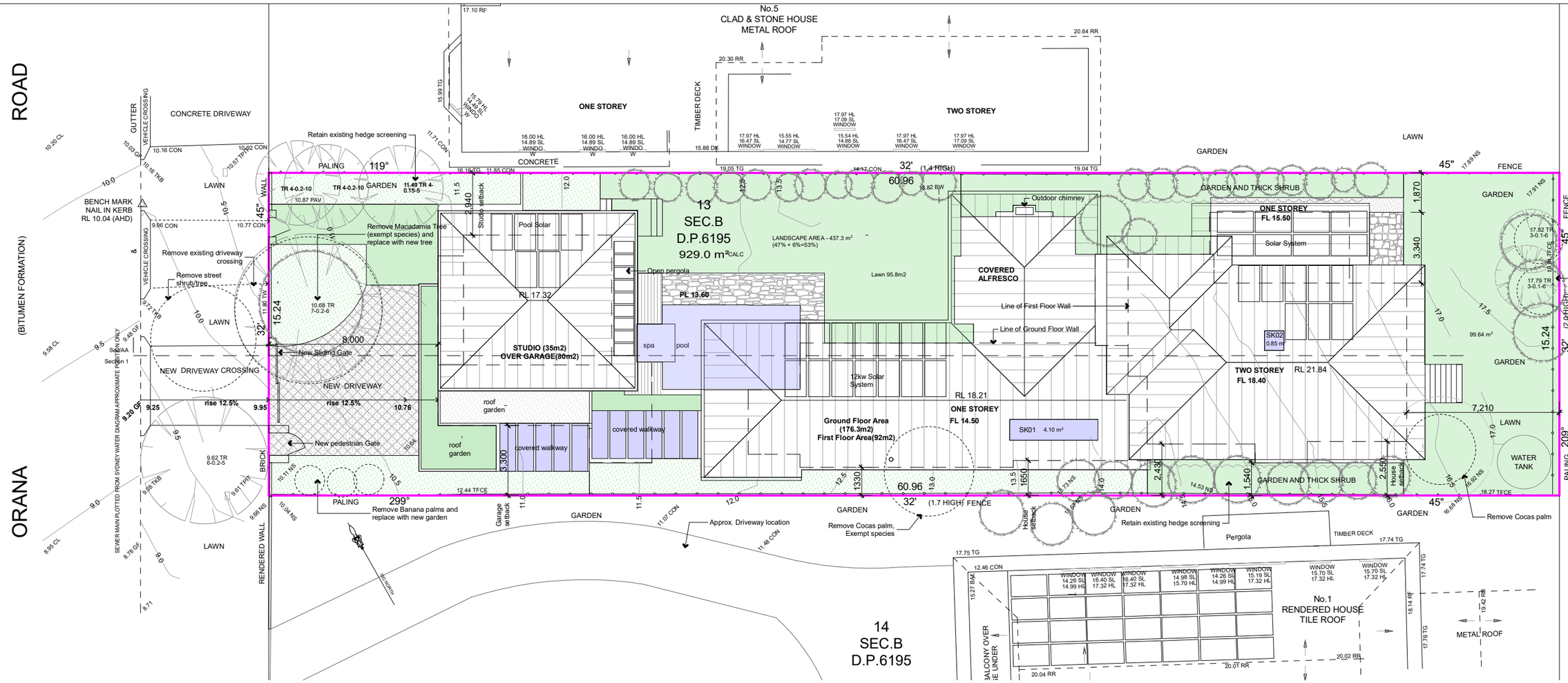

3 Site and Roof Plan 1:200

Basix Requirements Summary - Multi Dwelling			
Steve Halpin 3 Orana Road Mona Vale NSW 2103	Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914		CES CHAPMAN

Water Target	40	Water Score	40
Energy Target	50	Energy Score	71
Max. Heating Load is (MJ/m²)	43.1	Actual Heating Load	34.8
Max. Cooling Load is (MJ/m²)	26.3	Actual Cooling Load	24.9

Basix Commitments					
Landscaping	Total area of garden & lawn (m²)	473	Area of indigenous/low water use plants (m²)		0
Fixtures	Shower heads	3 star (> 7.5 but <= 9 L/min)	Toilets	4 star	All taps 5 star
Alternative Water (House only)	Minimum Rainwater tank size (L)	5000	Collect run off from roof area of at least (m²)		148
	Toilet connection	Laundry connection	Landscape connection	Pool top up	Spa top up
	Yes	Yes	Yes	Yes	Yes
Pool and Spa	Max pool volume (kL)	39	Pool does not require a cover	Pool pump must have a timer	
	Max spa volume (kL)	3	Spa does not require a cover	Spa pump must have a timer	
	Pool heating	Solar (gas boosted)	Spa Heating	Solar (gas boosted)	

Energy				
	Hot water system	Gas instantaneous	Rating	6 star
	Bathroom ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off
	Kitchen ventilation	Individual fan, ducted to facade or roof	with	Manual switch on/off
	Laundry ventilation	Natural ventilation only, or no laundry		
	Cooling - living areas	Ceilling fans + 3-phase airconditioning	Rating	EER 3.0 - 3.5
	Cooling - bedrooms	Ceilling fans + 3-phase airconditioning	Rating	EER 3.0 - 3.5
	Heating - living areas	1-phase airconditioning	Rating	EER 3.0 - 3.5
	Heating - bedrooms	1-phase airconditioning	Rating	EER 3.0 - 3.5
	Alternate Energy	Photovoltaic system able to generate at least	12 (house)	peak kilowatts of electricity
	Gas cooktop & electric oven	Outdoor clothesline required		No indoor clothesline required

n/a

Thermal Performance Assessment Based on the Following Requirements					
Floor Types	Concrete slab on ground	with	R1.1 under slab insulation		
	Suspended concrete slab	with	R1.1 underslab insulation		
	Suspended timber	with	R2.5 bulk insulation		
	Suspended concrete slab - Studio	with	R1.1 underslab insulation (garage ceiling)		
Floor Coverings	Tiles Wet araes		Timber Hall / Studio		
	Carpet Bedrooms		Concrete House living		
External Walls	Brick veneer	with	Sarking and R2.5 bulk insulation	Colour	Light
	Timber framed Polystyrene clad	with	Sarking and R2.5 bulk insulation	Colour	Light
Internal Walls	Plasterboard	with	No insulation required		
Ceilling (floor over)	Timber above plasterboard	with	Nil		
Ceillings (roof over)	Timber above plasterboard.	with	R4.0 bulk insulation		
Roof	Metal	with	R1.3 roof blanket	Colour	Dark

Windows and Doors					
	AF double glazed LowE Grey - House	Fixed Glass	AWS-067-18	U-Value 2.19 or less	SHGC 0.34 +/- 5%
	to all windows and glazed doors unless noted otherwise	Sliding Windows	AWS-003-13	U-Value 3.80 or less	SHGC 0.34 +/- 5%
	Lourves & D-Hung windows single glazed	Sliding Doors	AWS-089-07	U-Value 2.63 or less	SHGC 0.41 +/- 5%
		Hinged Door	AWS-019-11	U-Value 3.71 or less	SHGC 0.30 +/- 5%
		DHung Windows	VAN-002-13	U-Value 6.36 or less	SHGC 0.43 +/- 5%
		Lourves	VAN-004-07	U-Value 6.14 or less	SHGC 0.45 +/- 5%
	AF single glazed Low E Grey - Studio	Fixed Glass	AWS-066-01	U-Value 3.92 or less	SHGC 0.45 +/- 5%
	to all windows and glazed doors unless noted otherwise	Sliding Windows	AWS-001-12	U-Value 4.70 or less	SHGC 0.36 +/- 5%
		Sliding Doors	AWS-011-18	U-Value 4.36 or less	SHGC 0.43 +/- 5%
		Hinged Door	AWS-018-20	U-Value 4.42 or less	SHGC 0.34 +/- 5%
		DHung Windows	VAN-002-13	U-Value 6.36 or less	SHGC 0.43 +/- 5%
		Lourves	VAN-004-07	U-Value 6.14 or less	SHGC 0.45 +/- 5%
	AF = Aluminium Framed	TB = Thermally Broken Aluminium Framed		TF = Timber Framed	

ABSA Australian Building Sustainability Assessor
Assessments required within the accreditation period as part of the NSW dwelling tool special
Accreditation Period: 31/03/2022-31/03/2023
Assessor Name: Terry Chapman
Assessor Number: 20920
Assessor Signature:
This Assessor Statement is issued in accordance with the terms and conditions of the ABSA Assessor Accreditation Scheme and is subject to the ABSA Assessor Code of Conduct

0007832160 27 Jun 2022
Assessor Terry Chapman
Accreditation No. 20920
Address
3 Orana Road , Mona Vale ,
NSW , 2103
hstar.com.au

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Cover Sheet
Site and Roof Plan, Basix 1 2022-06-24 103346, Basix 2 2022-06-24 103346

Scale: as noted	Date: 10.06.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA**
Plot Date: 24/06/2022	

0007832160 19 Oct 2022
Assessor Terry Chapman
Accreditation No. 20920
Address
3 Orana Road , Mona Vale ,
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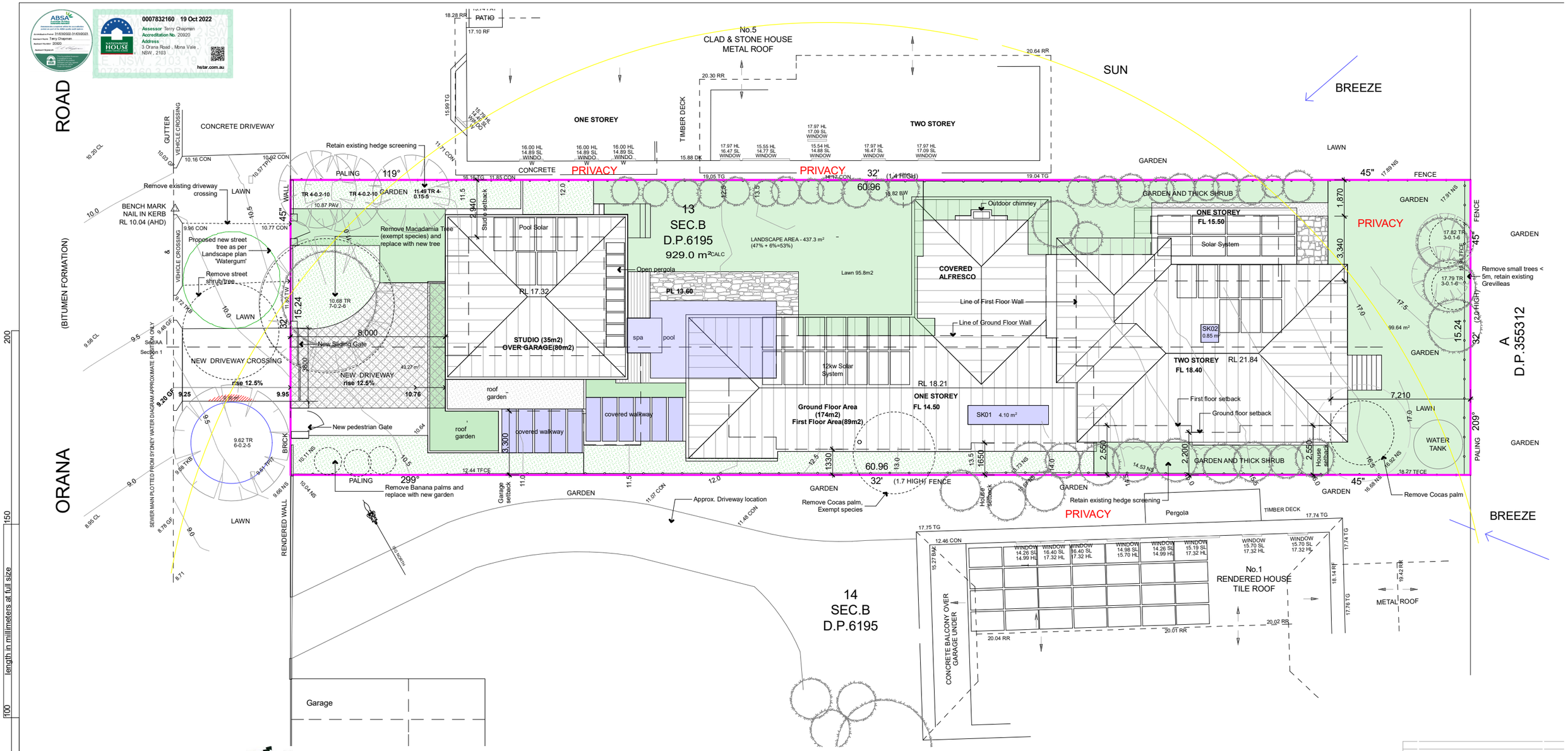

3 Site and Roof Plan 1:200

3 Streetfront View

A - DA Amendment 11.10.22

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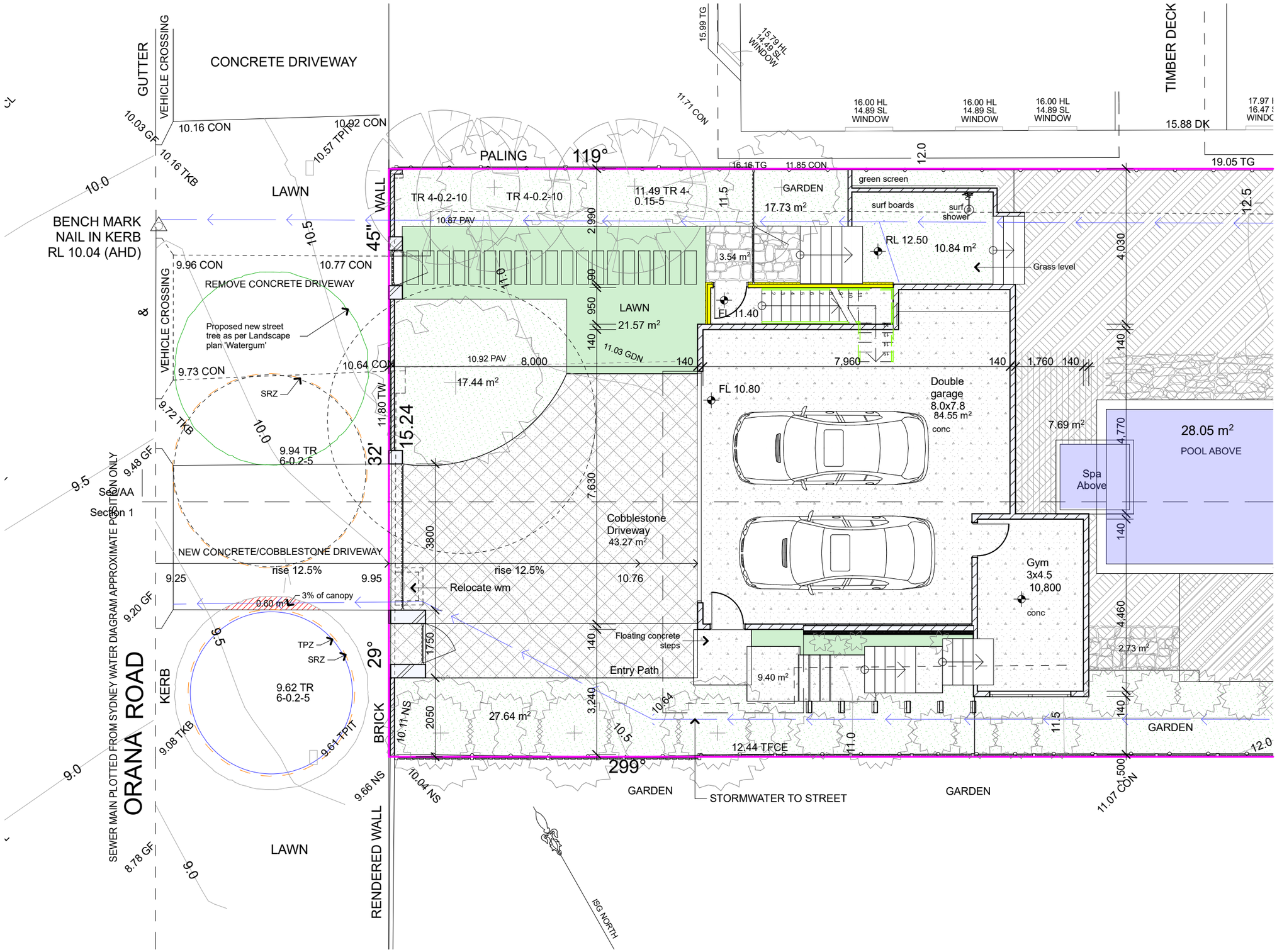
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Site Analysis and Roof Plan
Streetfront View, Site and Roof Plan

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA00** -A
Plot Date:	13/10/2022

length in millimeters at full size



3 Garage Level
1:100

A - DA Amendment 11.10.22

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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Garage Floor
Garage Level

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA01** -A
Plot Date: 18/10/2022	

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Assessor Terry Chapman
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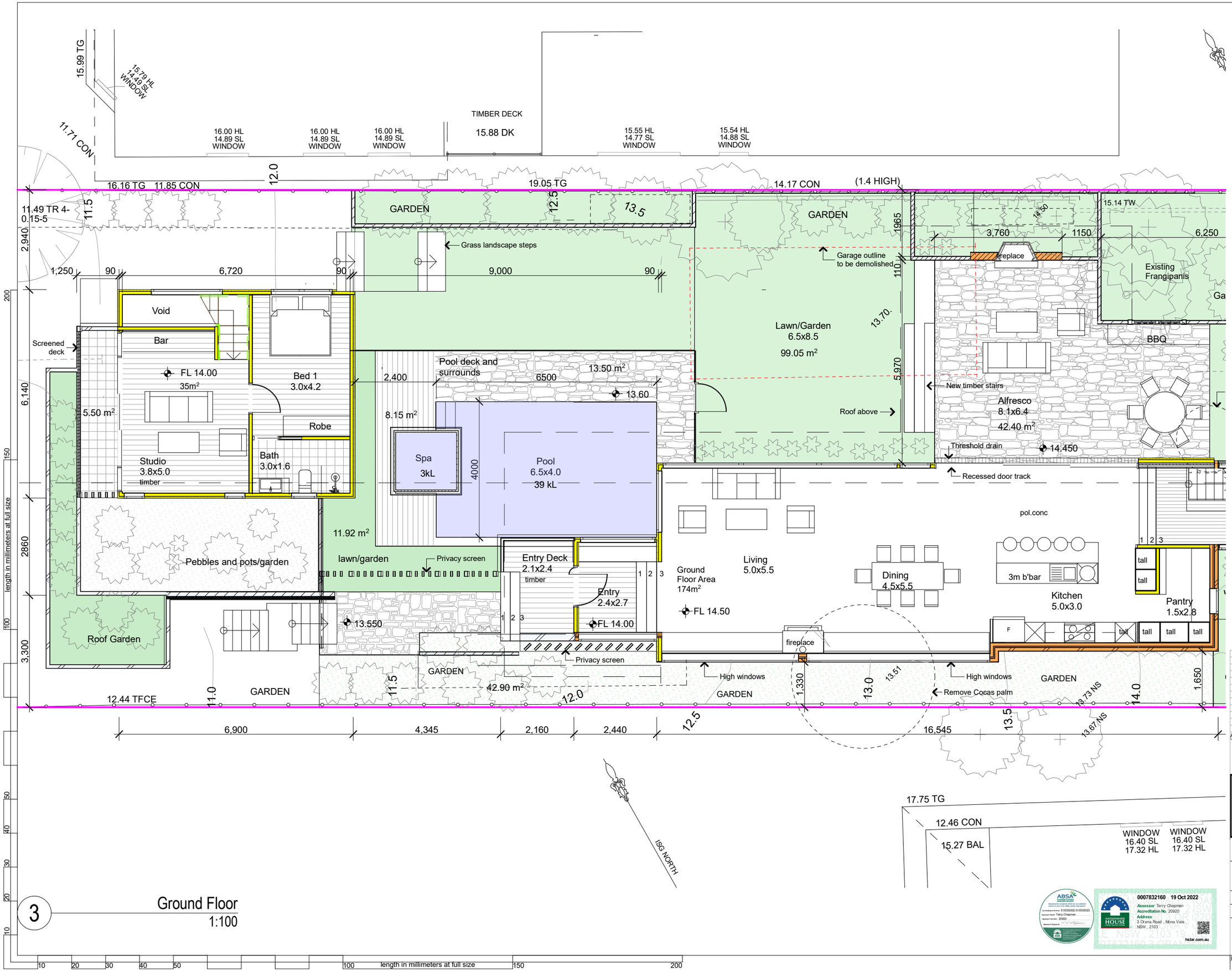

3 Ground Floor
1:100

A -	DA Amendment	11.10.22

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SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA02** -A

Plot Date: 13/10/2022

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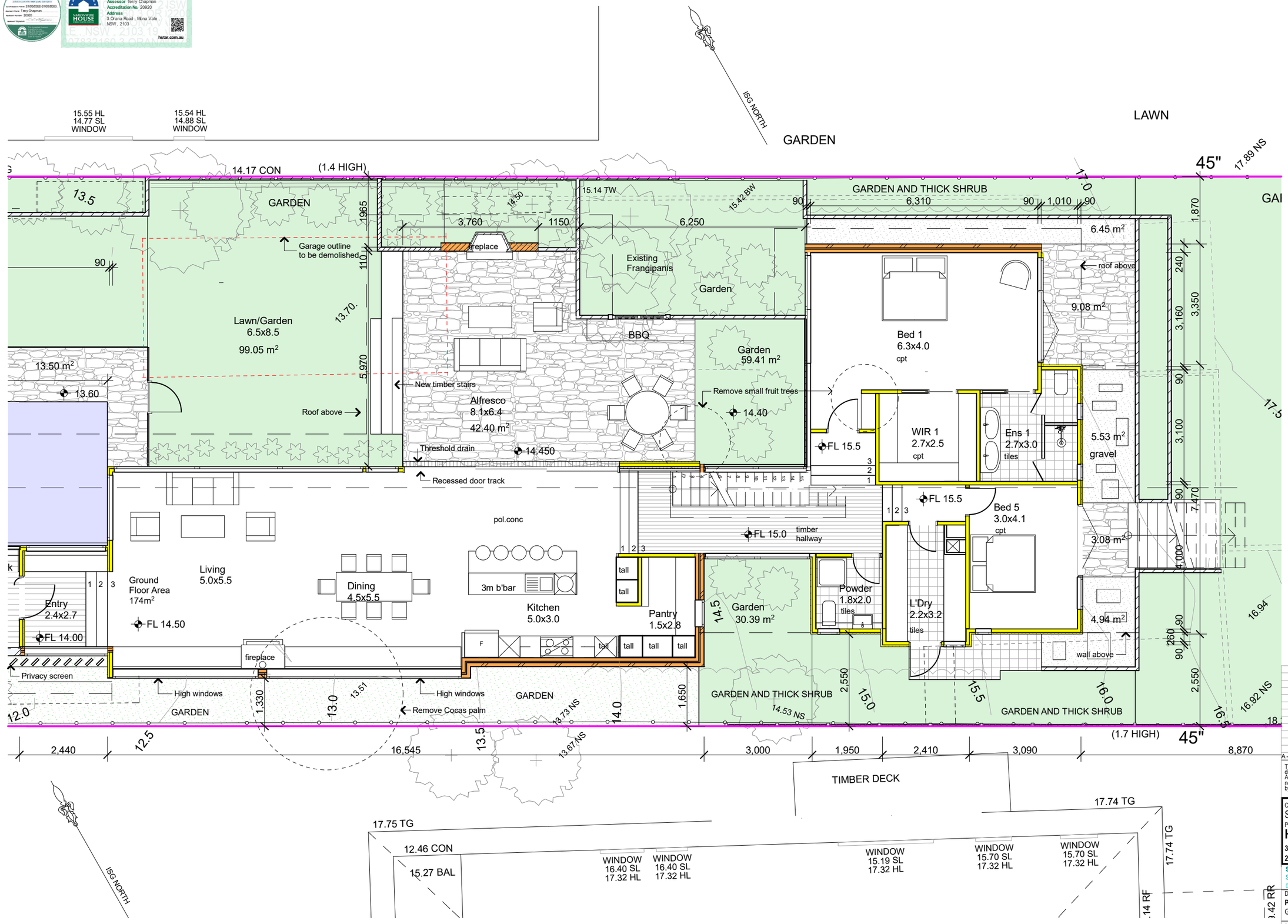

3 Ground Floor
1:100

A- DA Amendment 11.10.22

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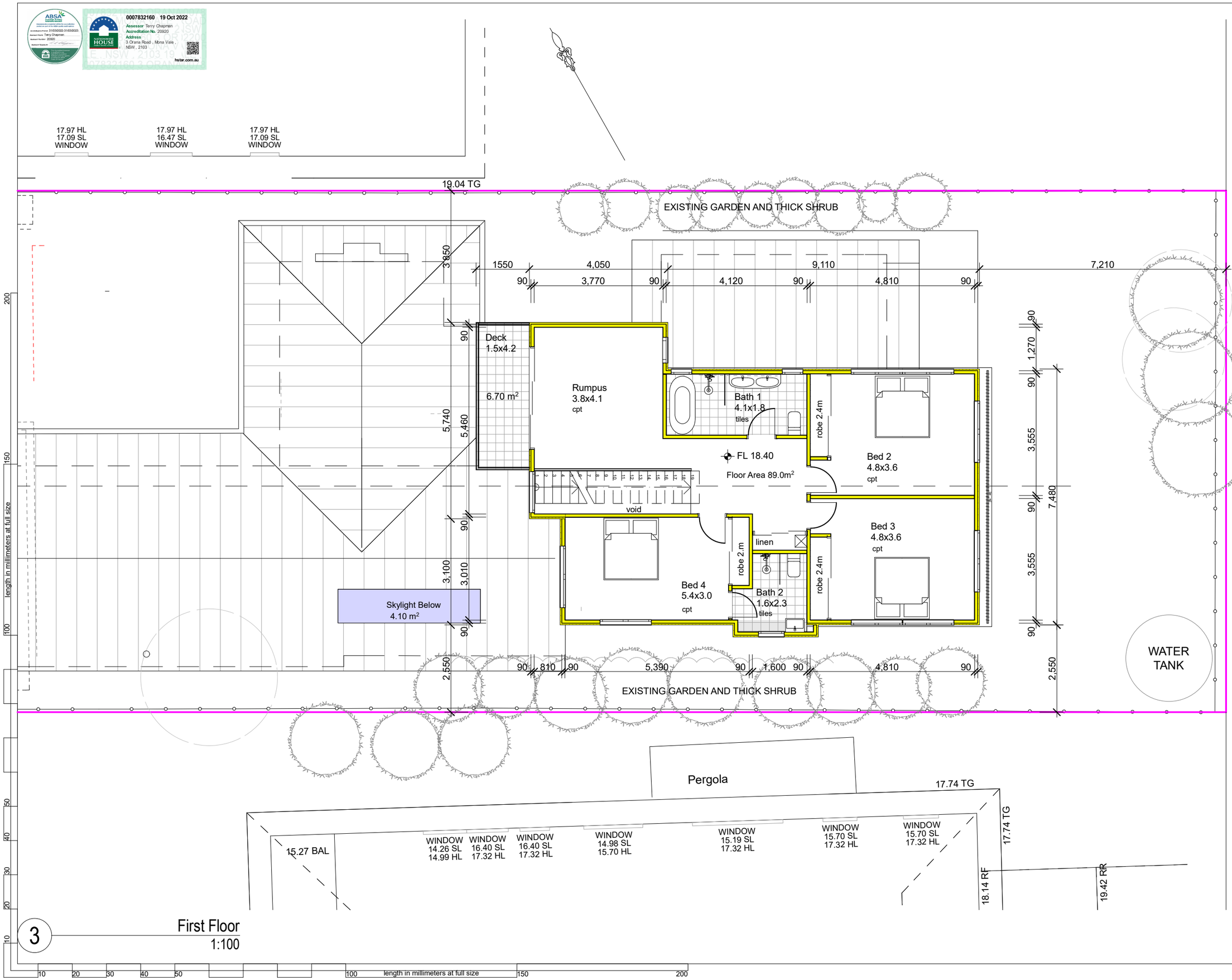
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - Ground Floor Plan
Ground Floor

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA02-b** -A
Plot Date: 13/10/2022	

length in millimeters at full size



3

First Floor
1:100

A -	DA Amendment	11.10.22

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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Plans Ground - First Floor Plan
First Floor

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA03** -A

Plot Date: 13/10/2022

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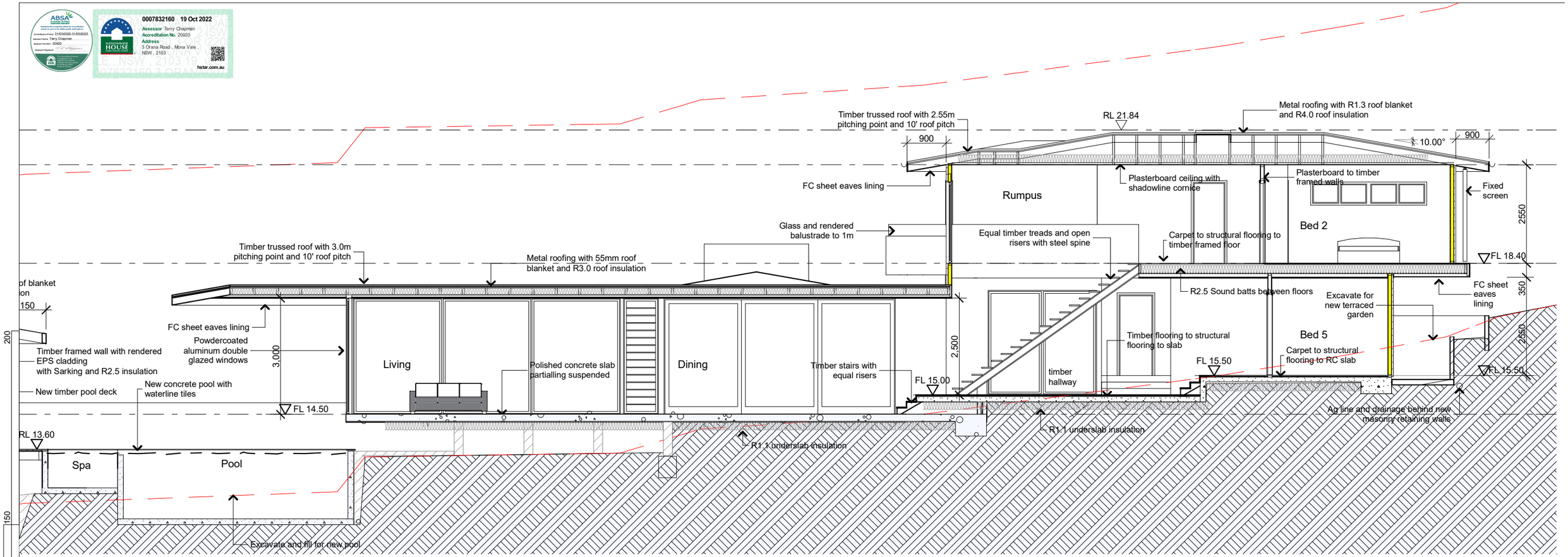
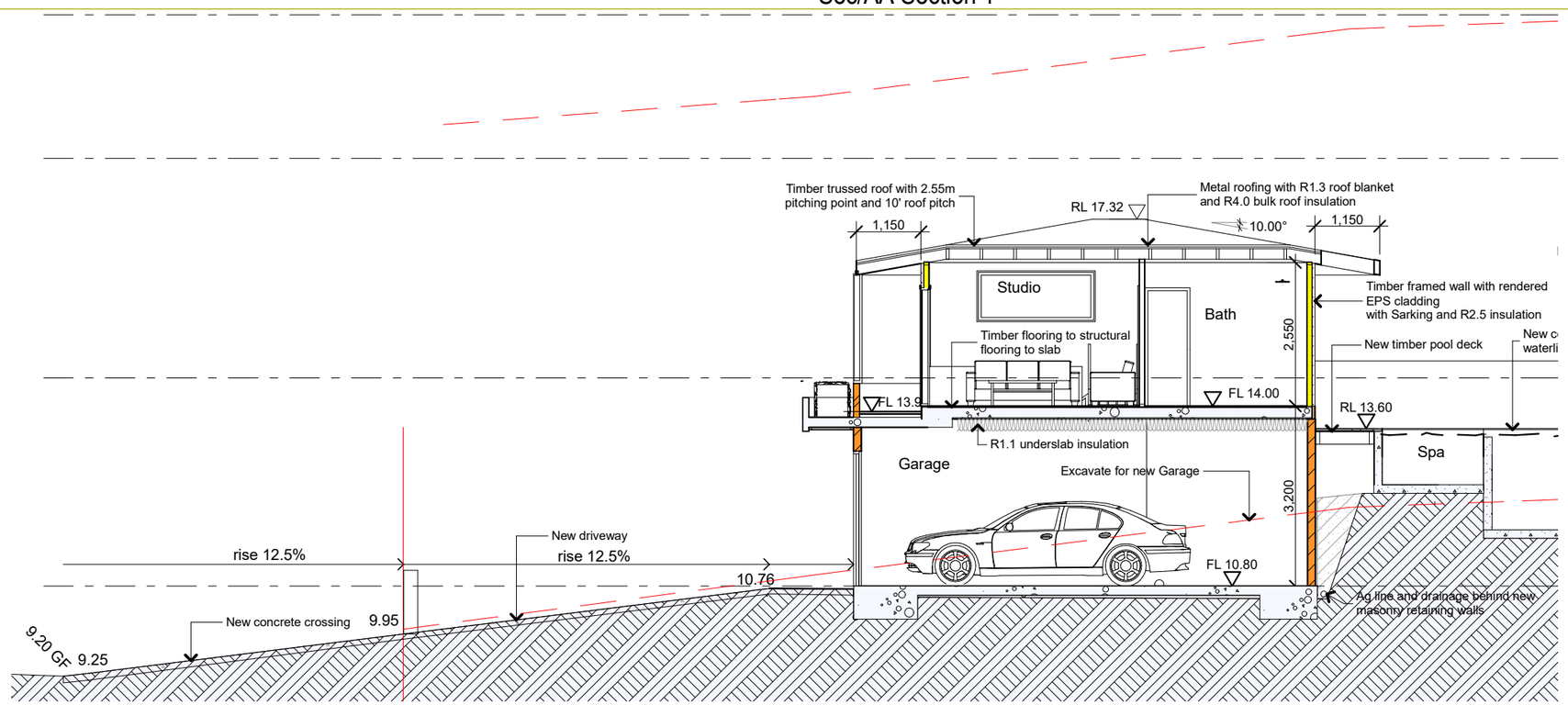


1 Sec/AA Section 1 1:100



3 Driveway and Garage Section 1:100

A -	DA Amendment	11.10.22

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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Sections
Driveway and Garage Section, Sec/AA Section 1

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA04** -A
Plot Date:	11/10/2022

length in millimeters at full size

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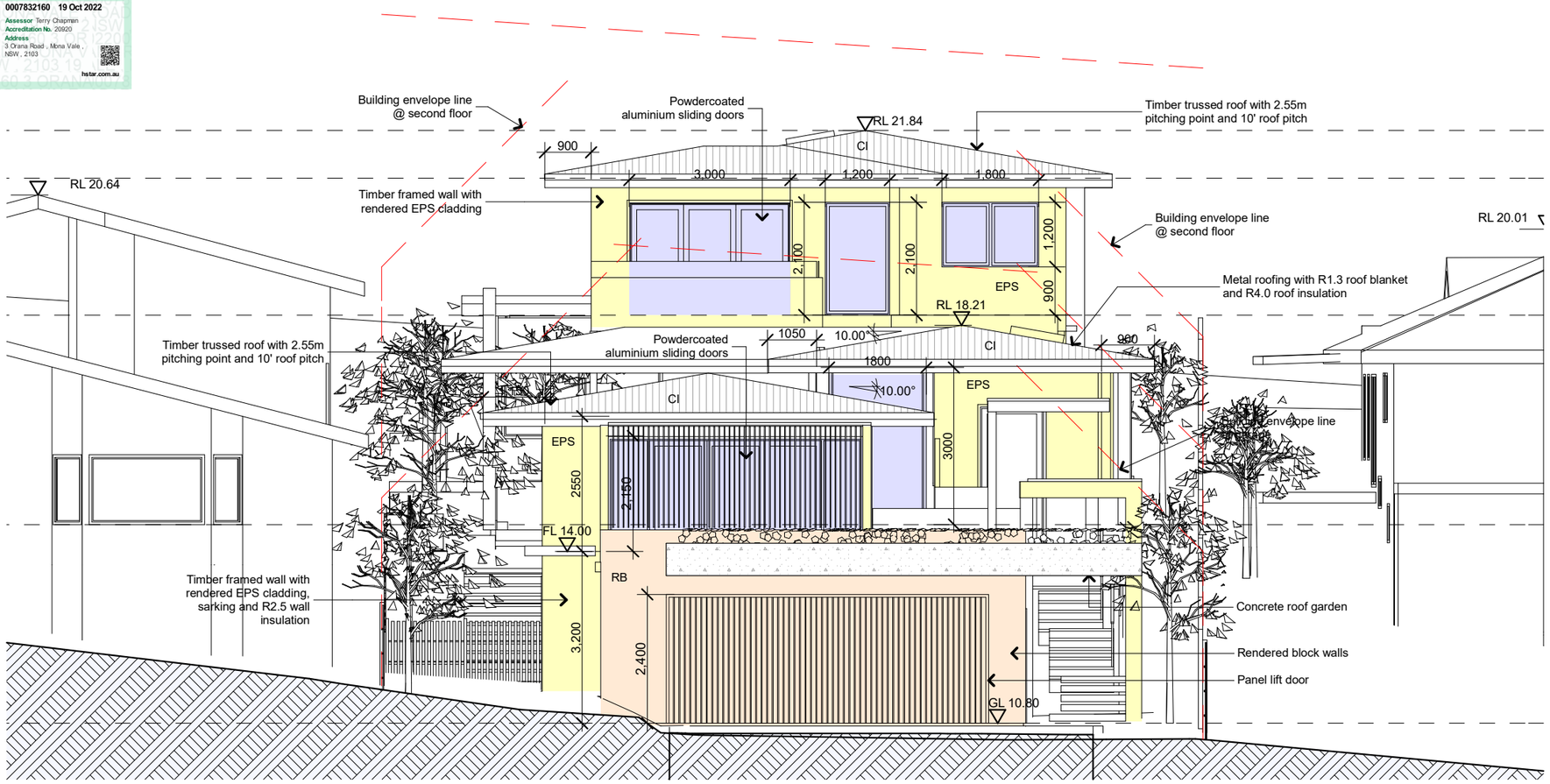
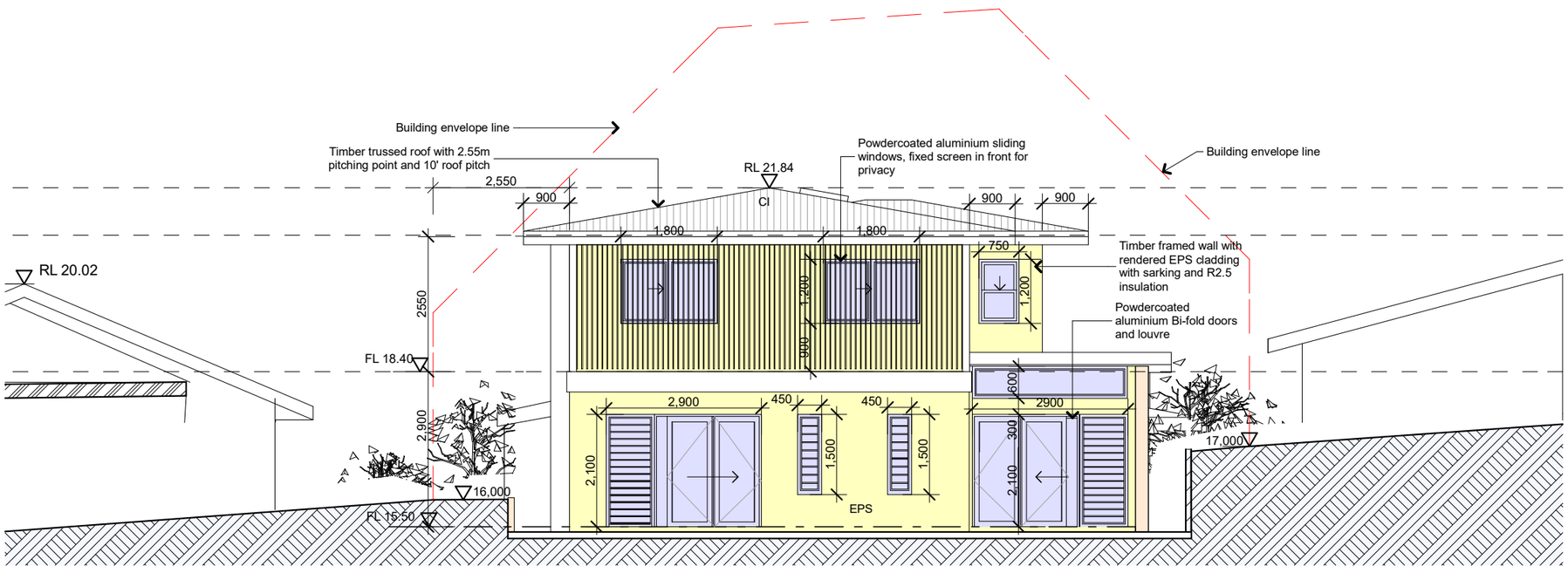


3 West (Street) Elevation 1:100



3 East Elevation 1:100

A -	DA Amendment	11.10.22

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Client
S & J Halpin
Project Name
Halpin House and Pool
3 Orana Rd Mona Vale
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SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
West (Street) Elevation, East Elevation

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA05** -A
	Plot Date: 13/10/2022

length in millimeters at full size

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Assessor Terry Chapman
Accreditation No. 20920
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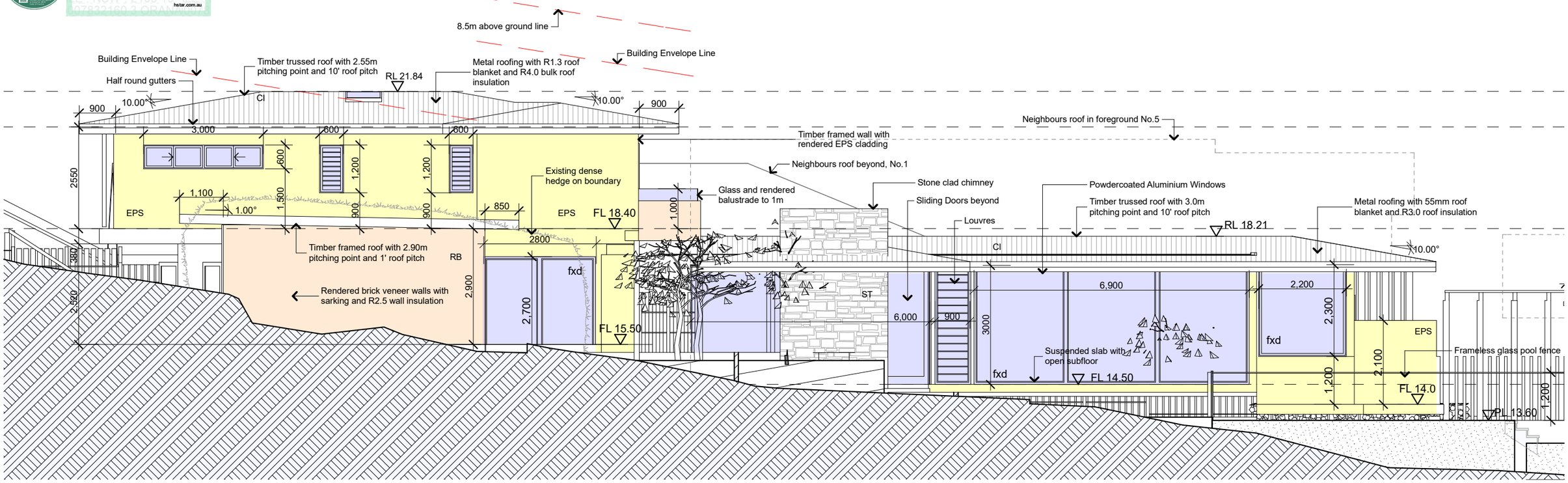
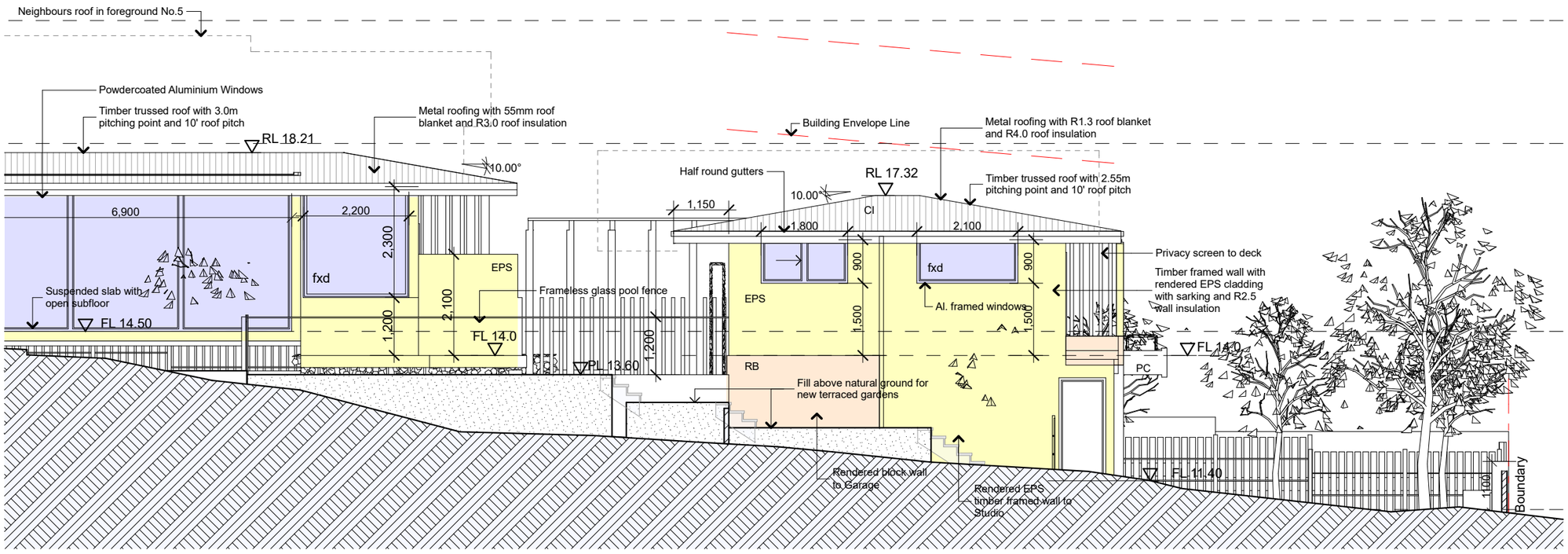
hstar.com.au



1 North Elevation 1:100



3 North Elevation 1:100

A - DA Amendment 11.10.22

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0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
North Elevation

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA06** -A
Plot Date:	11/10/2022

length in millimeters at full size

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Accreditation No. 20920
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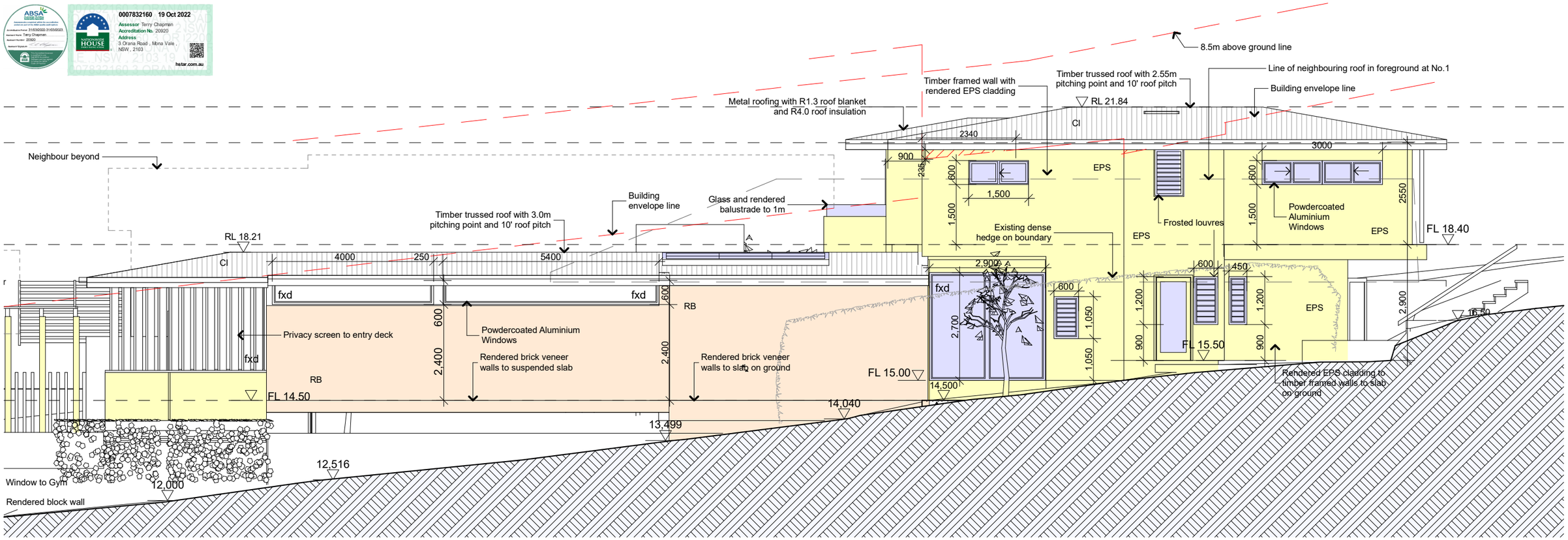
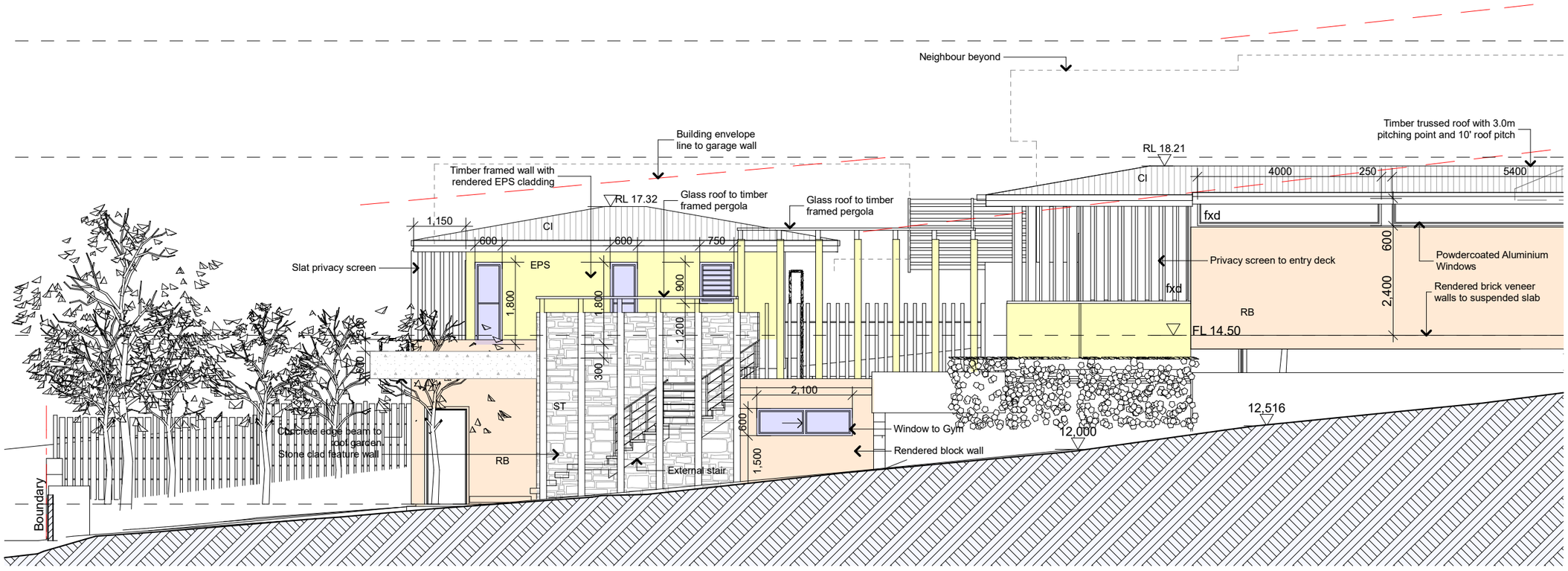


1 South Elevation 1:100



3 South Elevation 1:100

A -	DA Amendment 11.10.22

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Client
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Project Name
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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Elevations - Elevations
South Elevation

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA07** -A
	Plot Date: 13/10/2022

length in millimeters at full size

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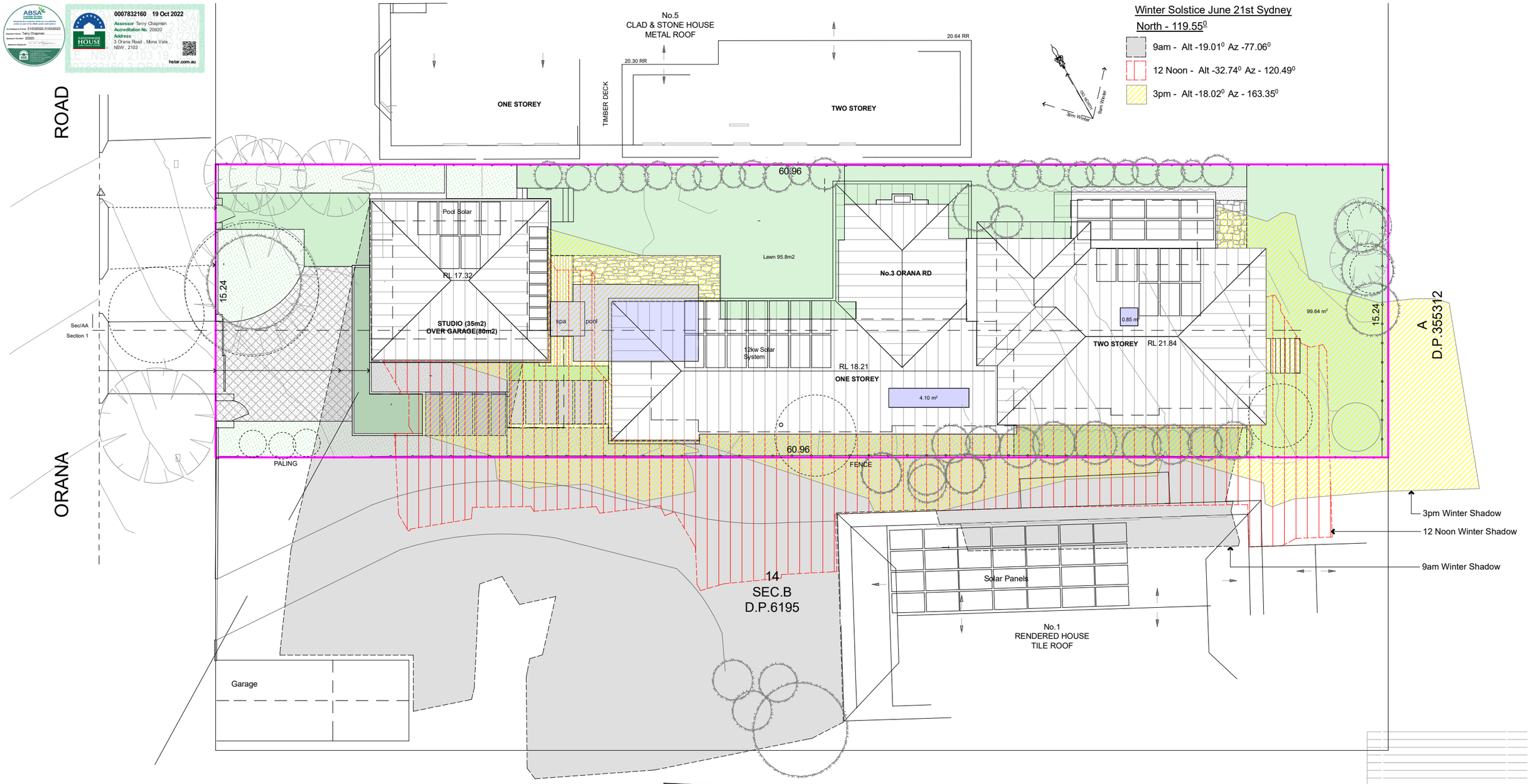
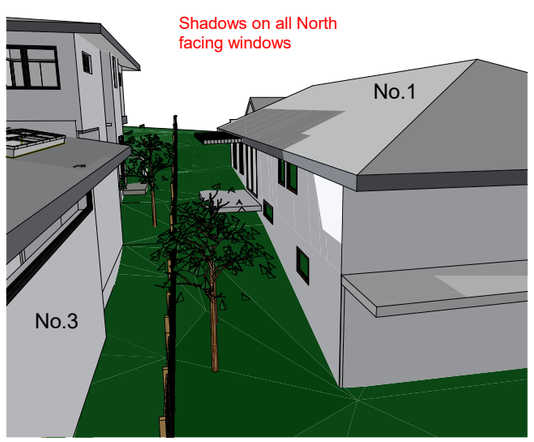
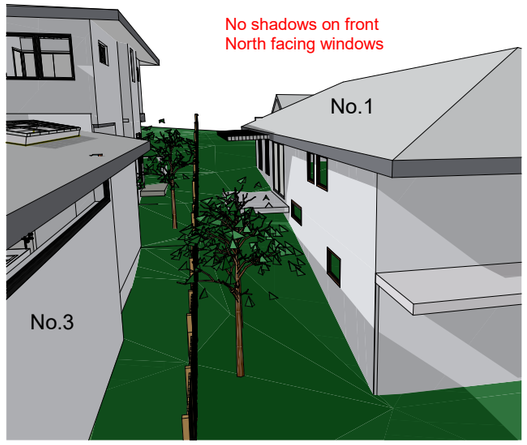
Assessor Terry Chapman
Accreditation No. 20920
Address 3 Orana Road , Mona Vale , NSW , 2103
hstar.com.au



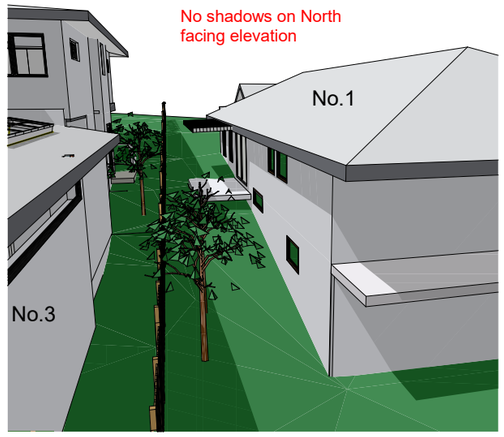
3 Winter Shadows
1:200



3 9am Winter Shadow



3 12 Noon Winter Shadow



4 3pm Winter Shadow

A - DA Amendment 11.10.22

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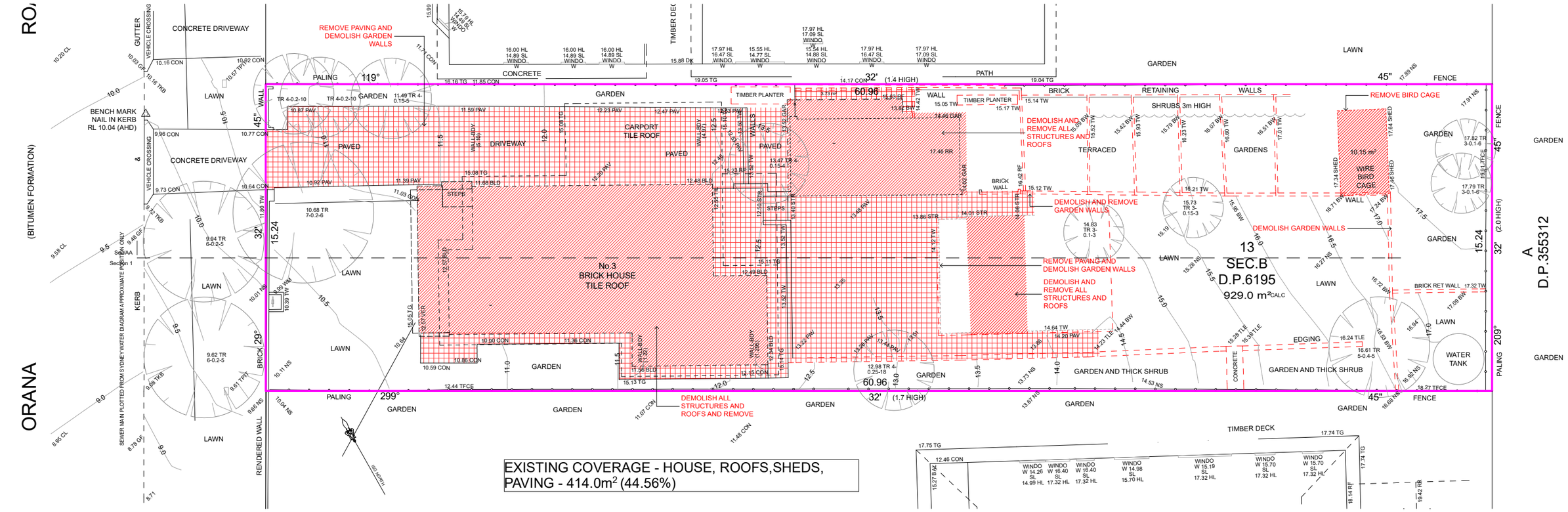
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Sunstudy - Winter Solstice Shadow Diagram
Winter Shadows, 3pm Winter Shadow, 12 Noon Winter Shadow, 9am Winter Shadow

Scale: as noted	Date: 11.10.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA08** -A
Plot Date: 13/10/2022	

length in millimeters at full size



3 Demolition Plan
1:200

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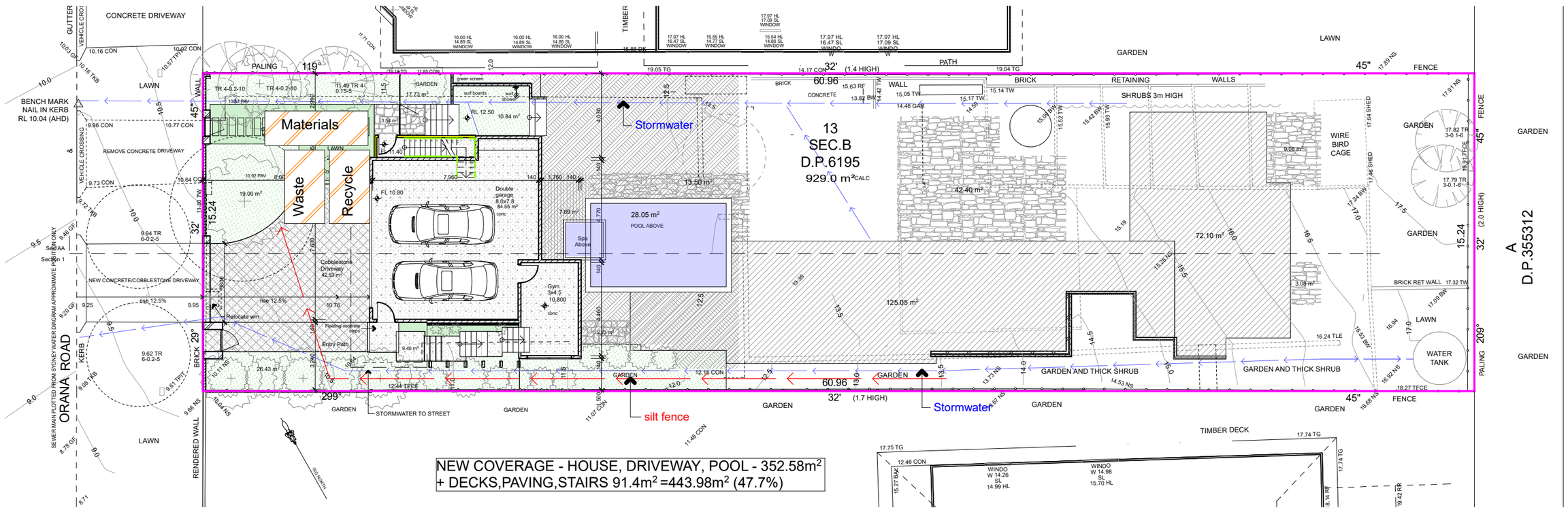
3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Details - Demolition Plan
Demolition Plan

Scale: as noted	Date: 10.06.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA09**
Plot Date:	12/07/2022

length in millimeters at full size

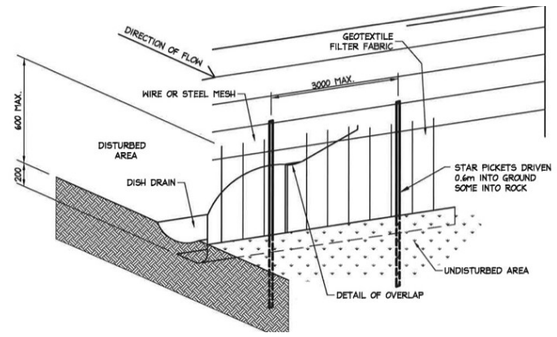


1 Stormwater and Site Management
1:200

Polution Prevention

Use the following measures to prevent pollution on site;

1. restrict access to one stable entry and exit point
2. install and maintain adequate sediment and erosion controls
3. preserve grassed area and the maximum cover of natural vegetation by minimising the amount of land disturbed.
4. ensure that stockpiles of sand, gravel, soil, and similar materials are located so that the material doesn't spill onto the road or pavement, wash into drainage lines, watercourses or depressions.
5. minimise on site vehicle activity during wet weather
6. Do not pump or allow any unclean water to enter the stormwater system from excess materials or cleaning tools.
7. Sediment fences are to be laid along the contour as much as possible and are to be of suitable geotextile fabric and supported every three metres with star pickets and a lower trench depth of 150mm



4 Silt fence

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3 Orana Rd Mona Vale
2103

SITE SPECIFIC DESIGNS
Sheralee Hogan B.Sc(Arch) B.(Arch) U.Syd
0416 954 635 sheralee.ssd@bigpond.com

Drawing Title:
Details - Sediment and Erosion Plan
Stormwater and Site Management, Silt fence, pollution

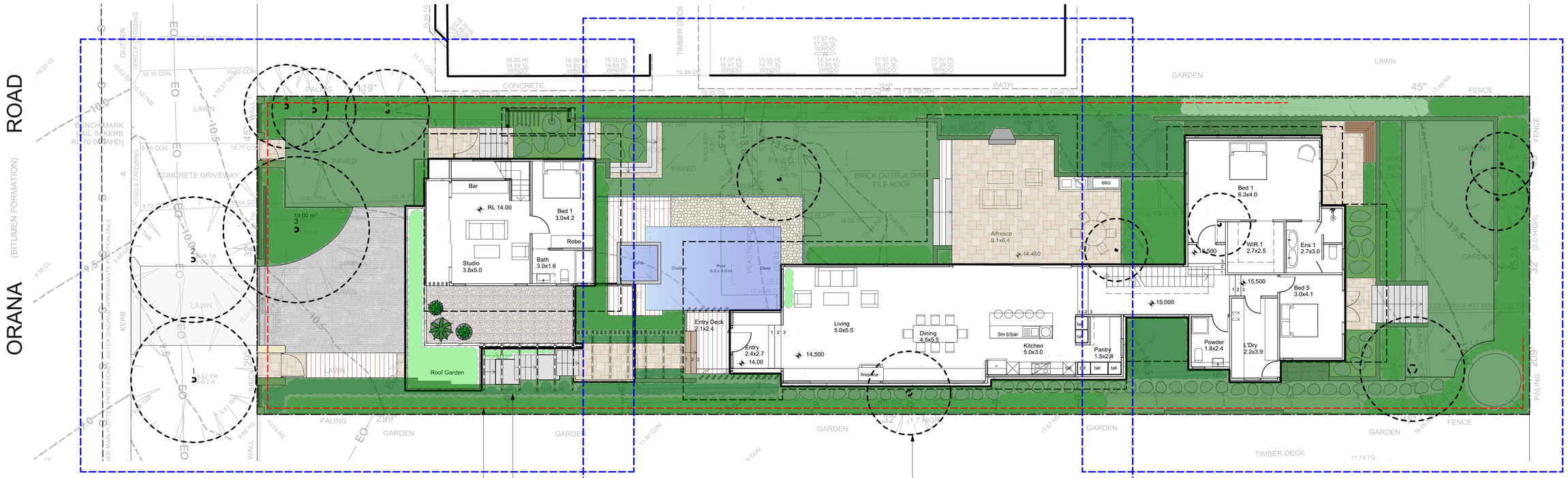
Scale: As noted	Date: 10.06.22
Status: DA	Checked By: SH
Project No: **2022 02**	Drawing No.: **DA10**

Plot Date: 12/07/2022

length in millimeters at full size

Master Landscape Plan

1:100@A1 1:200@A3. Do not scale off plan



See Detail Plan on Sht-103

See Detail Plan on Sht-104

See Detail Plan on Sht-105

Red dashed line indicates sedimentation control fence to be implemented throughout construction to appropriate standard

Green shaded area indicates compliant landscape area

All existing trees onsite are to be removed. All trees are exempt from the TPO.

Legend

- MULCH AREA
- TURF AREA
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- UNIT PAVING
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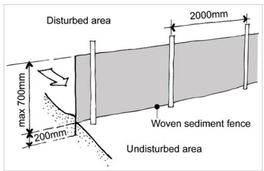
Existing Tree Table

Number	Name	Action
1	Callistemon	Remove
2	Callistemon	Remove
3	Macadamia	Remove
4	Palm	Remove
5	Palm	Remove
6	Palm	Remove

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	929	
Landscape total as per DCP	456.87	49.18%



Sedimentation Control Fence
Not to scale.
Source: www.yourhome.gov.au

ISSUE	DATE	REVISION
C	05/07/22	Issue for DA.
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JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

PROJECT	3 Orana Road, Mona Vale		PROJECT # 22101
CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-101
DWG	Master Landscape Plan	DRAWN RAR	
		CHKD JK	REVISION

Jamie King Landscape Architect
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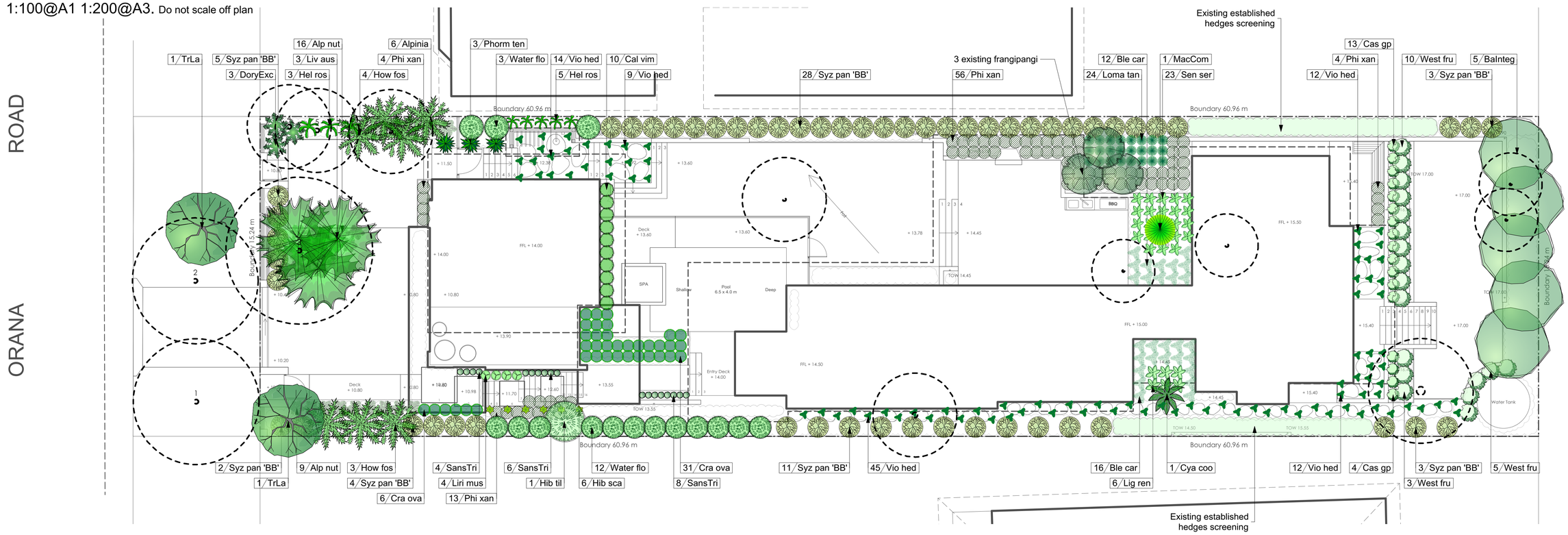
Planting Plan

1:100@A1 1:200@A3. Do not scale off plan



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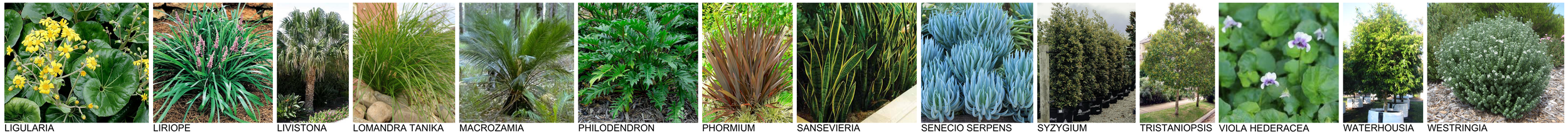
ALPINIA NUTANS | ALPINIA | BANKSIA | BLECHNUM | CALLISITEMON | CASUARINA | CRASSULA | CYATHEA | DORYANTHES | HELICONIA | HIBBERTIA SCANDENS | HIBISCUS RUBRA | HOWEA



LIGULARIA | LIRIOPE | LIVISTONA | LOMANDRA TANIKA | MACROZAMIA | PHILODENDRON | PHORMIUM | SANSEVIERIA | SENECIO SERPENS | SYZYGIUM | TRISTANIOPSIS | VIOLA HEDERACEA | WATERHOUSIA | WESTRINGIA

ID	Quantity	Latin Name	Common Name	Scheduled Size	Mature Height	Mature Spread
Alp nut	25	Alpinia nutans	Dwarf cardamom	200mm	0.9 - 1.5m	0.9 - 1.2m
Alpinia	6	Alpinia zerumbet 'Variegated'	Ginger	200mm	0.9 - 1.5m	0.9 - 1.2m
BaInteg	5	Banksia integrifolia	Coastal Banksia	25lt	15m	3.5 - 6m
Ble car	28	Blechnum cartilagineum	Gristle Fern	200mm	0.0 - 0.3m	0.5m
Cal vim	10	Callistemon viminalis 'slim'	Narrow Bottlebrush	150mm	0.9 - 1.5m	0.9 - 1.2m
Cas gp	17	Casuarina glauca prostrate	Swamp Oak	200mm	0.3m	0.3m
Cra ova	37	Crassula ovata	Jade plant	200mm	0.5m	0.5m
Cya coo	1	Cyathea cooperi	Rough Tree Fern	200mm	5 - 10m	6 - 10m
DoryExc	3	Doryanthes excelsa	Gymea Lily, Giant Lily	25lt	1.5 - 3m	1.2 - 2.0m
Hel ros	8	Heliconia rostrata	Heliocnia	200mm	3m	1m
Hib sca	6	Hibbertia scandens	Golden Guinea Flower	150mm	0.0 - 0.3m	3.5 - 6m
Hib til	1	Hibiscus tiliaceus rubra	Cottonwood	25lt	5 - 10m	3.5 - 6m
How fos	7	Howea fosteriana	Kentia Palm	45lt	5 - 10m	3.5 - 6m
Lig ren	6	Ligularia reniformis	Tractor Seat Plant	200mm	1m	1.5m
Liri mus	4	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lilyturf	150mm	0.45 - 0.6m	0.3 - 0.6m
Liv aus	3	Livistona australis	Cabbage-tree Palm	25lt	15 - 20m	6 - 10m
Loma tan	24	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	150mm	0.45 - 0.6m	0.6 - 0.9m
MacCom	1	Macrozamia communis	Burrawang	200mm	0.5 - 1m	1m
Phi xan	77	Philodendron 'Xanadu'	Xanadu	200mm	0.8m	1 - 1.2m
Phorm ten	3	Phormium tenax	New Zealand Flax	200mm	1.5 - 3m	1.2 - 2.0m
SansTri	18	Sansevieria trifasciata	Mother in law toung	200mm	0.3m	0.8m
Sen ser	23	Senecio serpens	Blue Chalksticks	200mm	0.3m	0.5m
Syz pan 'BB'	56	Syzygium paniculatum 'Backyard Bliss'	Lillypilly 'Backyard Bliss'	200mm	5 - 10m	6 - 10m
TrLa	2	Tristaniopsis laurina	Kanooka, Water Gum	45lt	15m	5m
Vio hed	92	Viola hederacea	Native Violet	100mm	0.0 - 0.3m	1.2 - 2.0m
Water flo	15	Waterhousia floribunda	Weeping Lilly Pilly	45lt	5 - 10m	3.5 - 6m
West fru	18	Westringia fruticosa	Coastal Rosemary	150mm	0.9 - 1.5m	0.9 - 1.2m

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A	27/04/22	DRAFT issue for review.

JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

PROJECT	3 Orana Road, Mona Vale		PROJECT # 22101
CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-102
DWG	Planting Plan	DRAWN RAR	
		CHKD JK	REVISION

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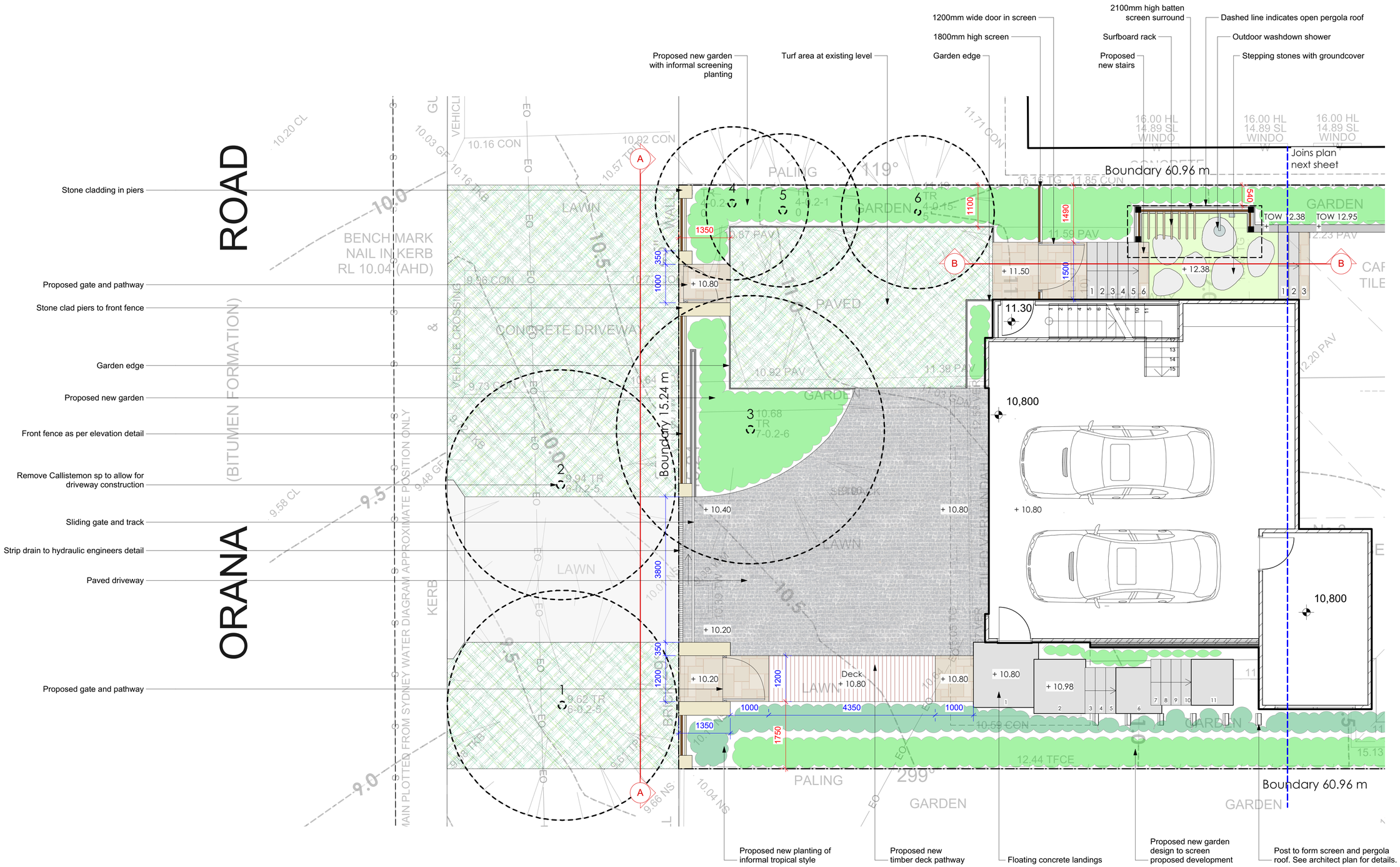
Front Yard Detail Plan

1:50@A1 1:100@A3. Do not scale off plan



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CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-103
DWG	Front Yard Detail Plan	DRAWN RAR	
		CHKD JK	REVISION

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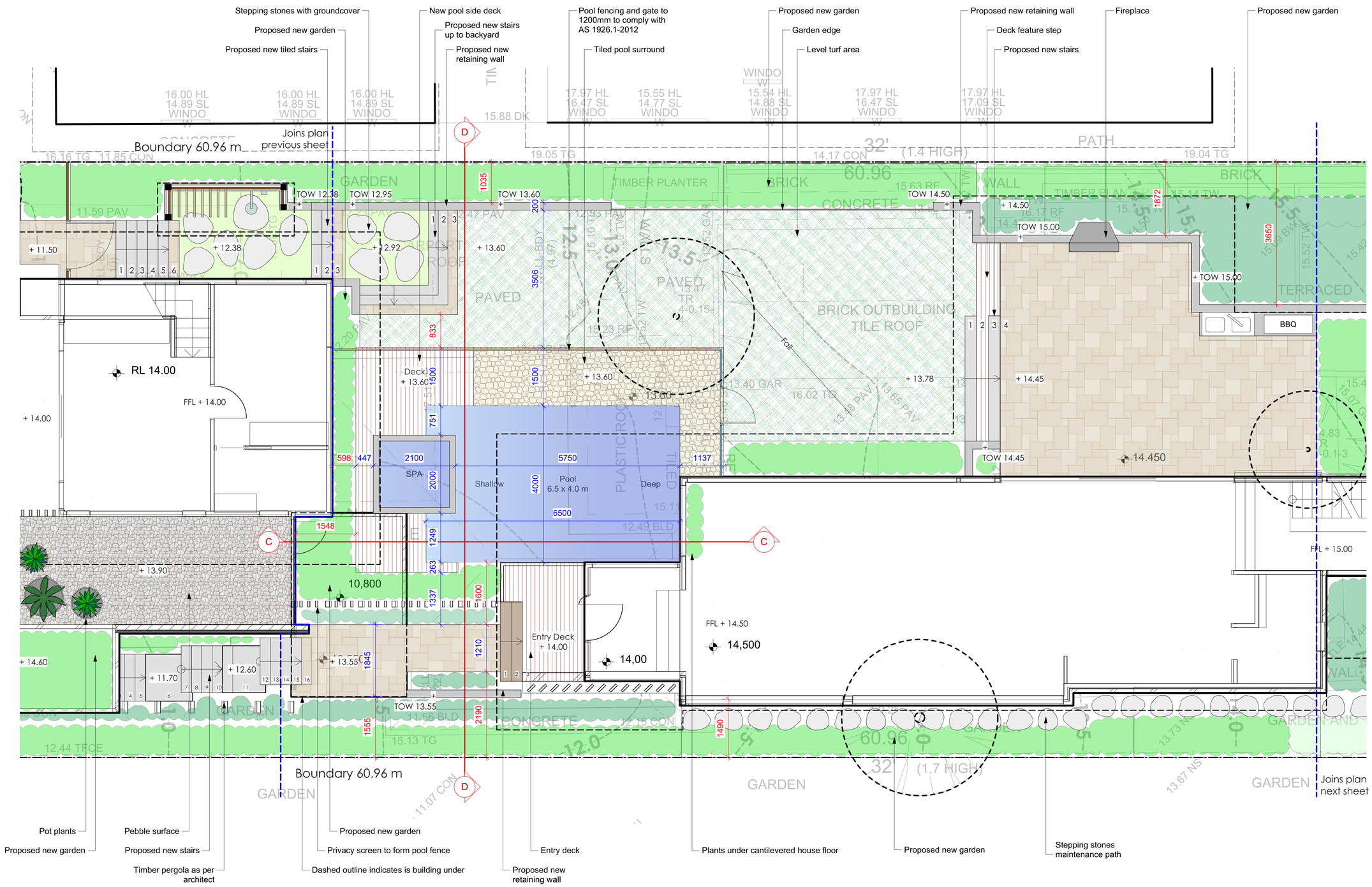
Middle Yard Detail Plan

1:50@A1 1:100@A3. Do not scale off plan



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CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-104
DWG	Middle Yard Detail Plan	DRAWN RAR	
		CHKD JK	REVISION

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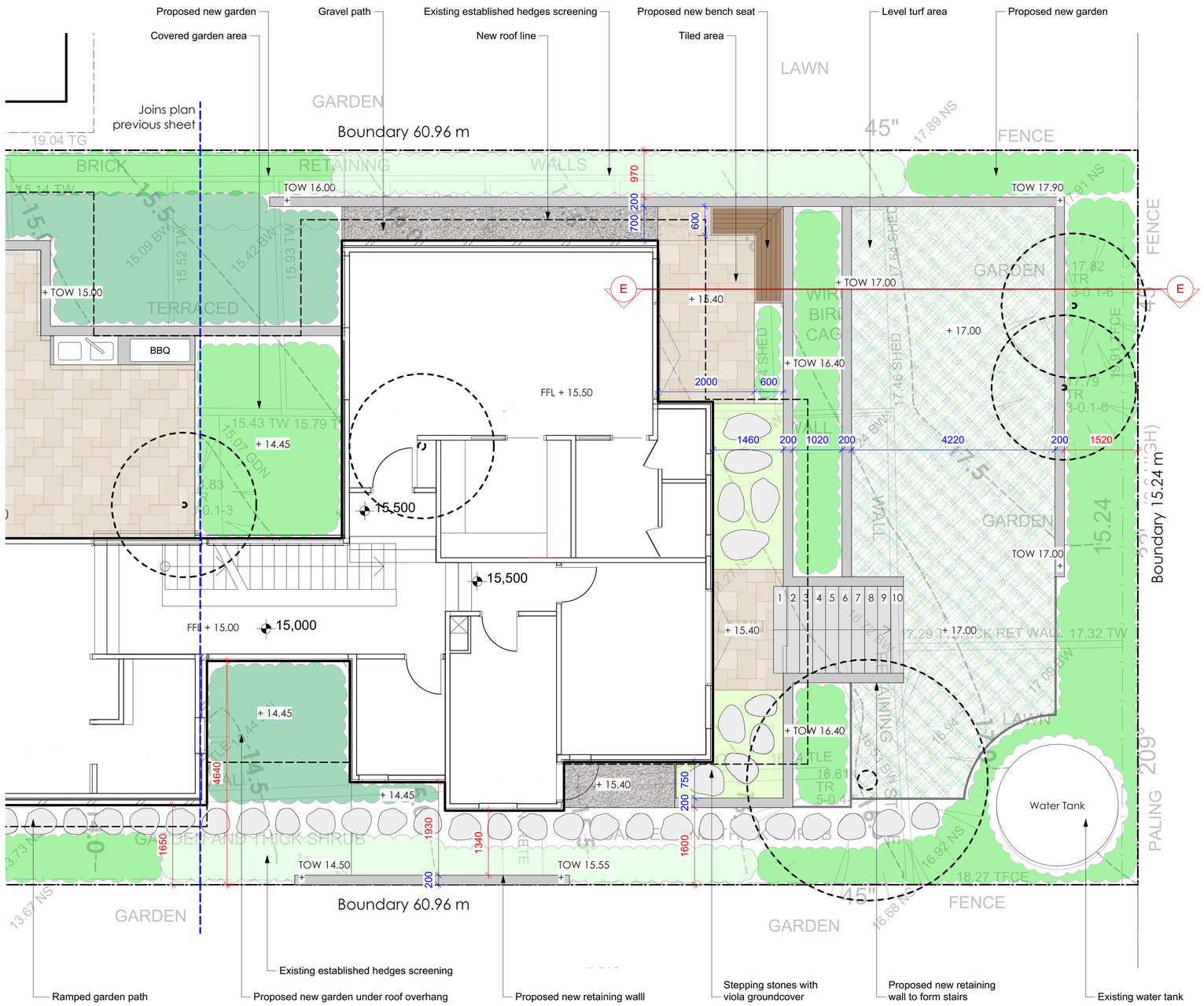
Upper Backyard Detail Plan

1:50@A1 1:100@A3. Do not scale off plan



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PROJECT	3 Orana Road, Mona Vale		PROJECT # 22101
CLIENT	S & J Halpin	DATE # See above	DWG # Sht-105
		SCALE @ A1 See Plan	
DWG	Upper Backyard Detail Plan	DRAWN RAR	
		CHKD JK	REVISION

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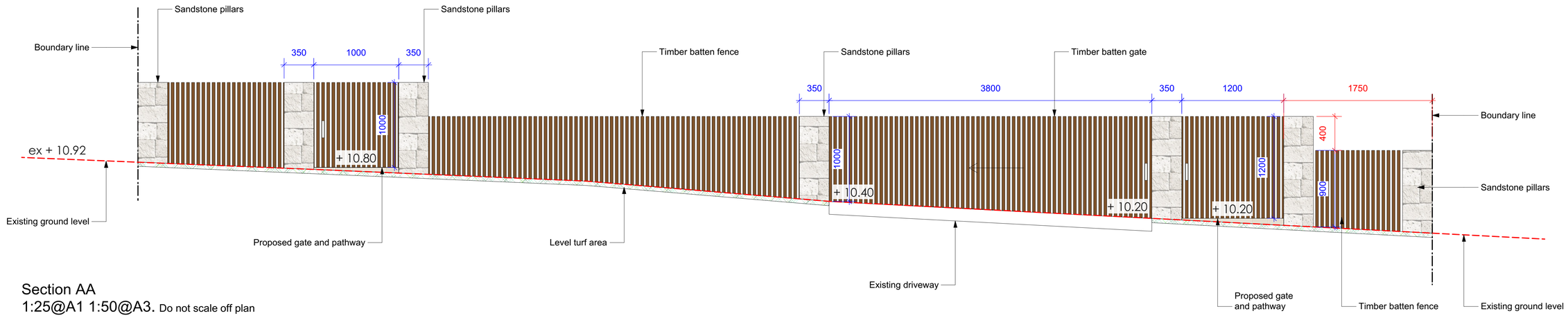

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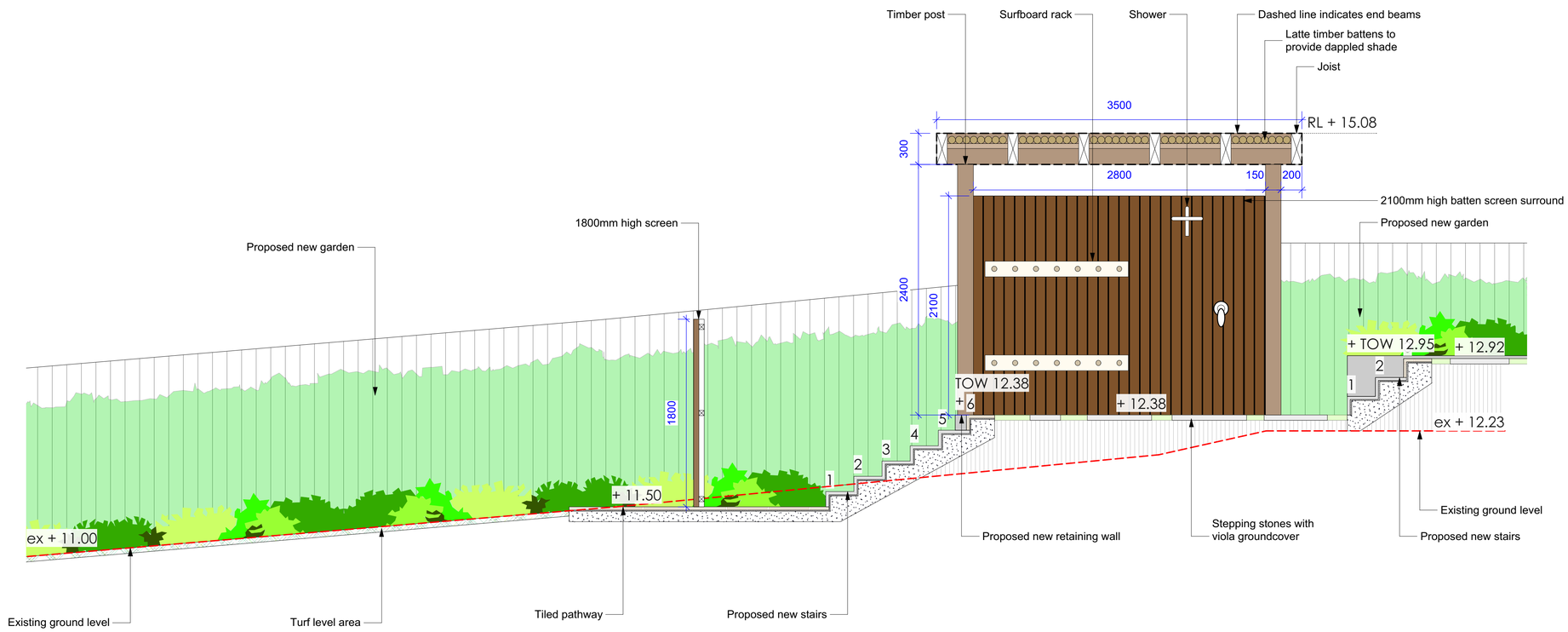

Section BB
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PROJECT	3 Orana Road, Mona Vale		PROJECT # 22101
CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-106
DWG	Sections	DRAWN RAR	
		CHKD JK	REVISION

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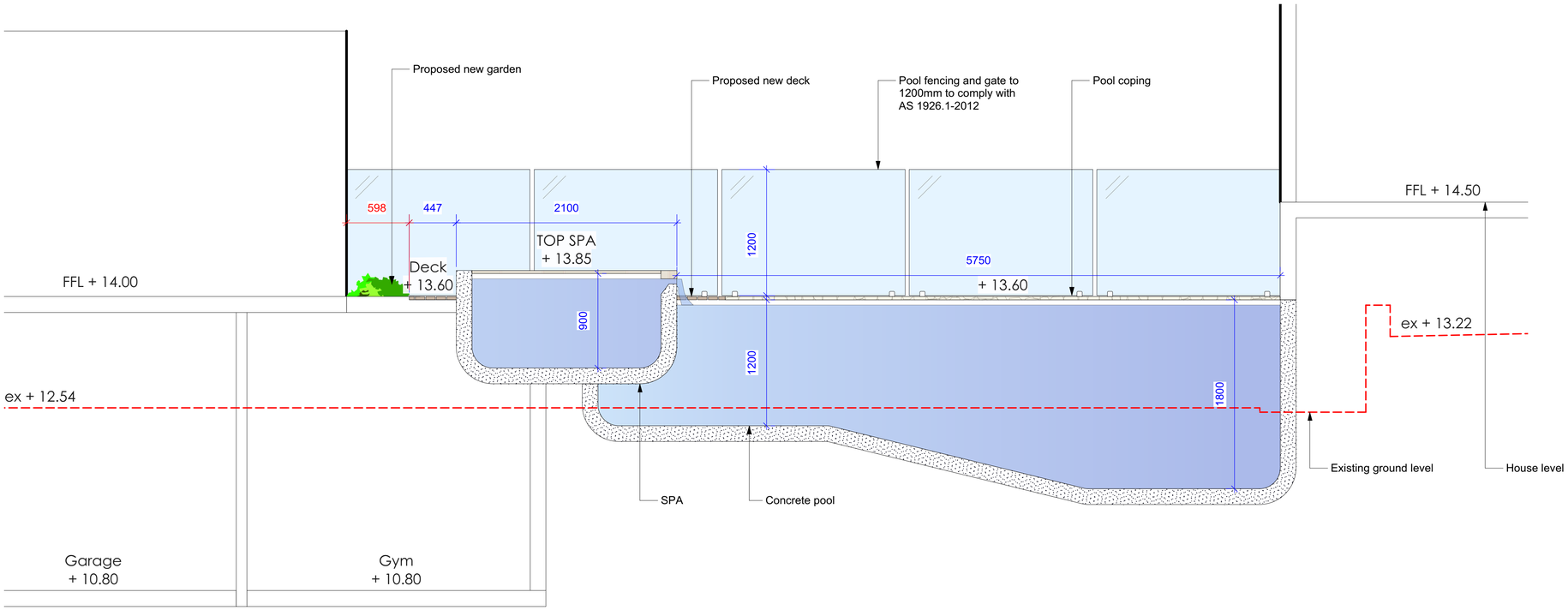

Section CC
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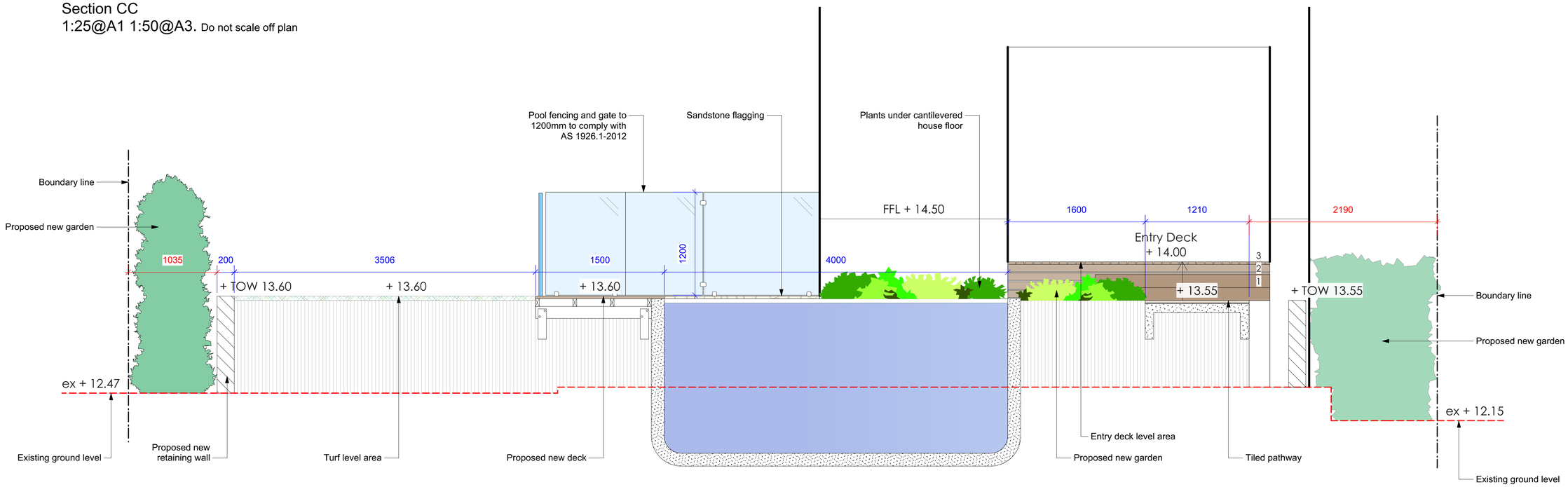

Section DD
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CLIENT	S & J Halpin	DATE # See above	DWG # Sht-107
		SCALE @ A1 See Plan	
DWG	Sections	DRAWN RAR	
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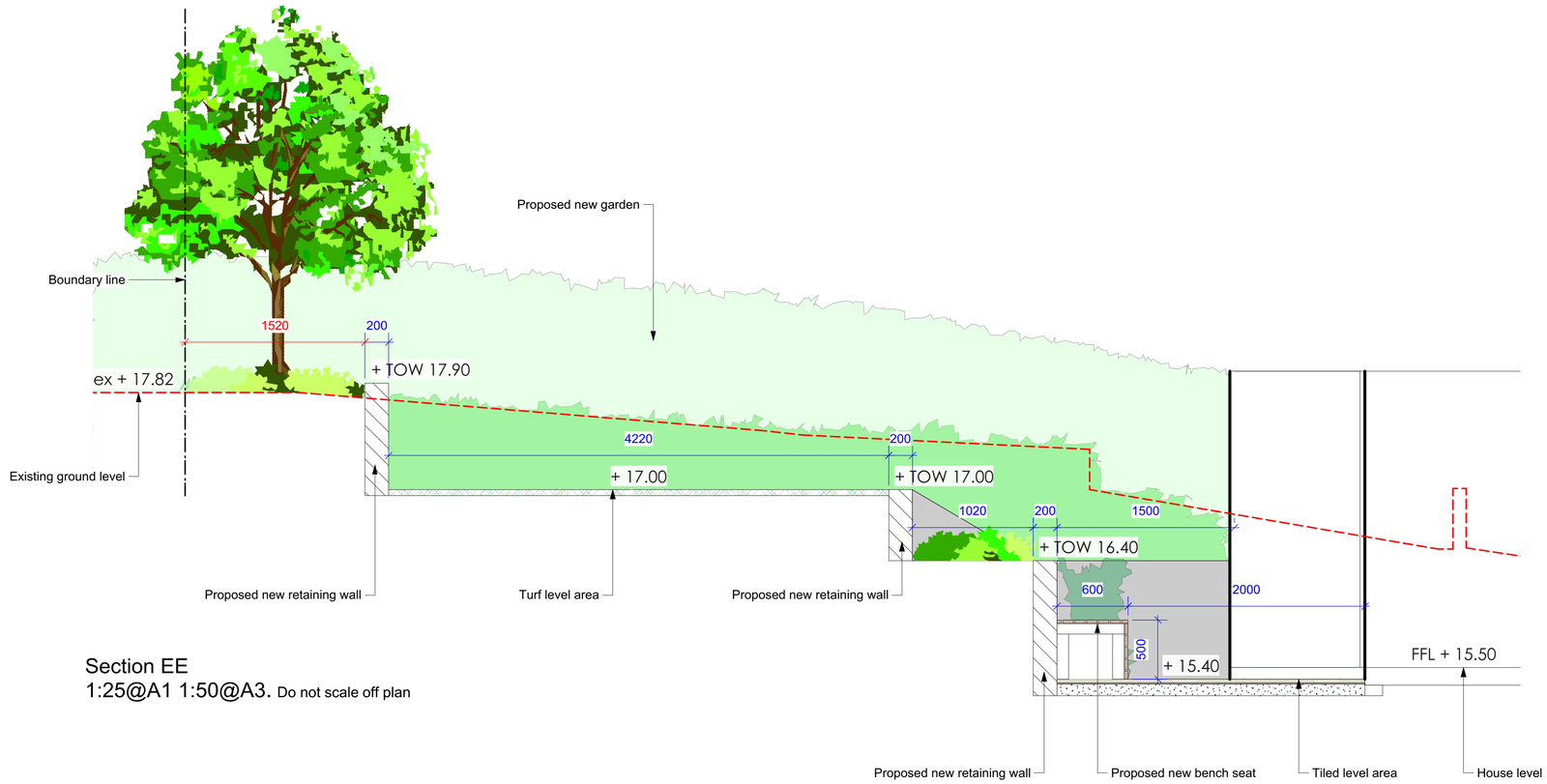

Section EE
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CLIENT	S & J Halpin	DATE # See above	DWG #
		SCALE @ A1 See Plan	Sht-108
DWG	Sections	DRAWN RAR	
		CHKD JK	REVISION

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