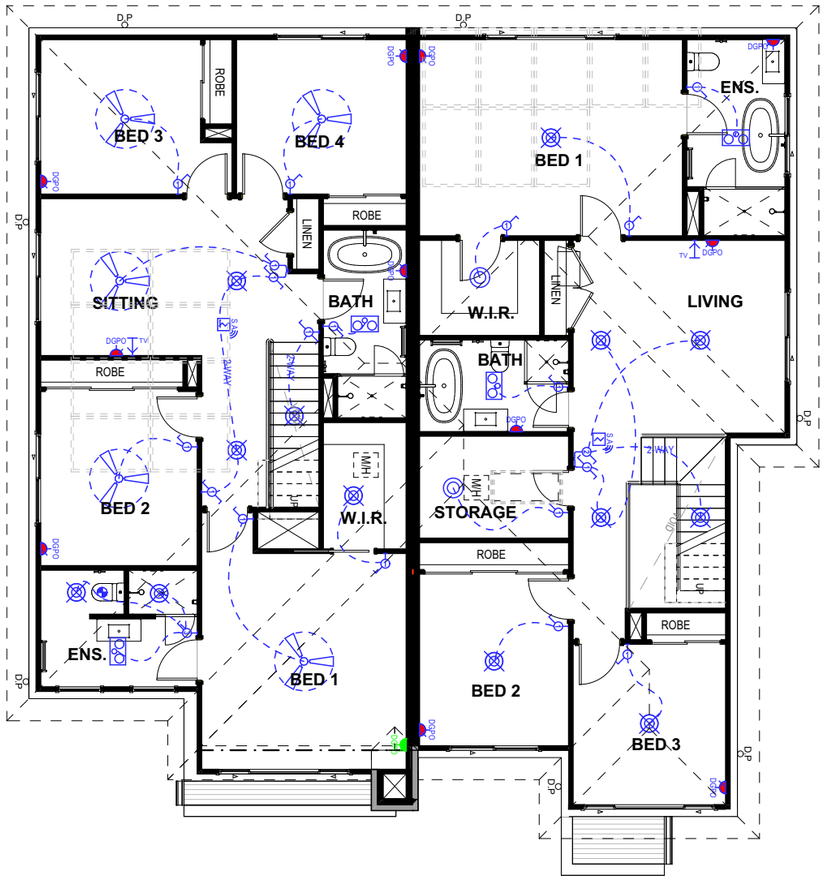
UNIT 1
* SINGLE GPOS: COOKTOP, RANGEHOOD, DISHWASHER, REFRIGERATOR, MICROWAVE, GARAGE DOOR
*WEATHER PROOF GPOS: HOT WATER UNIT, RAINWATER TANK
UNIT 2
* SINGLE GPOS: COOKTOP, RANGEHOOD, DISHWASHER, REFRIGERATOR, MICROWAVE, GARAGE DOOR
*WEATHER PROOF GPOS: HOT WATER UNIT, RAINWATER TANK

GENERAL ELECTRICAL NOTES

- A/C DUCT POSITION NOMINATED TO FIRST FLOOR IS SUBJECT TO CONFIRMATION FROM A/C INSTALLER AT ALL TIMES.
- A/C VENT POSITION NOMINATED TO GROUND FLOOR IS SUBJECT TO CONFIRMATION FROM A/C INSTALLER AT ALL TIMES.
- ALL ELECTRICAL POINTS (POWER POINTS, LIGHT SWITCHES ETC) POSITIONING IS APPROXIMATE ONLY AND IS SUBJECT TO CONFIRMATION BY AN ELECTRICIAN AND BUILDER.



22 ELECTRICAL PLAN - GROUND FLOOR
1:125



23 ELECTRICAL PLAN - FIRST FLOOR
1:125

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	TOTAL
	3-IN-1 (LIGHT/FAN/HEATER)	6
	CEILING FAN WITH LIGHT (1200mm DIAM.)	5
	CEILING FAN WITHOUT LIGHT (1400mm DIAM.)	2
	CEILING LIGHT	5
D	DATA POINT	2
DGPO	DOUBLE GENERAL POWER OUTLET	24
DGPO	DOUBLE GENERAL POWER OUTLET (EXTERNAL)	2
DGPO	DOUBLE GENERAL POWER OUTLET (W/-USB OUTLET)	3
	EXHAUST FAN	3
	EXTERNAL BUNKER LIGHT	2
	FIBRE-OPTIC PROVISION	2
GAS	GAS BAYONET	4
	LED DOWNLIGHT	30
P	PENDANT LIGHT	4
P	PHONE POINT	2
	SINGLE FLURESCENT LIGHT	2
	SMOKE ALARM	4
2	SWITCH POINT - DOUBLE	6
1	SWITCH POINT - SINGLE	25
3	SWITCH POINT - TRIPLE	3
2	SWITCH POINT (2-WAY) - DOUBLE	2
1	SWITCH POINT (2-WAY) - SINGLE	10
TV	TV POINT	4
UP	UP/DOWN LIGHT @1900 AFFL (U.N.O.)	4
	WALL MOUNTED LIGHT @ 1900mm AFFL (U.N.O.)	2

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ELECTRICAL PLAN

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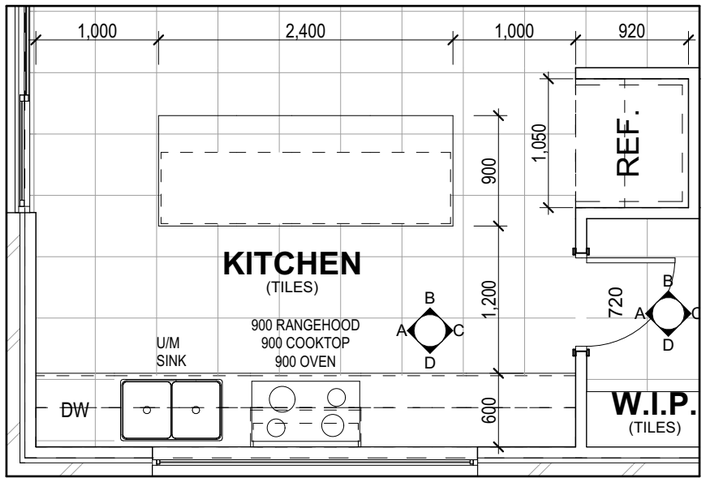
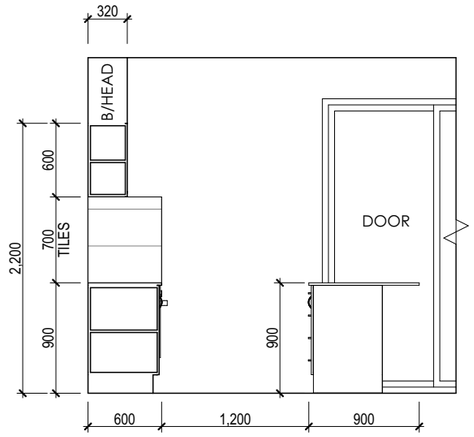


24 KITCHEN PLAN
1:50



25 ELEVATION A
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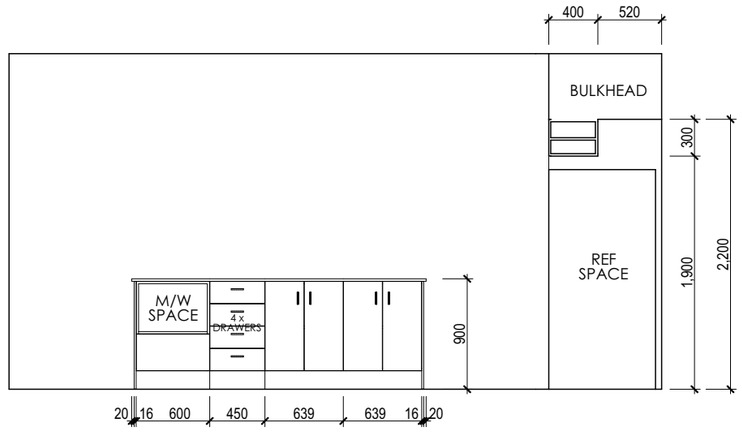

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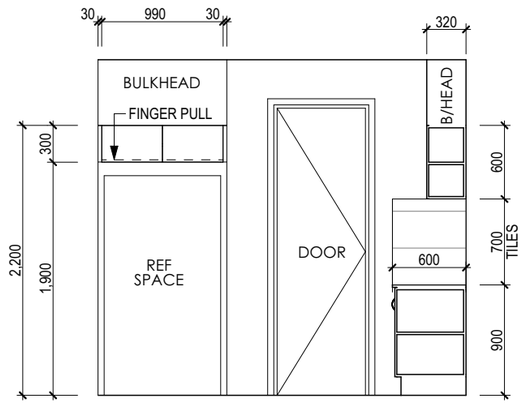

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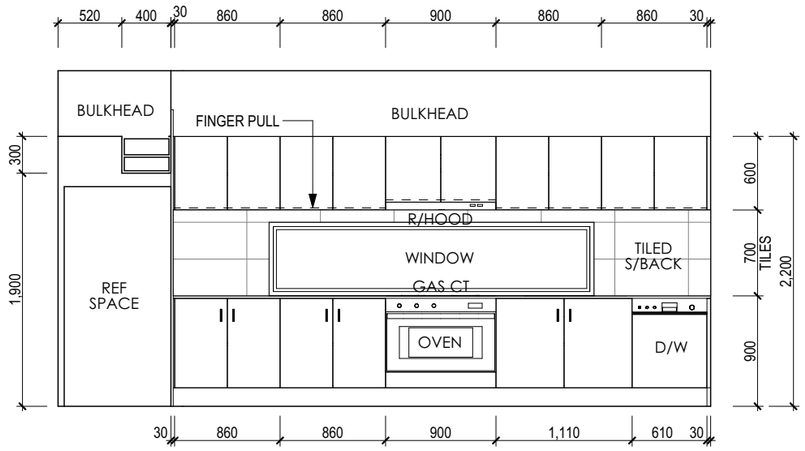

28 ELEVATION D
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UNIT 1 - I.E. - KITCHEN

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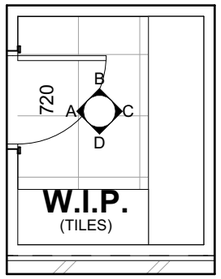

29 W.I.P. PLAN
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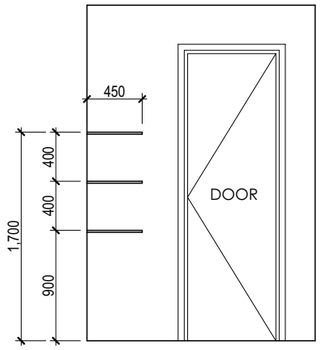

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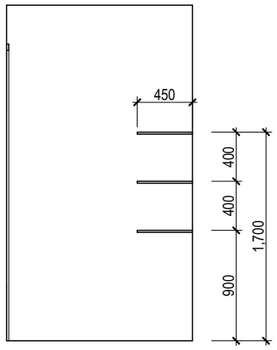

31 ELEVATION B
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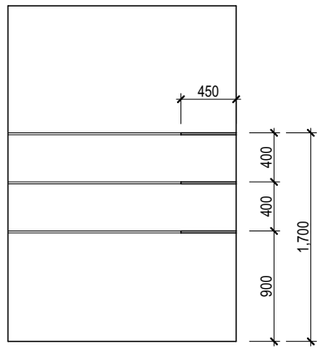

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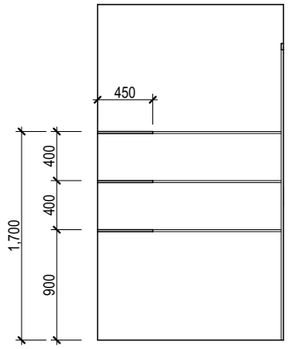

33 ELEVATION D
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UNIT 1 - I.E. - W.I.P.

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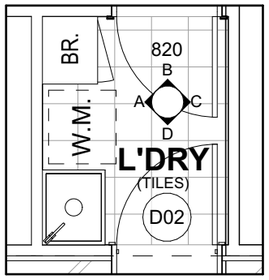

34 LAUNDRY PLAN
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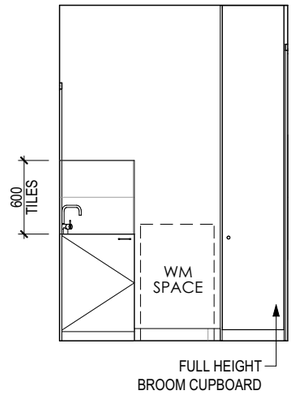

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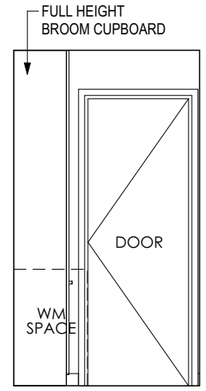

36 ELEVATION B
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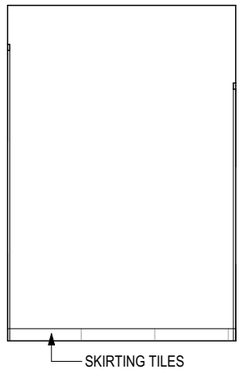

37 ELEVATION C
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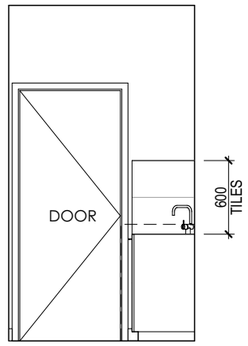

38 ELEVATION D
1:50

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UNIT 1 - I.E. - LAUNDRY

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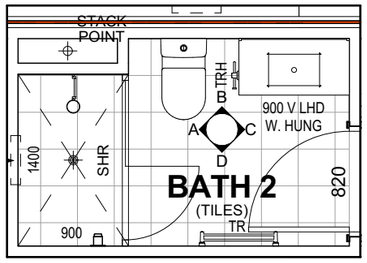
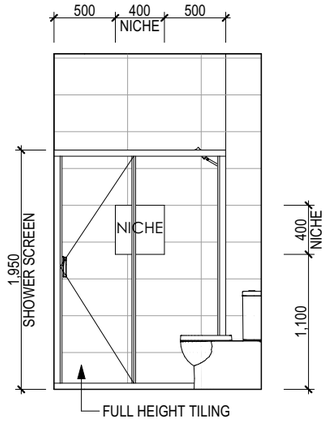
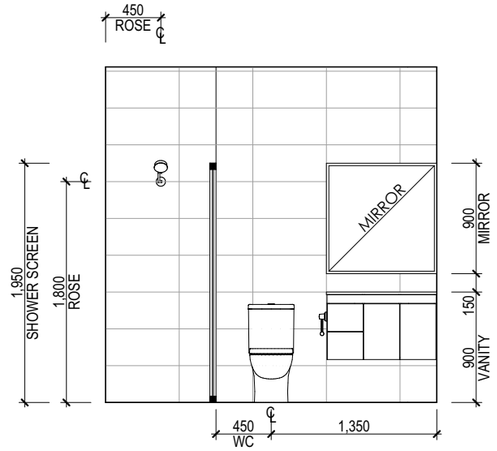


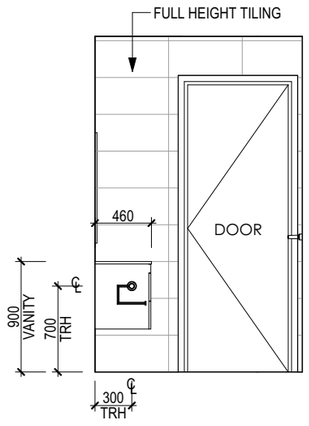
39 BATH 2 PLAN
1:50



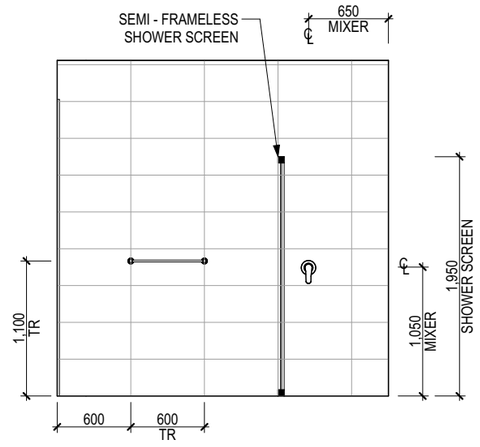
40 ELEVATION A
1:50



41 ELEVATION B
1:50



42 ELEVATION C
1:50



43 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 1 - I.E. - BATH 2

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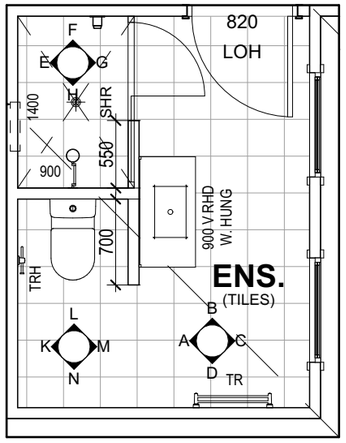
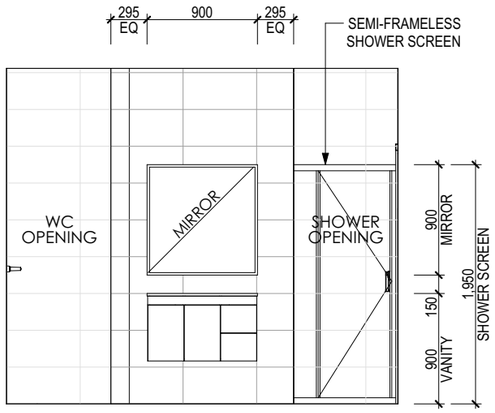
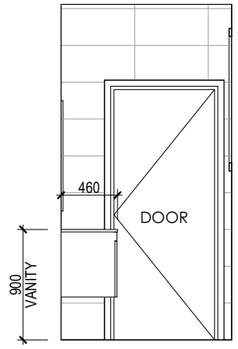
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 21 OF 31	JOB NUMBER: 3081



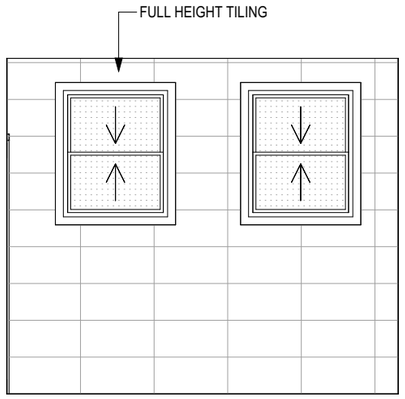
44 ENSUITE PLAN
1:50



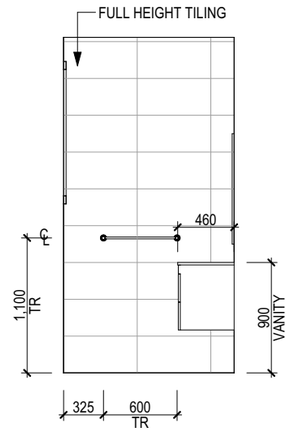
45 ELEVATION A
1:50



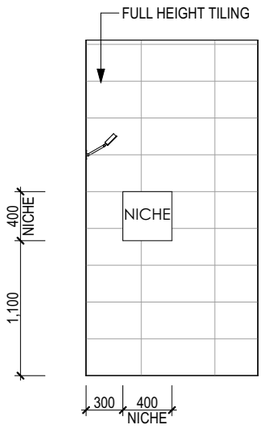
46 ELEVATION B
1:50



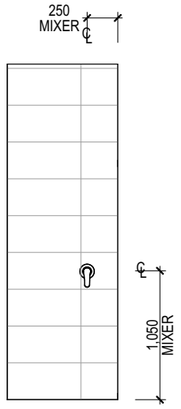
47 ELEVATION C
1:50



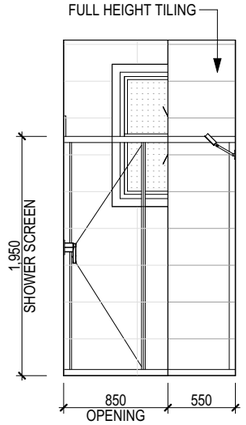
48 ELEVATION D
1:50



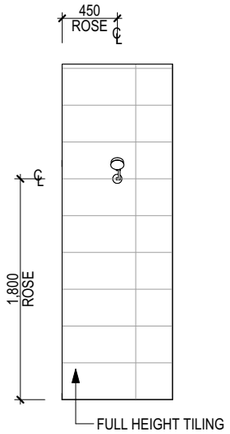
49 ELEVATION E
1:50



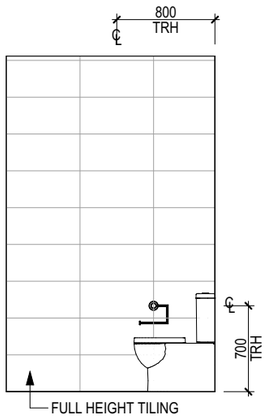
50 ELEVATION F
1:50



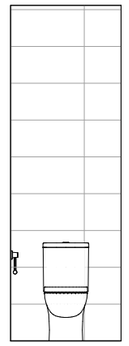
51 ELEVATION G
1:50



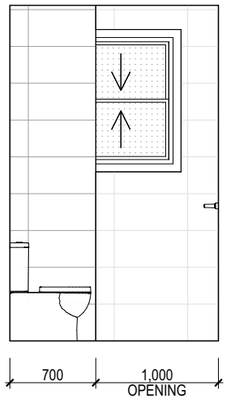
52 ELEVATION H
1:50



53 ELEVATION K
1:50



54 ELEVATION L
1:50



55 ELEVATION M
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 1 - I.E. - ENSUITE

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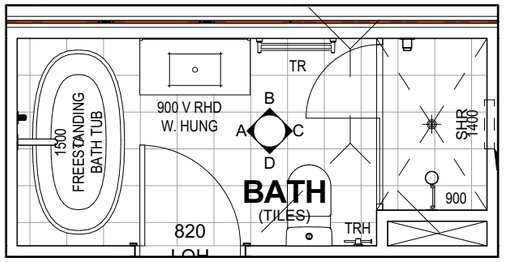
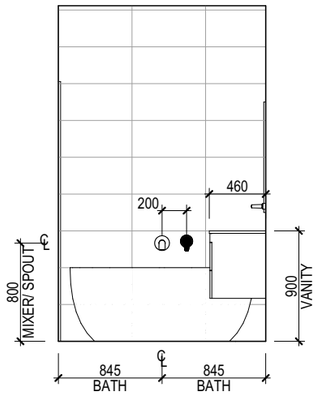
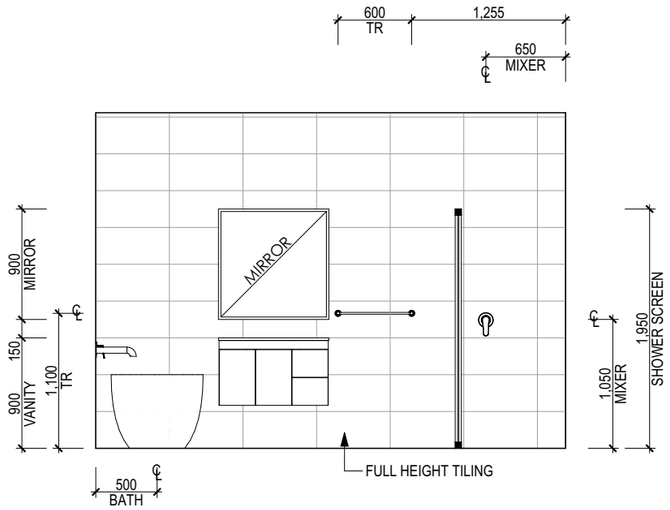
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 22 OF 31	JOB NUMBER: 3081



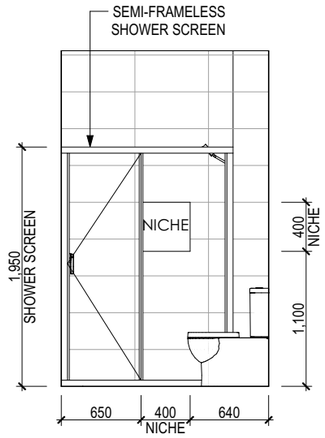
56 BATH 1 PLAN
1:50



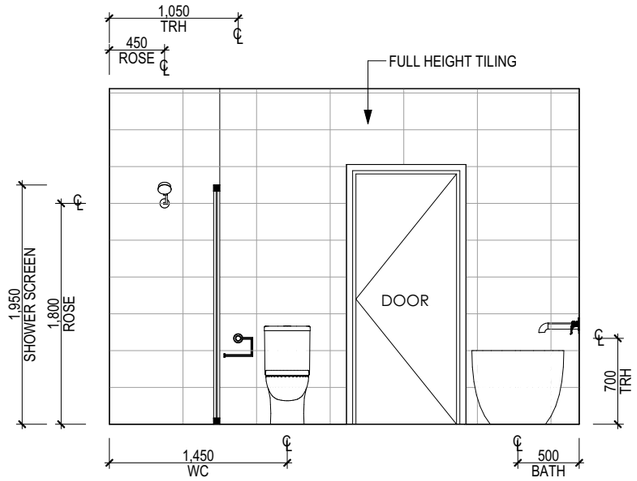
57 ELEVATION A
1:50



58 ELEVATION B
1:50



59 ELEVATION C
1:50



60 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 1 - I.E. - BATH 1

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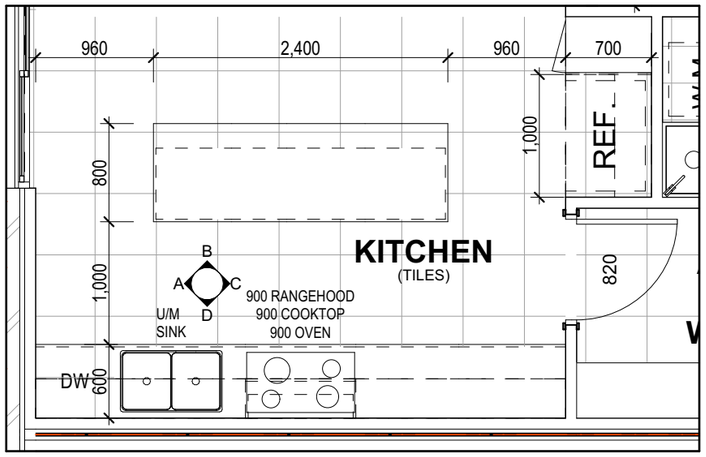
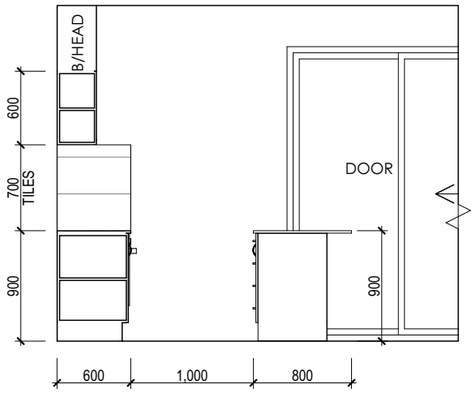
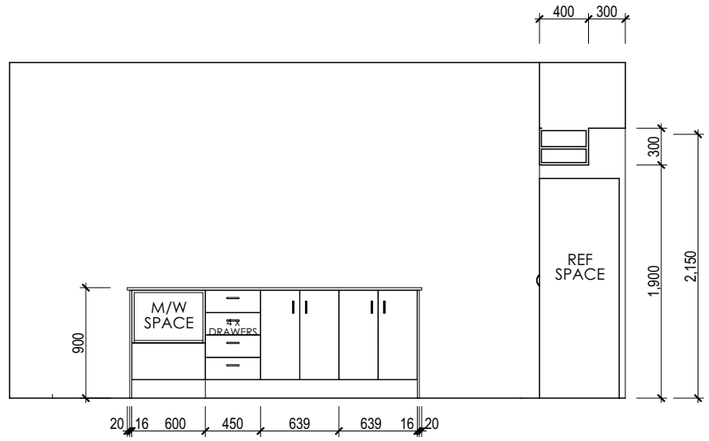
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 23 OF 31	JOB NUMBER: 3081



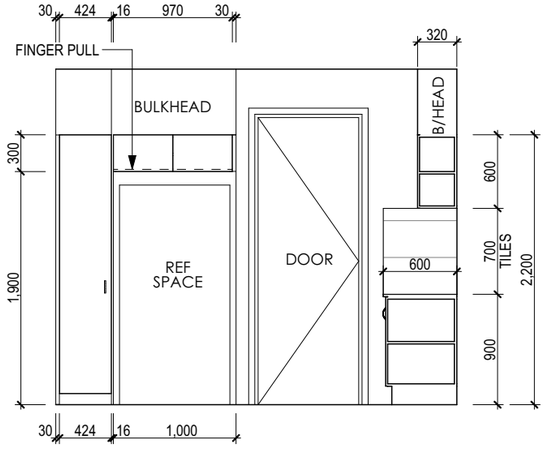
61 KITCHEN PLAN
1:50



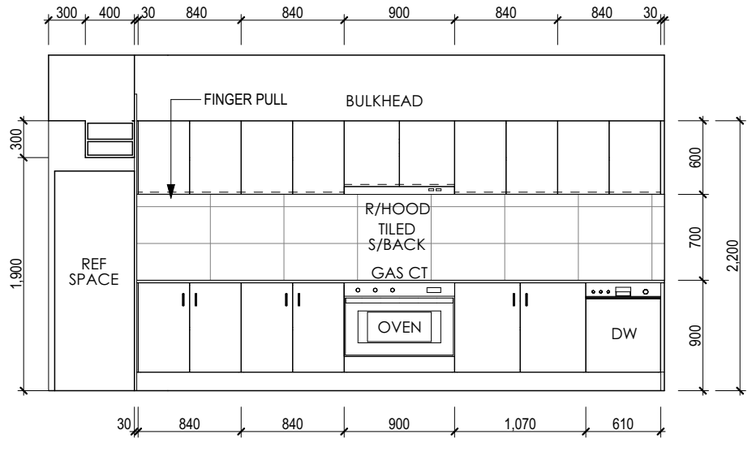
62 ELEVATION A
1:50



63 ELEVATION B
1:50



64 ELEVATION C
1:50



65 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - KITCHEN

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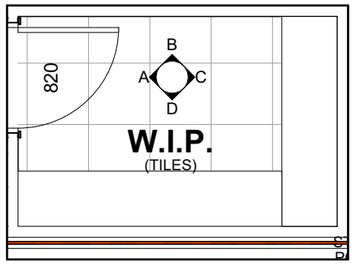
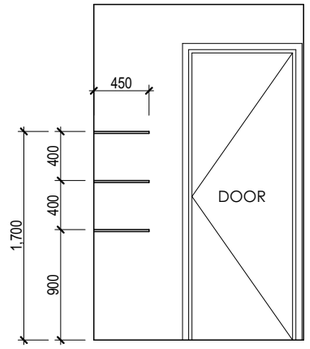
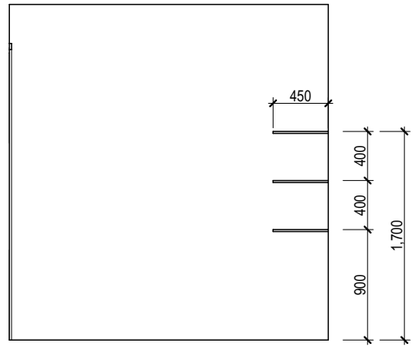
SUBURB: **DAVIDSON, NSW 2085**	SCALE: **1:50 @ A3**	DRAWN: **TN** / DATE: **21/05/2025** / SHEET: **25 OF 31**	JOB NUMBER: **3081**



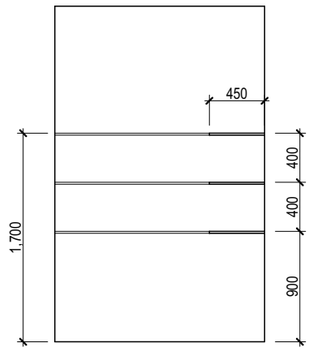
66 W.I.P. PLAN
1:50



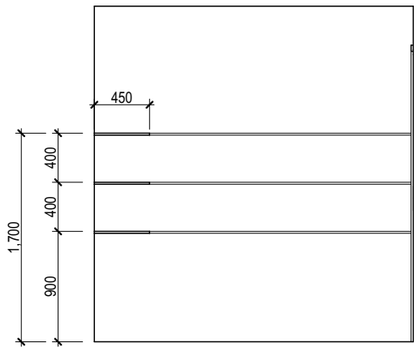
67 ELEVATION A
1:50



68 ELEVATION B
1:50



69 ELEVATION C
1:50



70 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - W.I.P.

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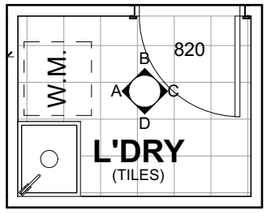
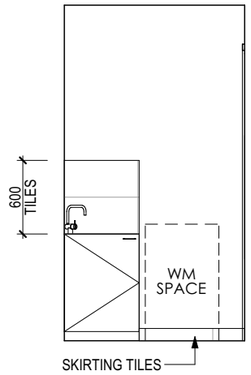
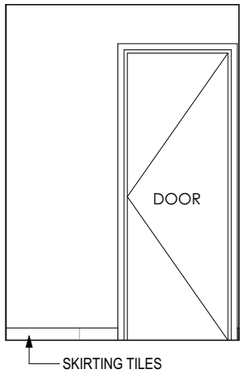
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN	DATE: 21/05/2025 / SHEET: 25 OF 31	JOB NUMBER: 3081



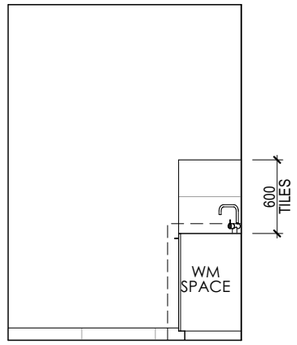
71 LAUNDRY PLAN
1:50



72 ELEVATION A
1:50



73 ELEVATION B
1:50



74 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - LAUNDRY

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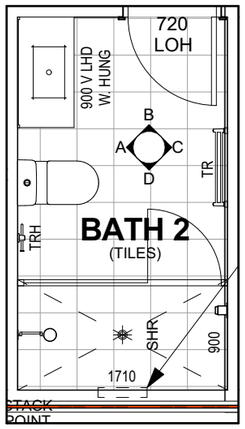
CLIENT: MR. M. DAYOUB, MR. M. DAYOUB, MR. B. GAFFNEY & MRS. N. GAFFNEY	HOUSE DESIGN: CUSTOM	FACADE: ASTRID	INCLUSIONS: CLASSIC
ADDRESS: LOT 34, NO.20 GRIMES PLACE,	DEPOSITED PLAN: DP 251101	COUNCIL: NOTHERN BEACHES COUNCIL	REVISION: L
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 26 OF 31	JOB NUMBER: 3081



75 BATH 2 PLAN
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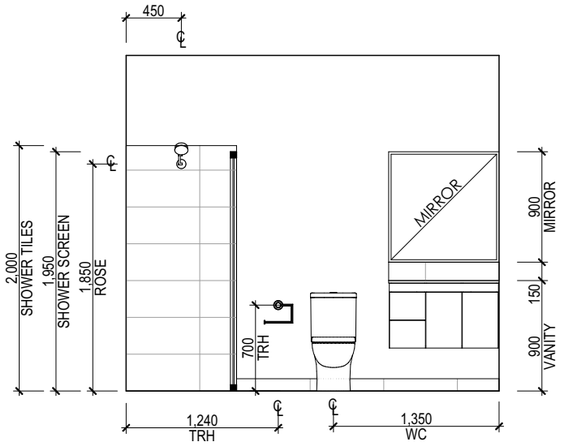

76 ELEVATION A
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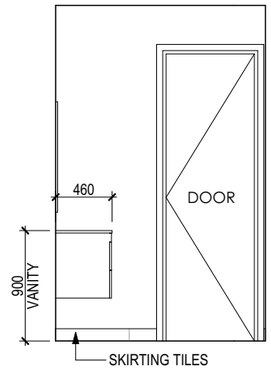

77 ELEVATION B
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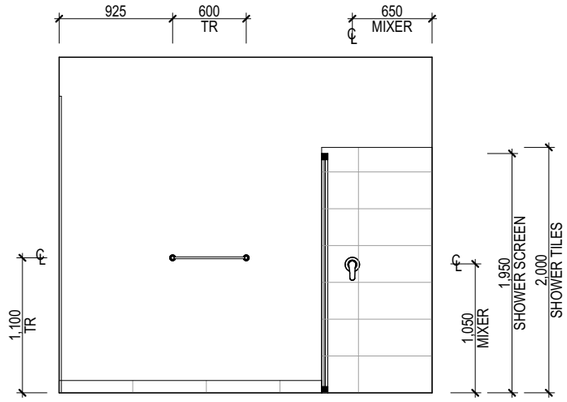

78 ELEVATION C
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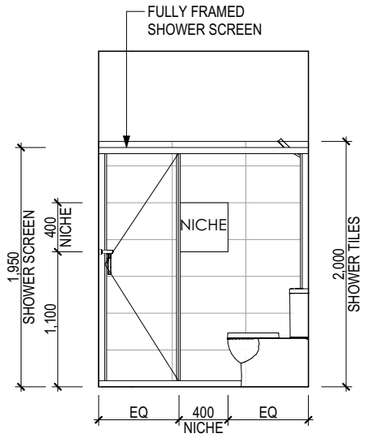

79 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - BATH 2

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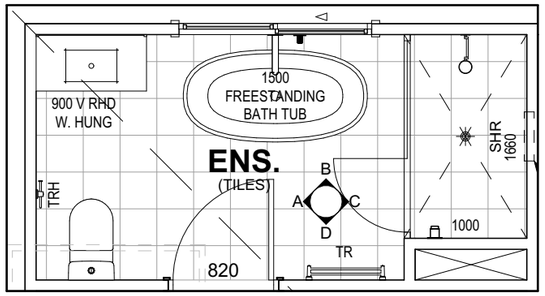
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN	DATE: 21/05/2025 / SHEET: 27 OF 31	JOB NUMBER: 3081



80 ENSUITE PLAN
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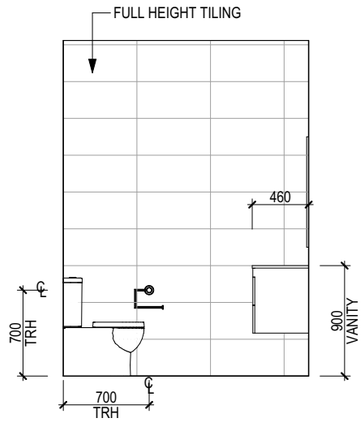

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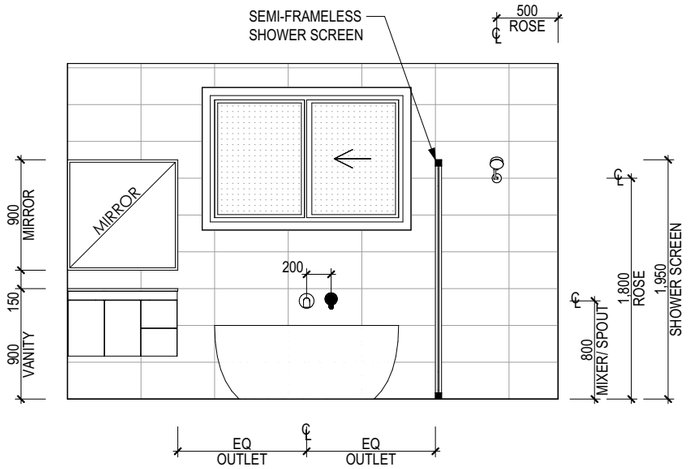

82 ELEVATION B
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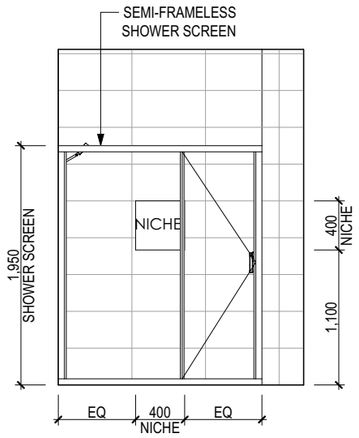

83 ELEVATION C
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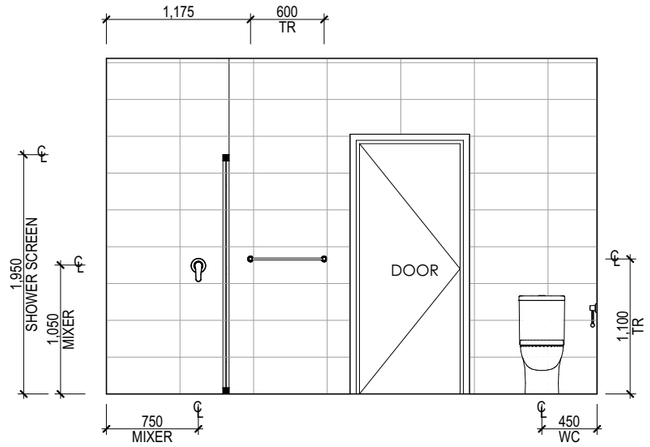

84 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - ENSUITE

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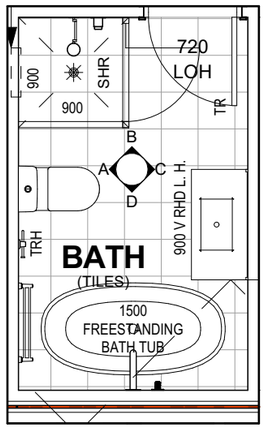
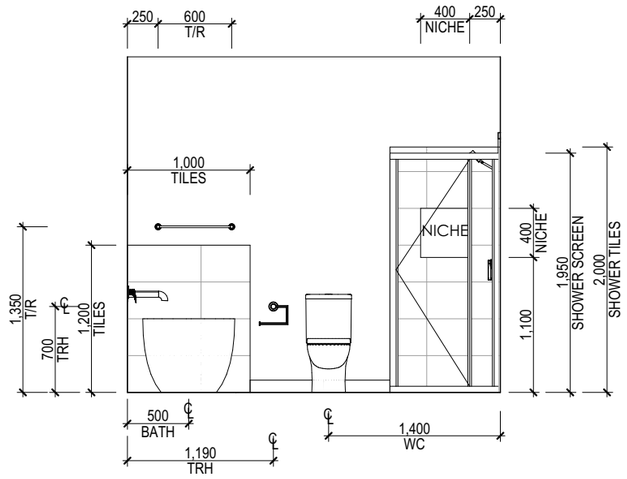
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN / DATE: 21/05/2025 / SHEET: 28 OF 31	JOB NUMBER: 3081



85 BATH 1 PLAN
1:50



86 ELEVATION A
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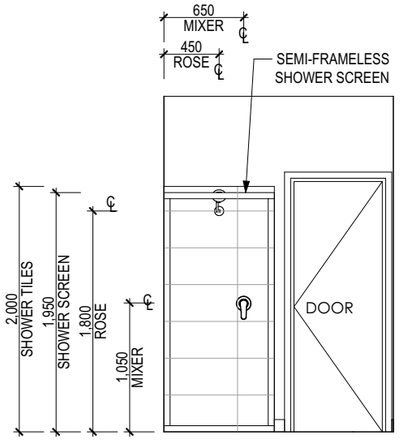

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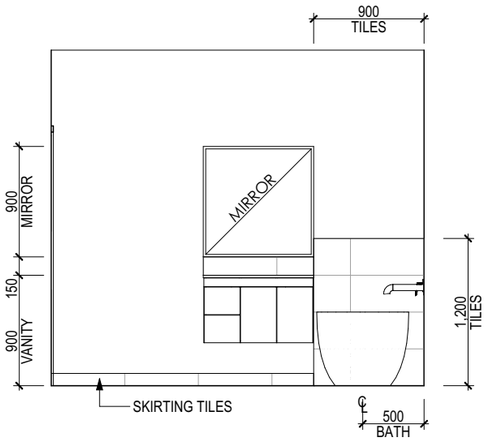

88 ELEVATION C
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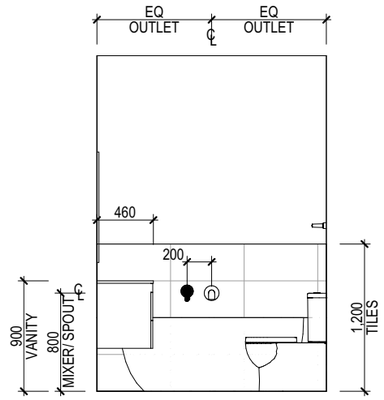

89 ELEVATION D
1:50

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

UNIT 2 - I.E. - BATH 1

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ADDRESS: LOT 34, NO.20 GRIMES PLACE,	DEPOSITED PLAN: DP 251101	COUNCIL: NOTHERN BEACHES COUNCIL		REVISION: L
SUBURB: DAVIDSON, NSW 2085	SCALE: 1:50 @ A3	DRAWN: TN	DATE: 21/05/2025 / SHEET: 29 OF 31	JOB NUMBER: 3081

BRADNAM'S WINDOW SCHEDULE

WINDOW NO.	WINDOW CODE	WINDOW SIZE		TOTAL WINDOW AREA	OPENING TYPE	PREVIEW
		HEIGHT	WIDTH			
SKY01	14 - 06	1,400mm	550mm	---	FIXED	
W01	21 - 18	2,060mm	1,810mm	3.73 m²	SLIDING	
W02	06 - 27	600mm	2,650mm	1.59 m²	FIXED	
W03	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W04	18 - 09	1,800mm	850mm	1.53 m²	SLIDING	
W05	15 - 27	1,460mm	2,650mm	3.87 m²	SLIDING	
W06	10 - 09	1,030mm	850mm	0.88 m²	DOUBLE HUNG	
W07	10 - 09	1,030mm	850mm	0.88 m²	DOUBLE HUNG	
W08	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W09	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W10	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W11	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W12	12 - 27	1,200mm	2,650mm	3.18 m²	SLIDING	
W13	10 - 16	1,030mm	1,570mm	1.62 m²	SLIDING	
W14	10 - 18	1,030mm	1,810mm	1.86 m²	SLIDING	
W15	15 - 27	1,460mm	2,650mm	3.87 m²	SLIDING	
W16	15 - 18	1,460mm	1,810mm	2.64 m²	SLIDING	

DOOR SCHEDULE

DOOR NO.	DOOR CODE	DOOR SIZE		TOTAL DOOR AREA	PREVIEW	QTY.
		HEIGHT	WIDTH			
D01	23 - 10	2,340mm	1,020mm	2.39 m²		1
D02	20 - 08	2,040mm	820mm	1.67 m²		1
D03	24 - 53	2,400mm	5,346mm	12.83 m²		1
D04	24 - 53	2,400mm	5,346mm	12.83 m²		1
D05	24 - 27	2,400mm	2,688mm	6.45 m²		1
D06	23 - 10	2,340mm	1,020mm	2.39 m²		1
INT-D01	23 - 07	2,340mm	720mm	1.68 m²		3
INT-D02	23 - 08	2,340mm	820mm	1.92 m²		9
INT-D03	20 - 07	2,040mm	720mm	1.47 m²		2
INT-D04	20 - 08	2,040mm	820mm	1.67 m²		12
INT-D05	20 - 08	2,040mm	820mm	1.67 m²		1
INT-D06	20 - 16	2,040mm	1,640mm	3.35 m²		1
						34

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

WINDOW / DOOR SCHEDULE

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ADDRESS: LOT 34, NO.20 GRIMES PLACE,	DEPOSITED PLAN: DP 251101	COUNCIL: NOTHERN BEACHES COUNCIL	REVISION: L
SUBURB: DAVIDSON, NSW 2085	SCALE: N/A	DRAWN: TN	DATE: 21/05/2025
		SHEET: 30 OF 31	JOB NUMBER: 3081

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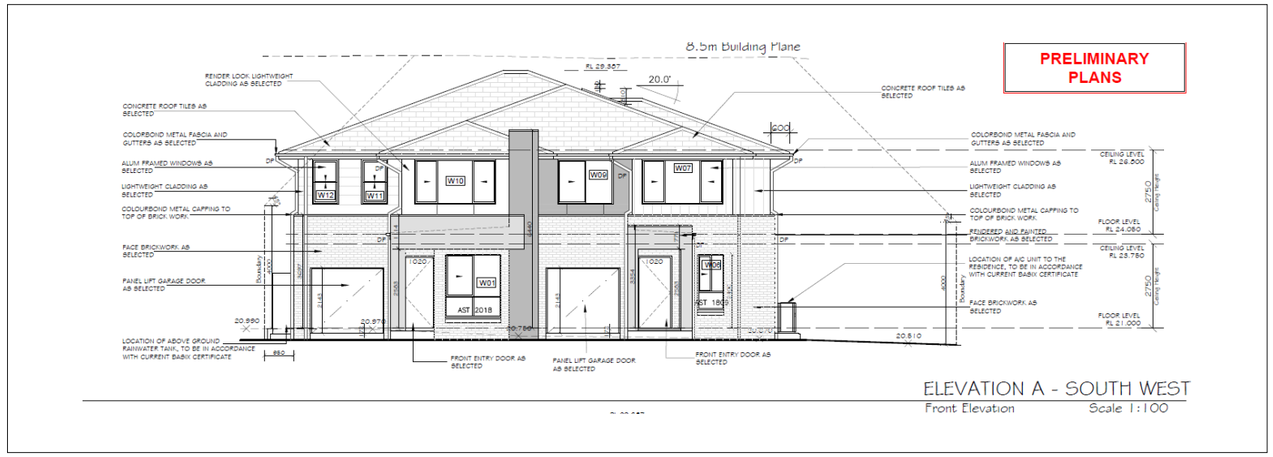
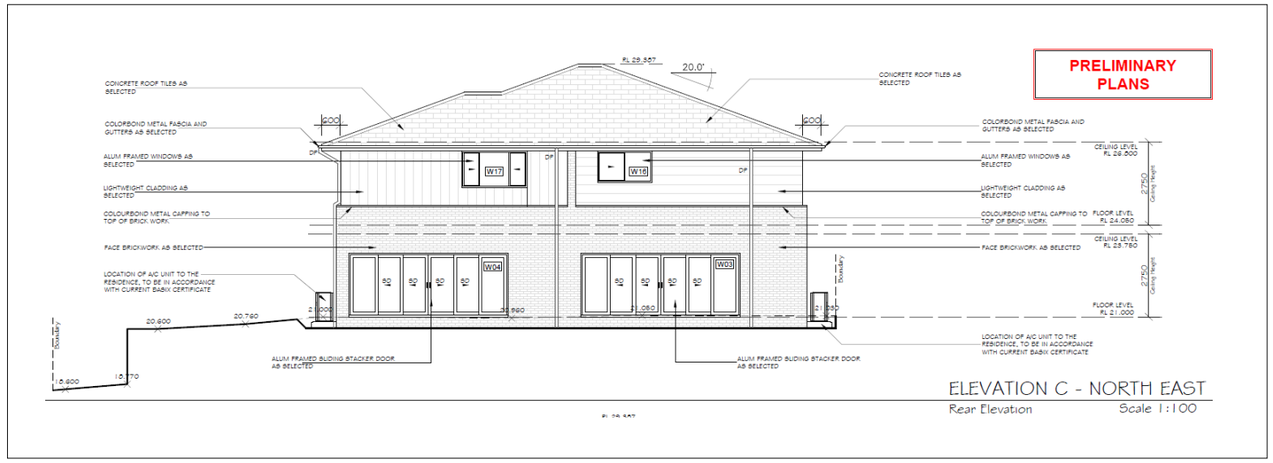
EXTERNAL COLOUR PLAN





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	ADDRESS: LOT 34, 20 GRIMES PLACE	DEPOSITED PLAN: DP251101	COUNCIL: NORTHERN BEACHES	REVISION: 1
	SUBURB: DAVIDSON, NSW 2085	SCALE: N/A	DRAWN: DM	DATE: 20.01.25 / SHEET: 7 / JOB NUMBER: YK213

OFFICE TOWER BUILDING E GROUND FLOOR, UNIT E 204 / 24-32 LEXINGTON DRIVE, BELLA VISTA NSW 2153

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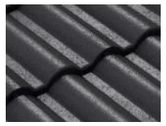
AUSTRAL BRICKS
Metallix, Quartz
Off White Mortar, Iron joint



BRISTILE ROOFING
Designer, Cool smoke

WATTYL, DOVER WHITE
All Cladding to First Floor Areas

COLORBOND, MONUMENT
Gutter, Fascia, Parapet Capping & Water Tank

WATTYL, SURFMIST
Render to Porch Projections for Both Units

GARAGE DOOR
Slimline, Monument

WATTYL, MONUMENT
Front Doors, Render to Dividing Pier, Downpipes & Meter Box

WINDOWS
Wideline, Monument

DocuSigned by:
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05-Mar-2025

DocuSigned by:
9FE09F3D1E2740D...
05-Mar-2025

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06-Mar-2025

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06-Mar-2025

BRICKWORKS
BUILDING PRODUCTS

REV.	DESCRIPTION	DATE
J	WORKING DRAWINGS	20/03/2025
K	AMENDED PLANS - TOWN PLANNER REVIEW	12/05/2025
L	AMENDED PLANS - TV-5, TV-6 & TV-12	21/05/2025

COLOUR SCHEDULE

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