

SECTION 4.55 APPLICATION
33 UPPER CLIFFORD AVENUE
LOT C DP 102834 FAIRLIGHT
DA166/2015

QUATTRO PROJECT NUMBER 18-0505

S4.55 APPLICATION DRAWING LIST

DA-A-000 COVER PAGE
DA-A-050 SITE PLAN
DA-A-098 LOWER TERRACE
DA-A-099 LOWER GROUND
DA-A-100 GROUND FLOOR
DA-A-101 LEVEL 1
DA-A-102 ROOF PLAN
DA-A-200 ELEVATIONS - SHEET 1
DA-A-201 ELEVATIONS - SHEET 2
DA-A-800 BASIX CETIFICATE

MANLY COUNCIL

DEVELOPMENT CONSENT DA-166/2015
NORTHERN BEACHES COUNCIL
DEVELOPMENT MODIFICATION MOD2018/0715
BASIX CERTIFICATE No A336197_03



Notes

Rev. No.	Date	Revision	Auth'd
A	6/3/20	FOR REVIEW	LB
B	10/3/20	FOR COORDINATION	LB
C	30/3/20	FOR COORDINATION	LB

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Registered Architect - 2384
Tim Zuber

Project

S4.55 APPLICATION
ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT

Drawing title

COVER SHEET

Scale at A1 1:30
Scale at A3 1:100
0mm 500 1m 2.5 4

Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By PH Checked By PH
Project Number Drawing Number Rev

18-0505 DA-A-000 C

S4.55
APPLICATION

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- SITE**
1. REMOVE COURTYARD STAIR ACCESS
 2. MINOR INCREASE TO COURTYARD CANOPY
 3. REMOVE EXISTING COURTYARD PALM TREES
 4. MINOR CHANGE TO TERRACE LAYOUT
 5. ADDITIONAL ZONE OF SOFTSCAPING
 6. REDESIGN OF LANDSCAPE
 7. MINOR CHANGE TO STAIR LIGHT WELL
 8. UPDATE ROOF DESIGN TO COMPLY WITH PREVIOUS S4.55 CONDITIONS - REMOVE PART OF PARAPET

PROPOSED LANDSCAPING DATA

	AREA
SITE AREA	905.8m²
LANDSCAPING REQUIREMENTS	
TOTAL OPEN SPACE	59% 541.4m ²
LANDSCAPE AREA	57% 311.7m ²
OPEN SPACE ABOVE GROUND	8.2% 44.9m ²

Notes

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ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title

SITE PLAN

Scale at A1 1:100

Scale at A3 1:200

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Drawn By

PJH

Checked By

PH

Project Number

18-0505

Drawing Number

DA-A-050

Rev

C

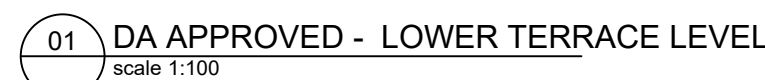
**S4.55
APPLICATION**

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01 DA APPROVED - SITE PLAN
scale 1:100

02 S4.55 - SITE PLAN
scale 1:100

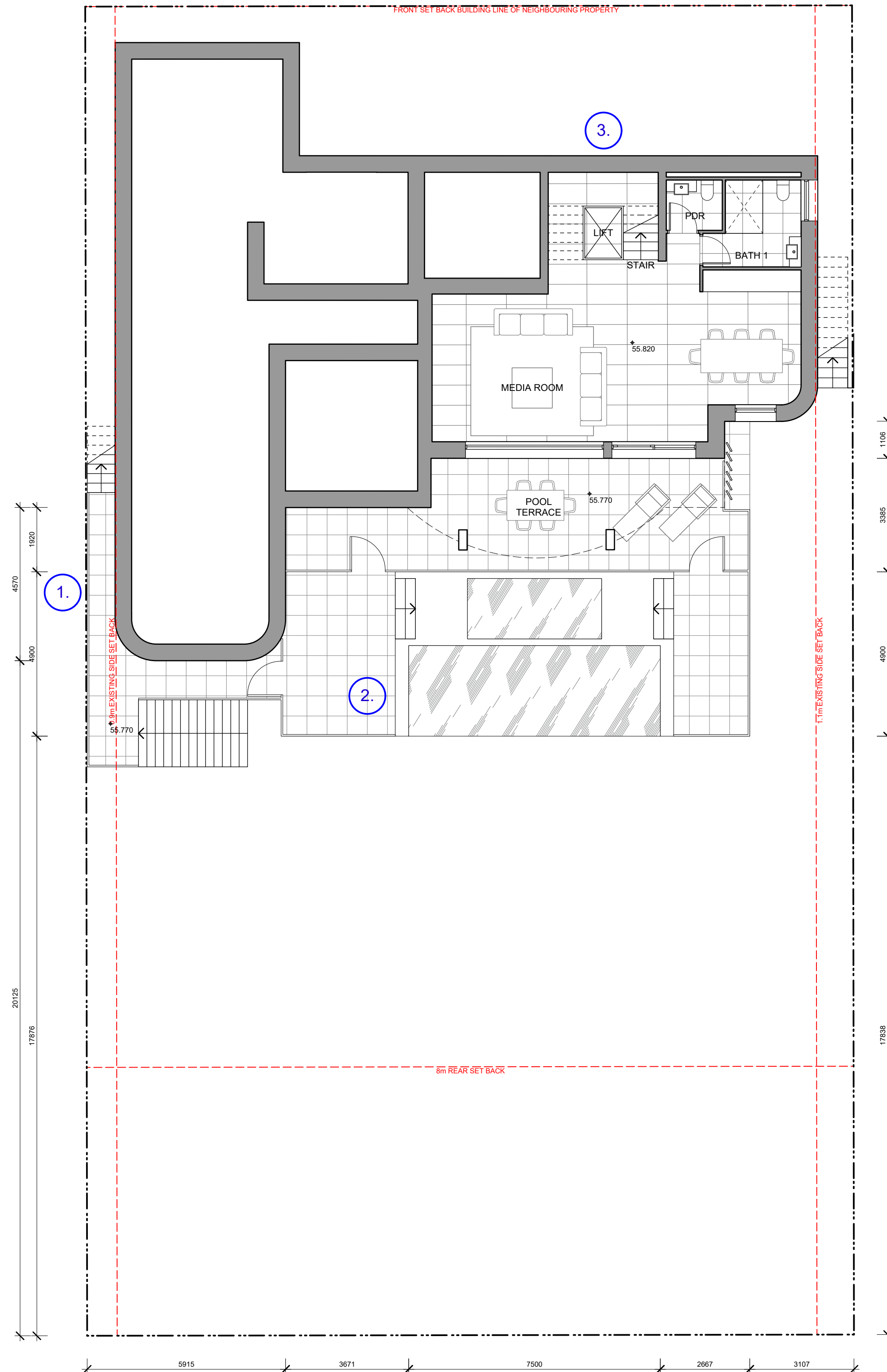
1. ADDITION OF LEVEL CHANGE TO TERRACE PATHWAY
2. MINOR CHANGE TO RETAINING WALL
3. ADDITIONAL ZONE OF SOFTSCAPING



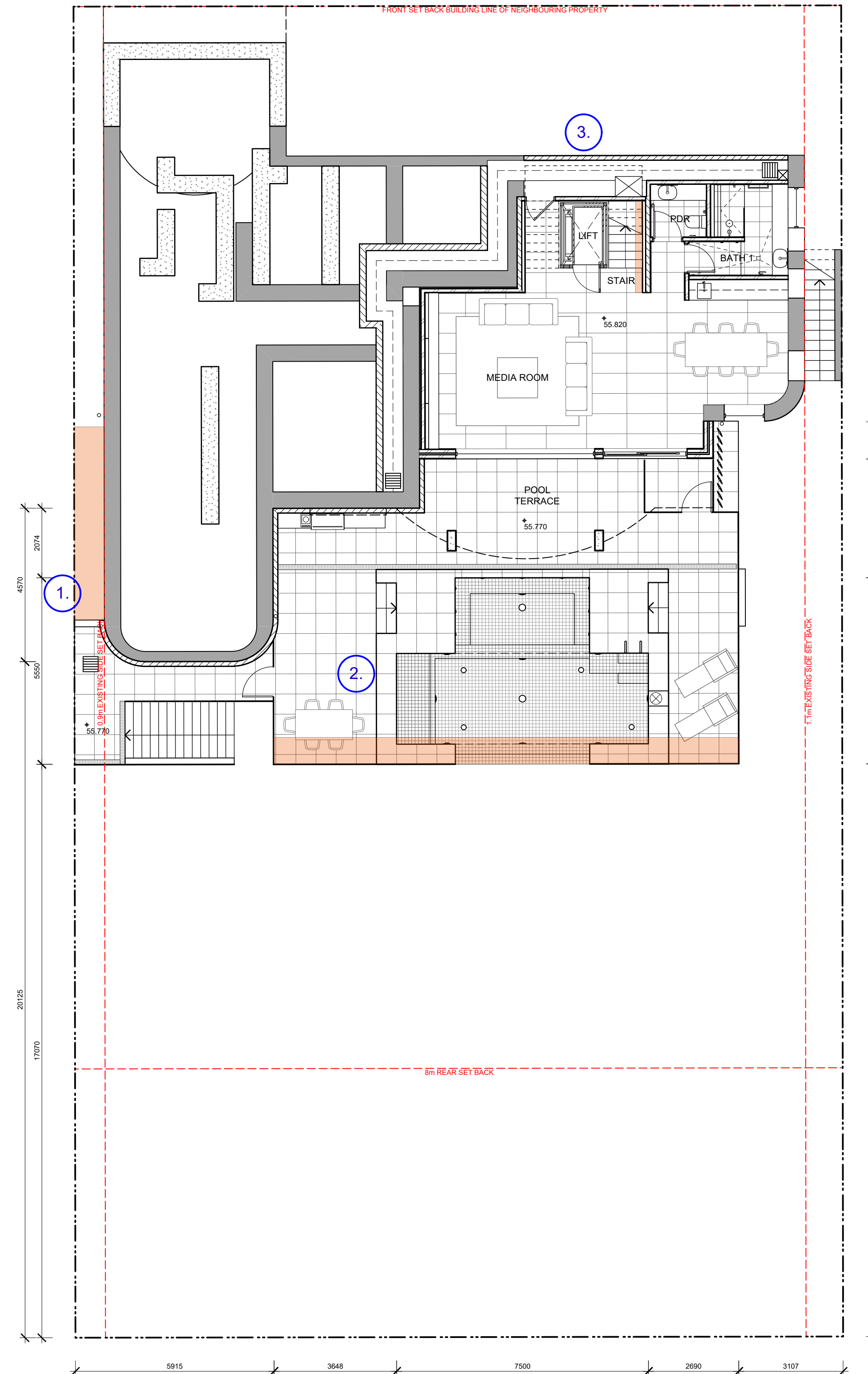
LOWER GROUND / POOL TERRACE

1. REMOVE WESTERN STAIR ACCESS
2. MINOR CHANGE TO POOL TERRACE DESIGN
3. REVISED INTERNAL STAIRCASE CONFIGURATION

- LOWER GROUND / POOL TERRACE**
1. REMOVE WESTERN STAIR ACCESS
 2. MINOR CHANGE TO POOL TERRACE DESIGN
 3. REVISED INTERNAL STAIRCASE CONFIGURATION



01 DA APPROVED - LOWER GROUND / POOL TERRACE
scale 1:100



02 S4.55 - LOWER GROUND / POOL TERRACE
scale 1:100



1

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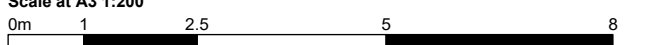
Project

**S4.55 APPLICATION
ADDITIONS & ALTERATIONS
33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title

LOWER LEVEL PLAN

Scale at A1 1:100
Scale at A3 1:200



Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By
PJH

Checked By
PH

Project Number

Drawing Number

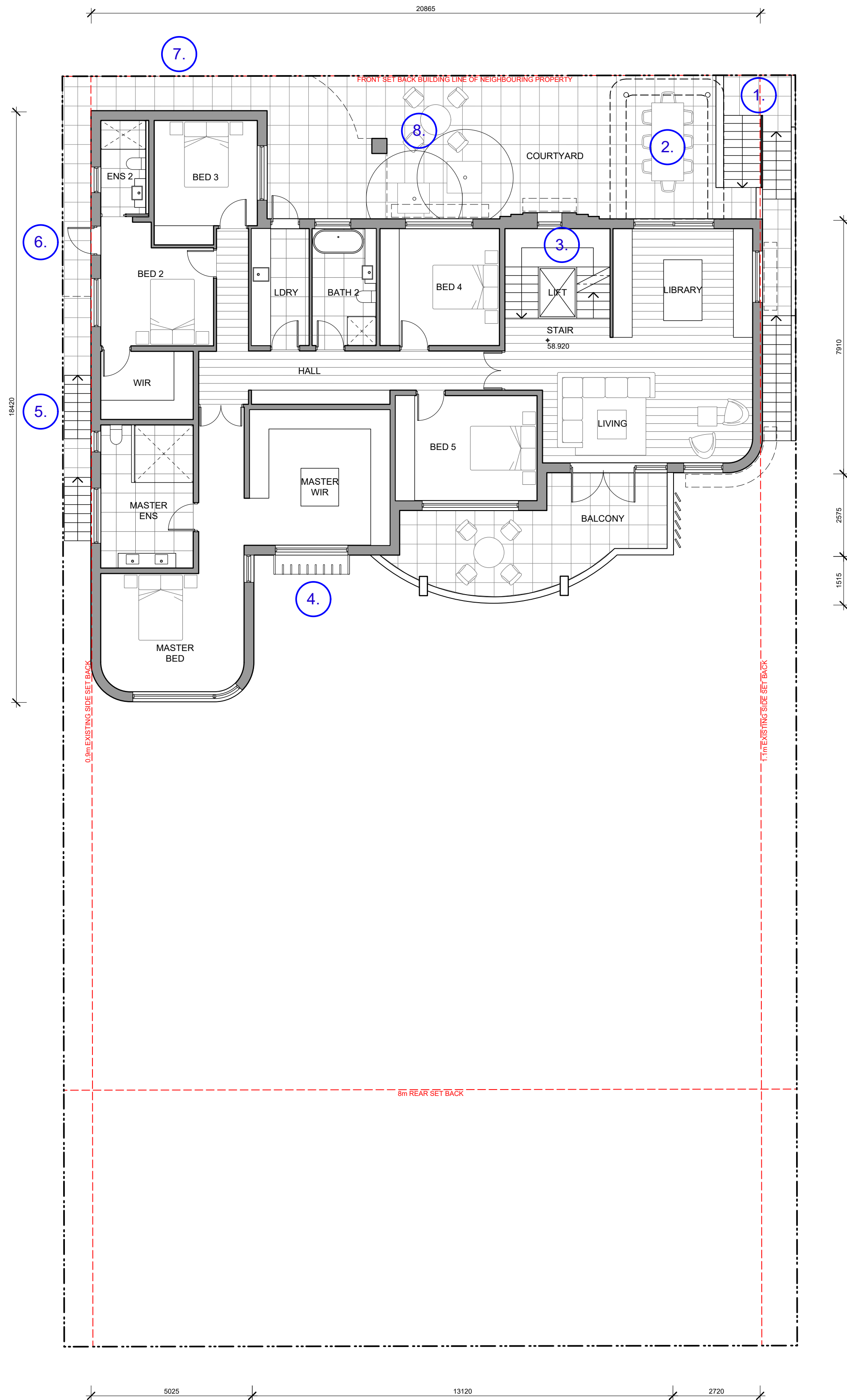
18-0505 DA-A-099 C

S4.55 APPLICATION

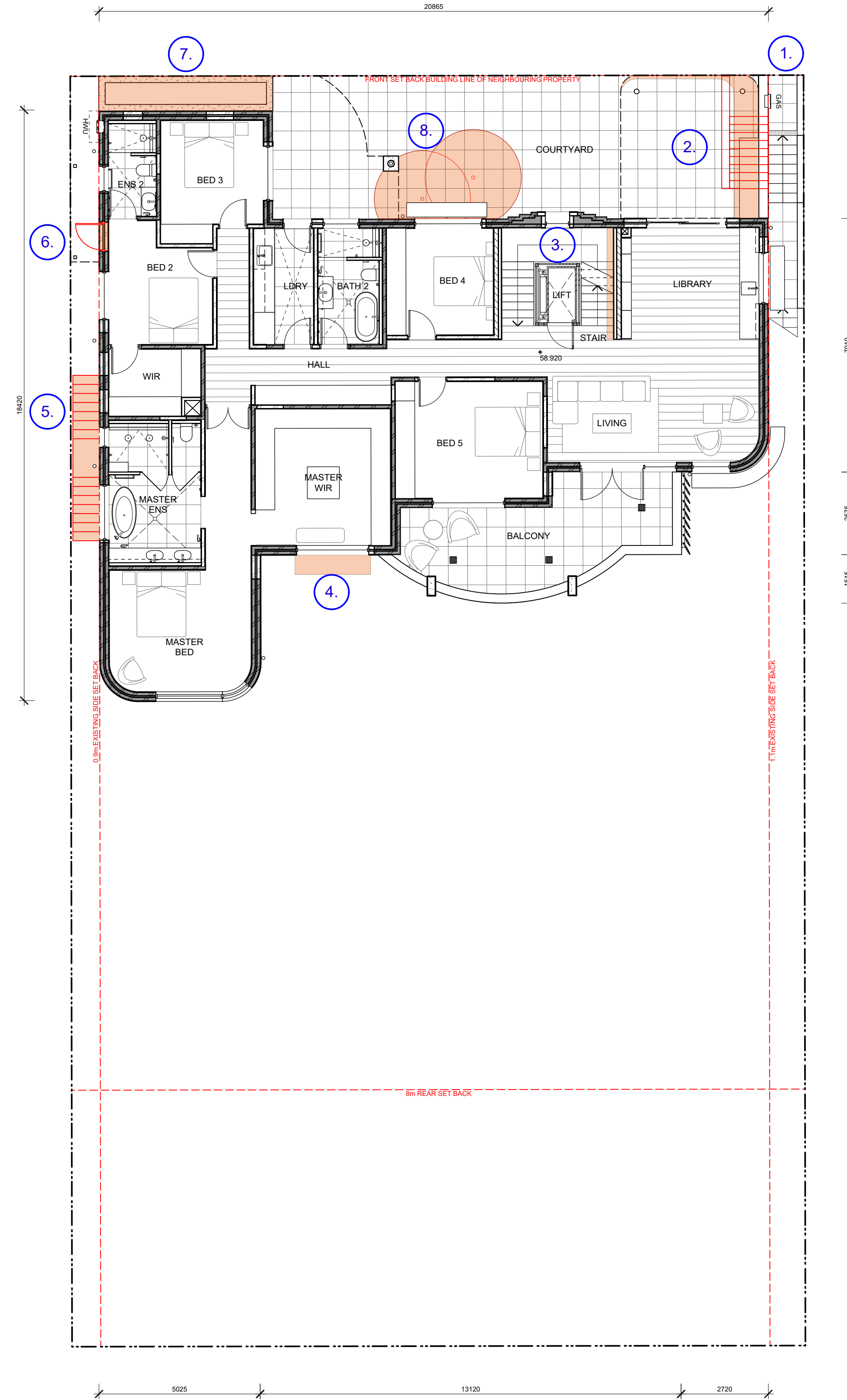
This drawing is protected by copyright.

GROUND LEVEL

1. REMOVE COURTYARD STAIR ACCESS
2. MINOR INCREASE TO COURTYARD CANOPY
3. REVISED INTERNAL STAIRCASE CONFIGURATION
4. REMOVE MASTER WIR WINDOW AWNING
5. REMOVE WESTERN STAIR ACCESS
6. REMOVE EXTERNAL ACCESS FROM BED 2
7. RELOCATION OF RAIN WATER TANK
8. REMOVE EXISTING PALM TREES



01 DA APPROVED - GROUND LEVEL PLAN
scale 1:100



02 S4.55 - GROUND LEVEL PLAN
scale 1:100

Notes

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title

GROUND LEVEL PLAN

Scale at A1 1:100
Scale at A3 1:200

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Drawn By
PJH

Checked By
PH

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Drawing Number

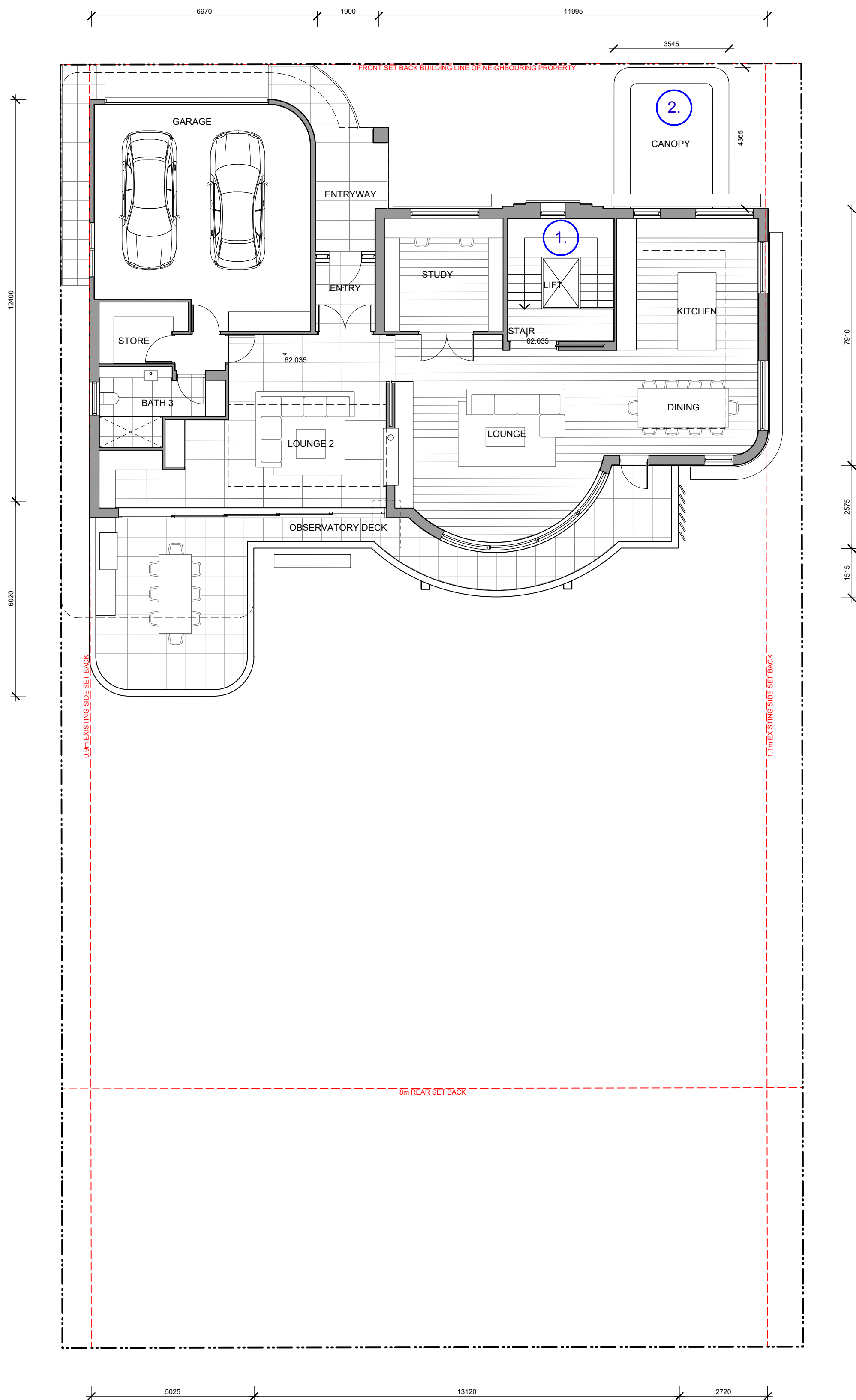
Rev

18-0505 DA-A-100 C

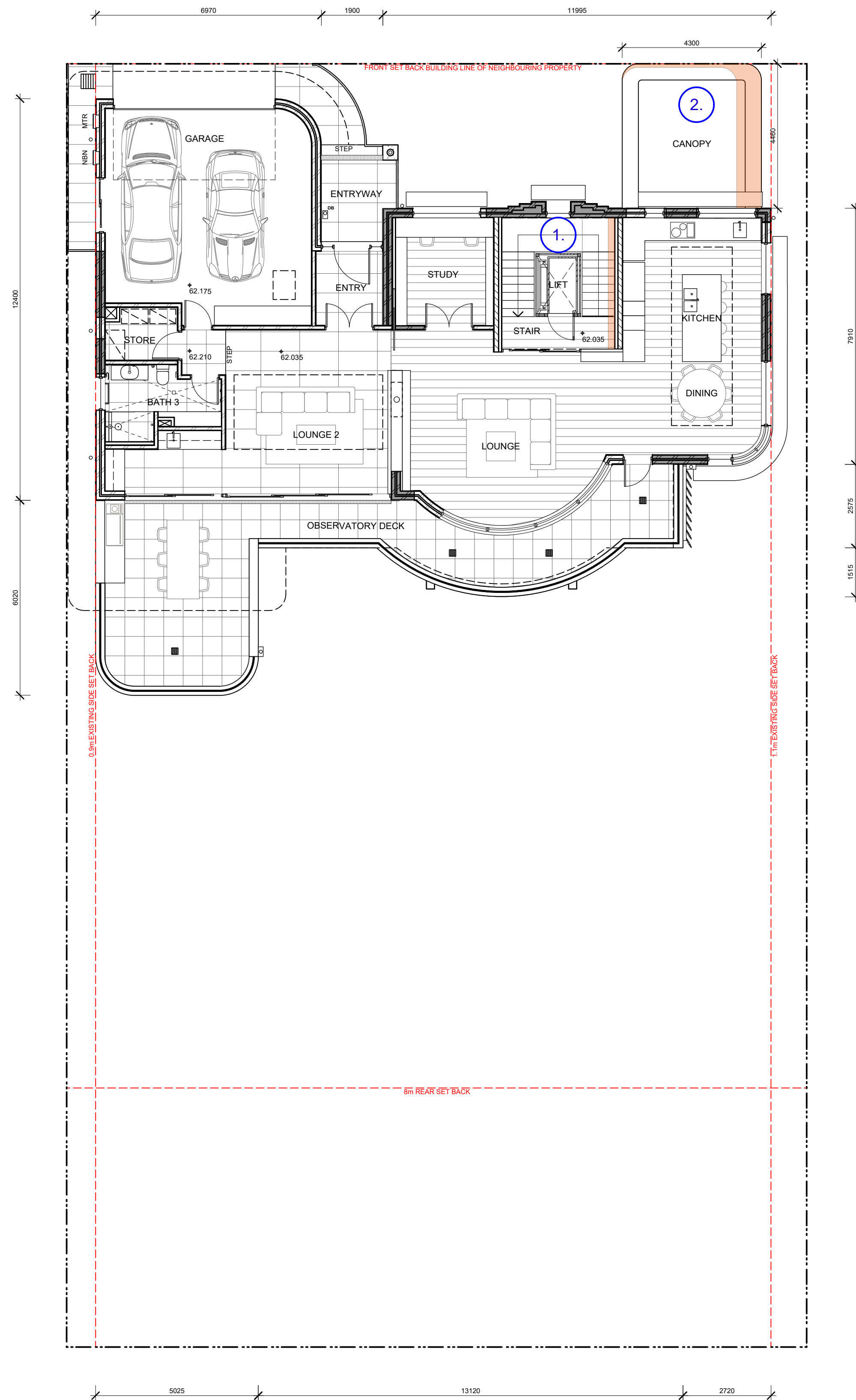
**S4.55
APPLICATION**

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- LEVEL 1
1. REVISED INTERNAL STAIRCASE CONFIGURATION
 2. MINOR INCREASE TO COURTYARD CANOPY



01 DA APPROVED - LEVEL 1 PLAN
scale 1:100



02 S4.55 - LEVEL 1 PLAN
scale 1:100

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title
LEVEL 1

Scale at A1 1:100
Scale at A3 1:200
0m 1 2.5 5 8
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By
PJH
Project Number
18-0505

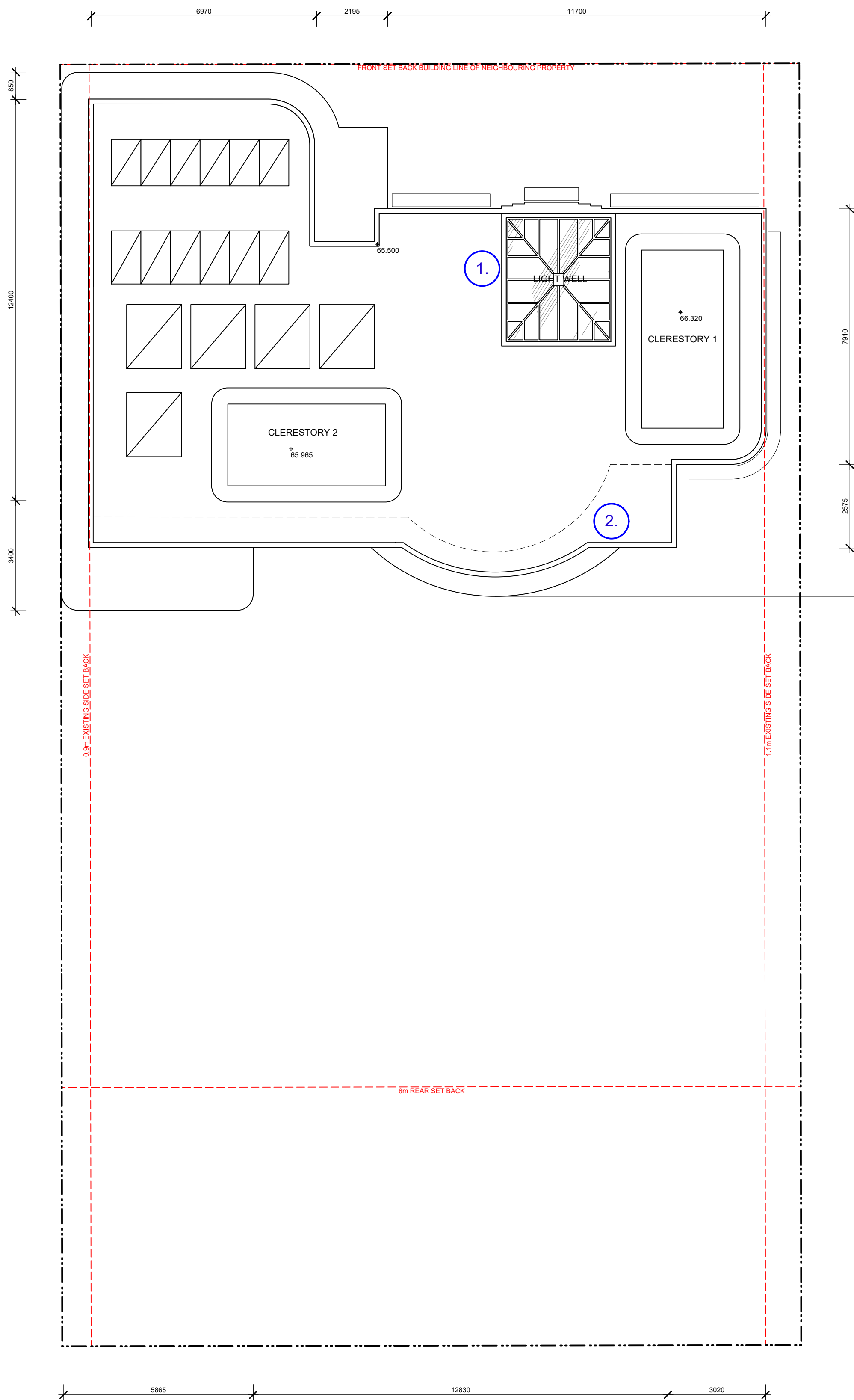
Checked By
PH
Drawing Number
DA-A-101

Rev
C

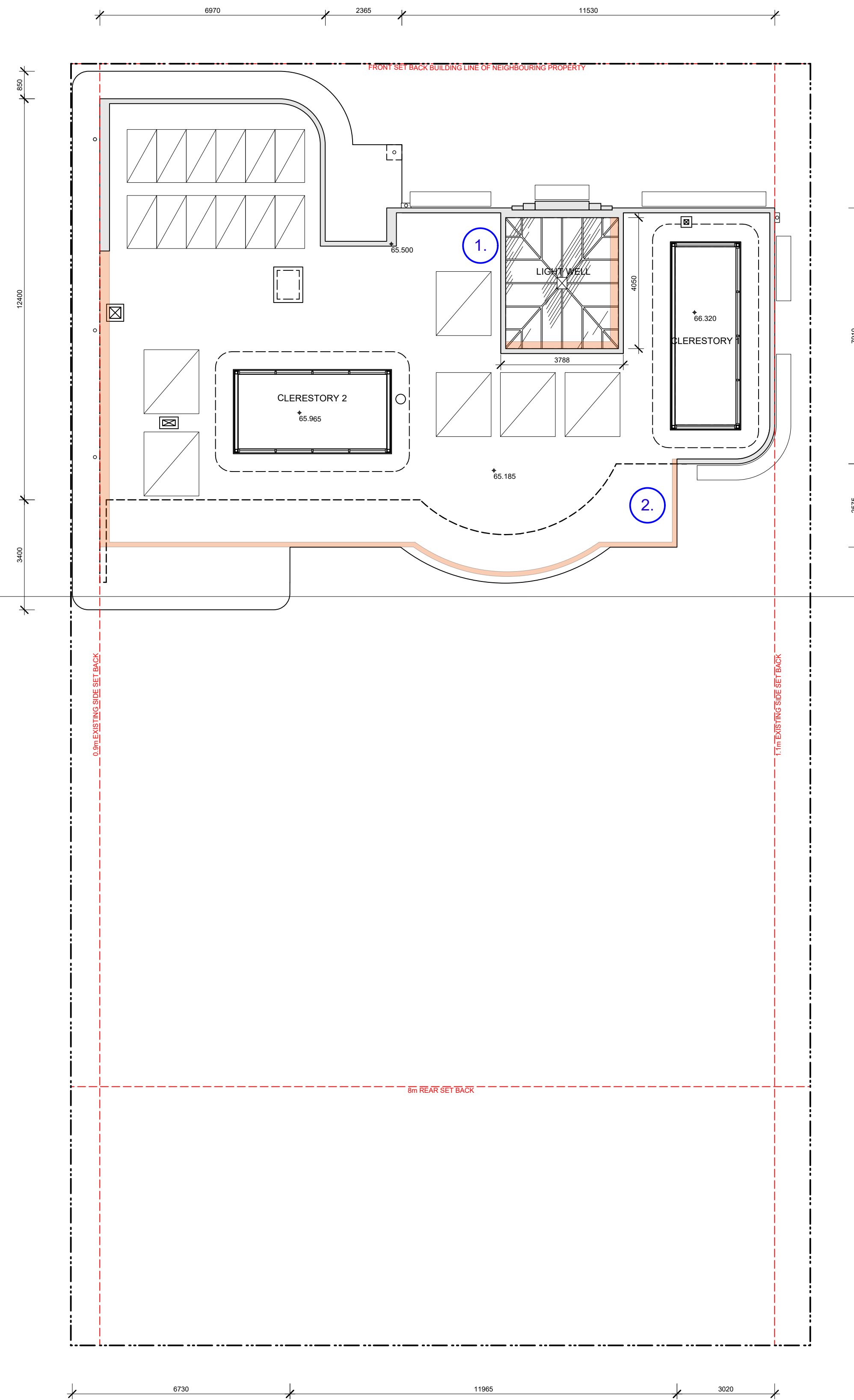
**S4.55
APPLICATION**

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- ROOF
1. MINOR CHANGE TO ROOF LIGHT OVER STAIR WELL
 2. UPDATE ROOF DESIGN TO COMPLY WITH PREVIOUS S4.55 CONDITIONS - REMOVE PART OF PARAPET



01 DA APPROVED - ROOF PLAN
scale 1:100



02 S4.55 - ROOF 1 PLAN
scale 1:100

Notes

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title
ROOF PLAN

Scale at A1 1:100
Scale at A3 1:200
0m 1 2.5 5 8
Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

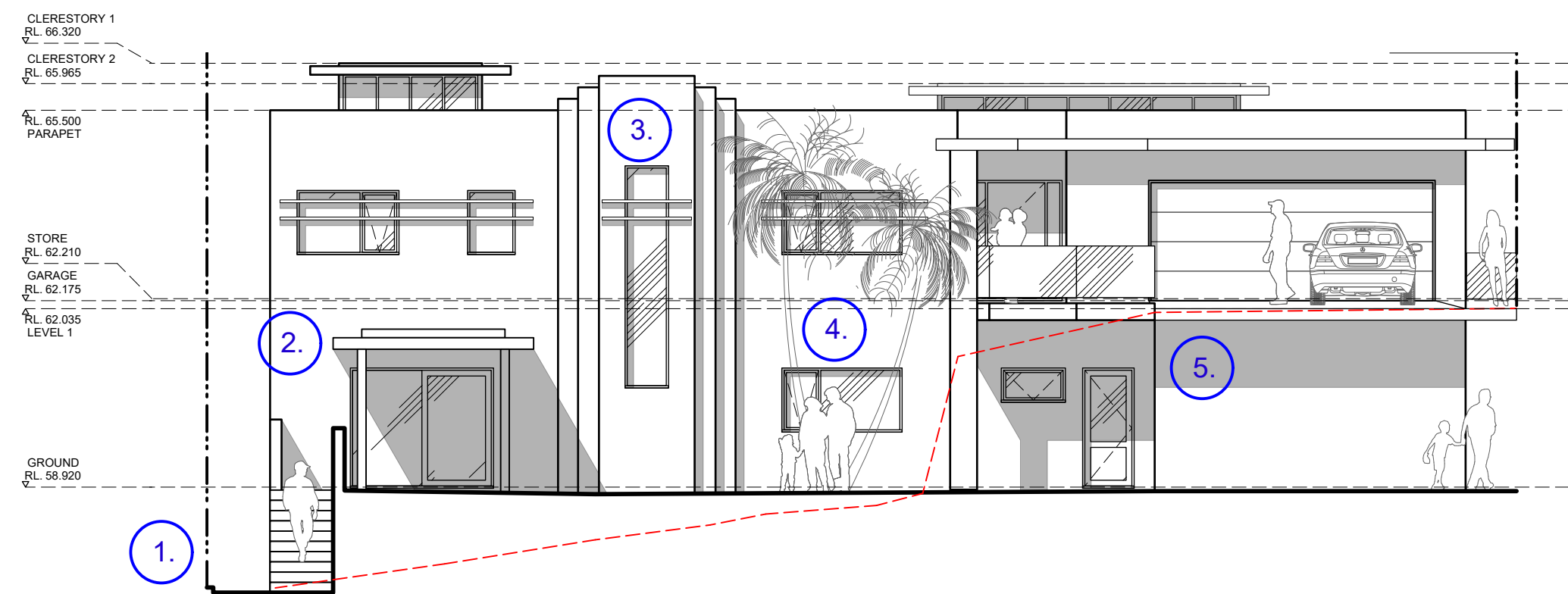
Drawn By
PJH
Project Number
18-0505

Checked By
PH
Drawing Number
DA-A-102
Rev
C

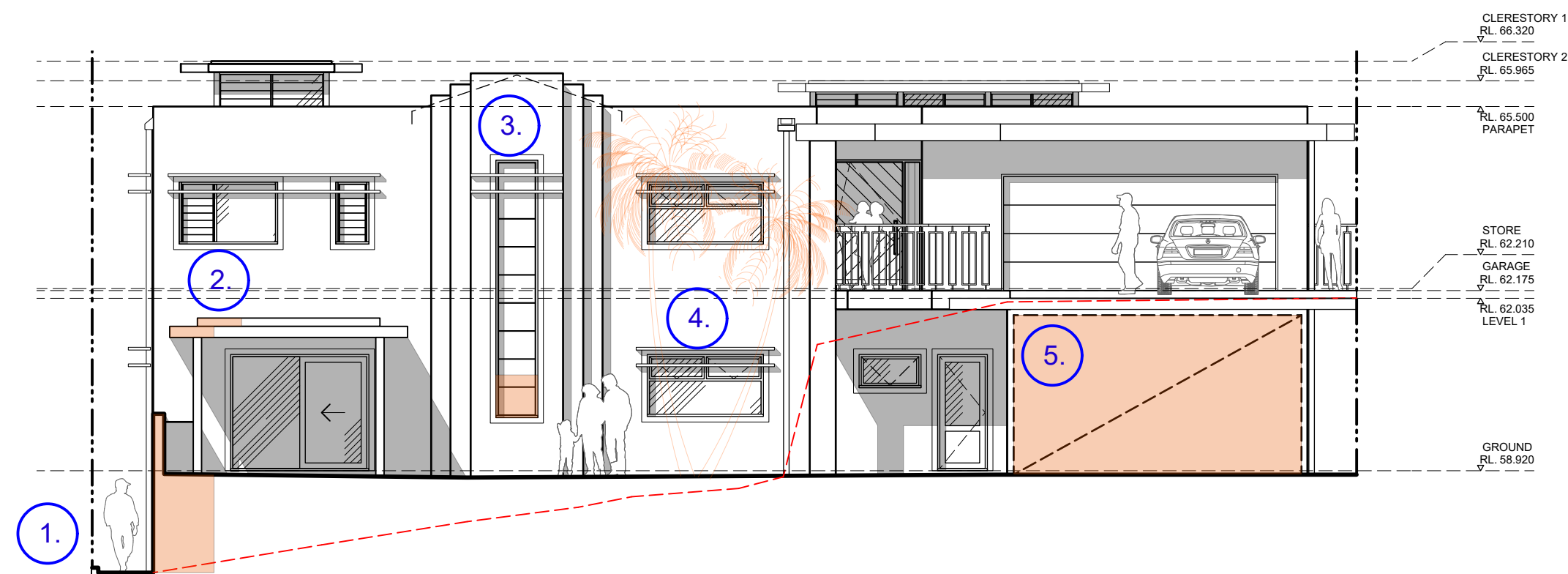
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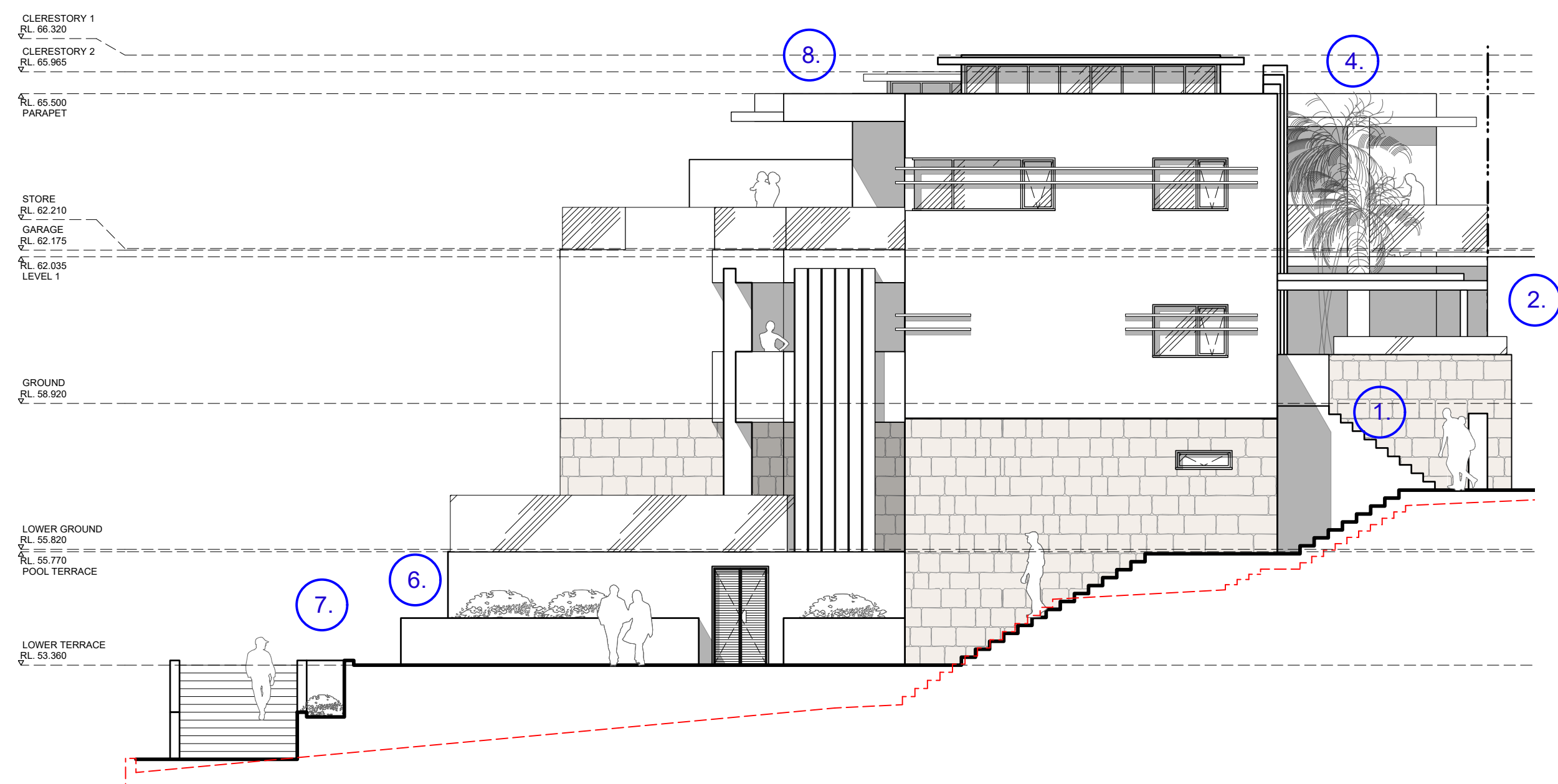
1. REMOVE COURTYARD STAIR ACCESS
2. MINOR INCREASE TO COURTYARD CANOPY
3. REVISED STAIR WELL WINDOW
4. REMOVE EXISTING COURTYARD PALM TREES
5. RELOCATE RAIN WATER TANK
6. ADDITION OF LEVEL CHANGE TO TERRACE PATHWAY
7. MINOR CHANGE TO RETAINING WALL
8. UPDATE ROOF DESIGN TO COMPLY WITH PREVIOUS S4.55 CONDITIONS - REMOVE PART OF PARAPET



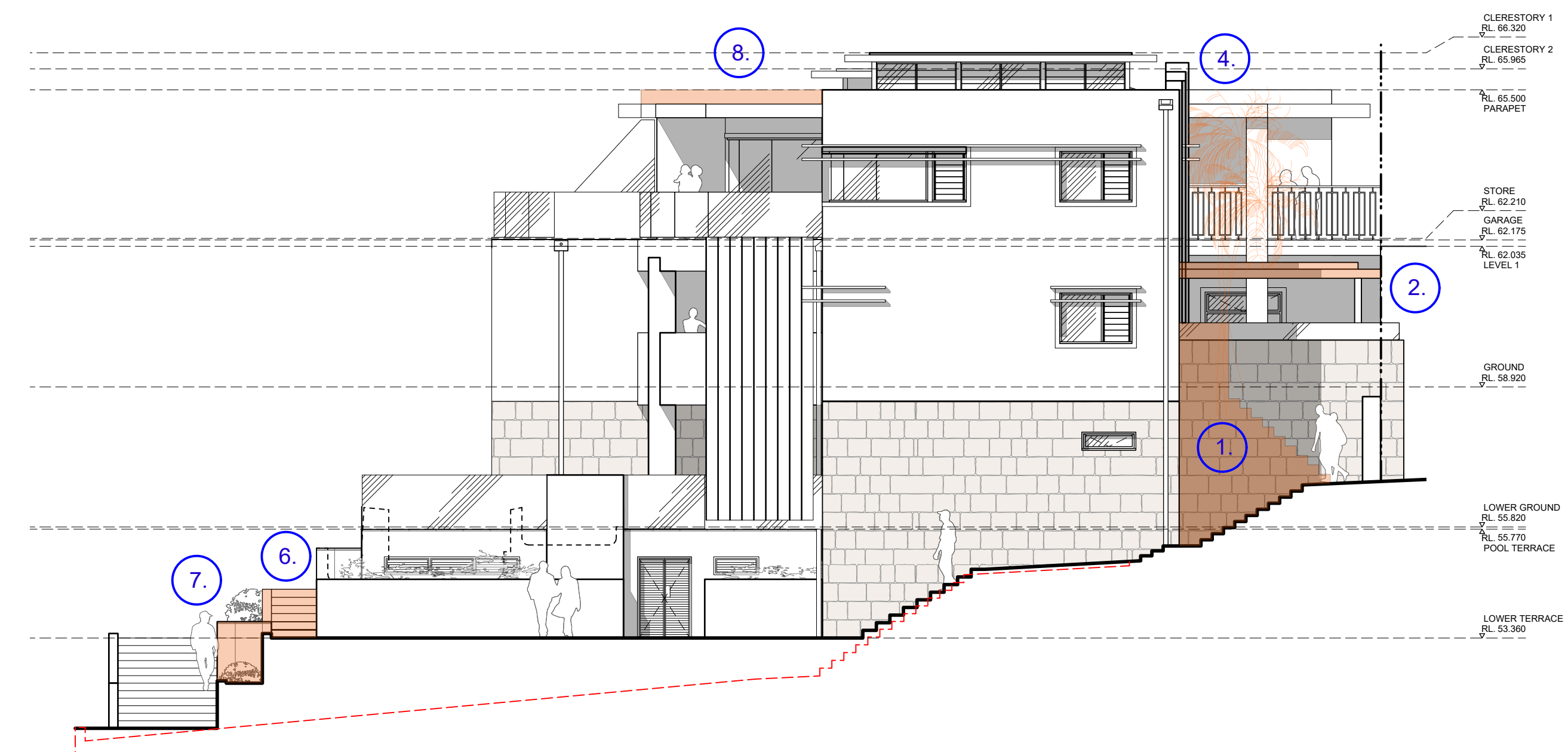
01 DA APPROVED - NORTH ELEVATION
scale 1:100



02 S4.55 - MODIFIED NORTH ELEVATION
scale 1:100



03 DA APPROVED - EAST ELEVATION
scale 1:100



04 S4.55 - MODIFIED EAST ELEVATION
scale 1:100

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33 UPPER CLIFFORD AVENUE
FAIRLIGHT**

Drawing title

**BUILDING ELEVATION
SHEET 1**

Scale at A1 1:100

Scale at A3 1:200

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Drawn By

PJH

Checked By

PH

Project Number

18-0505

Drawing Number

DA-A-200

Rev

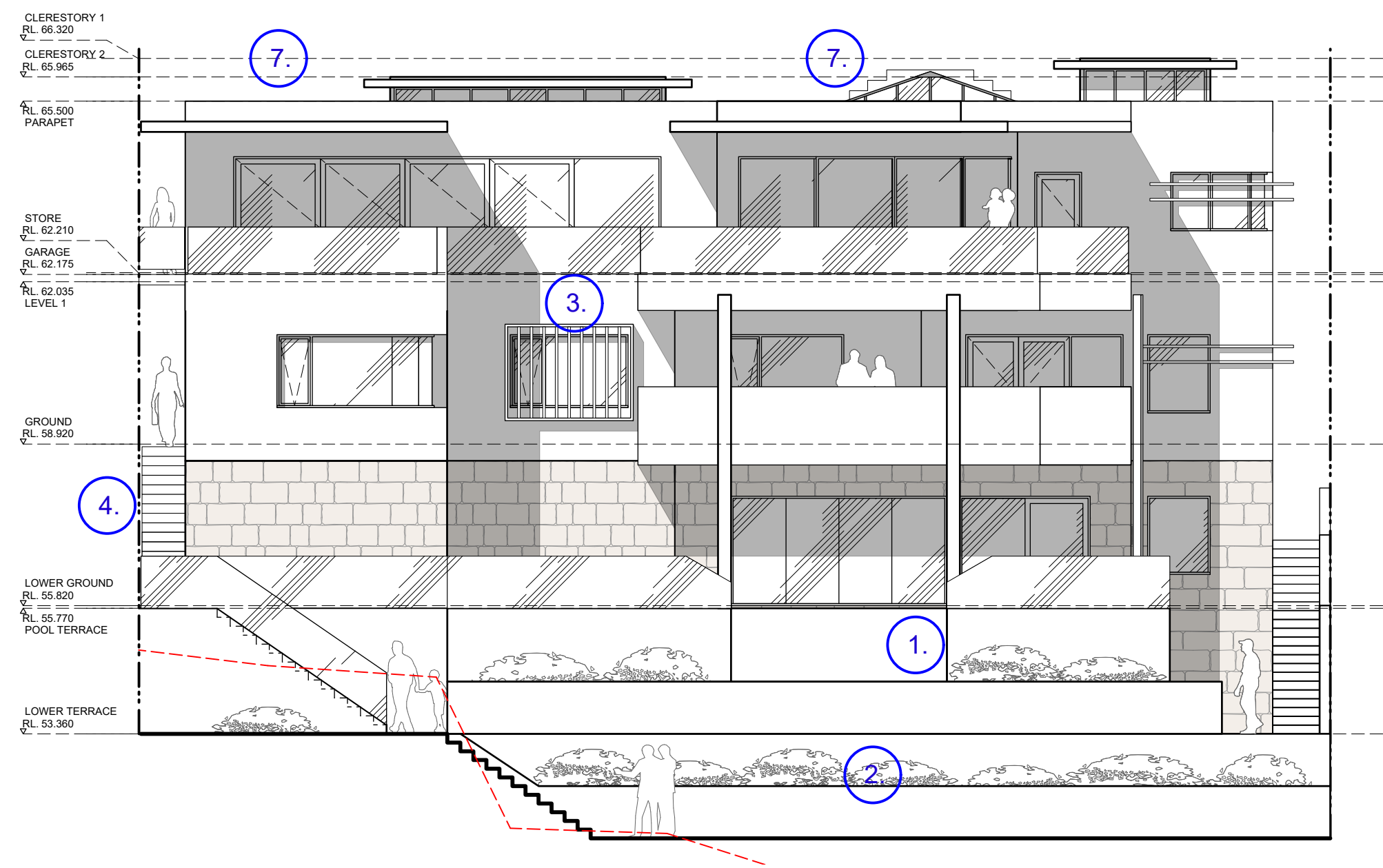
C

**S4.55
APPLICATION**

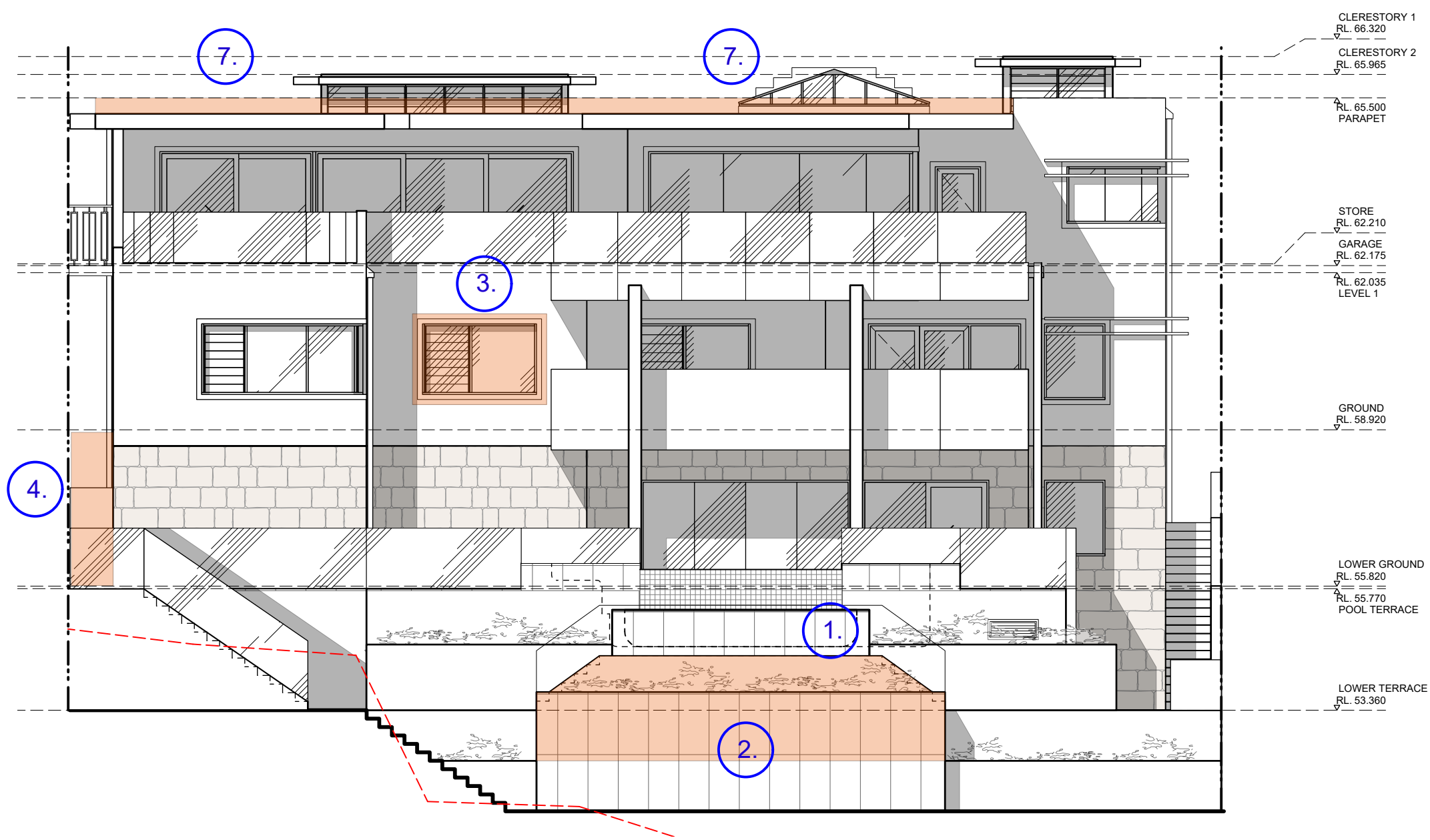
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APPLICATION**

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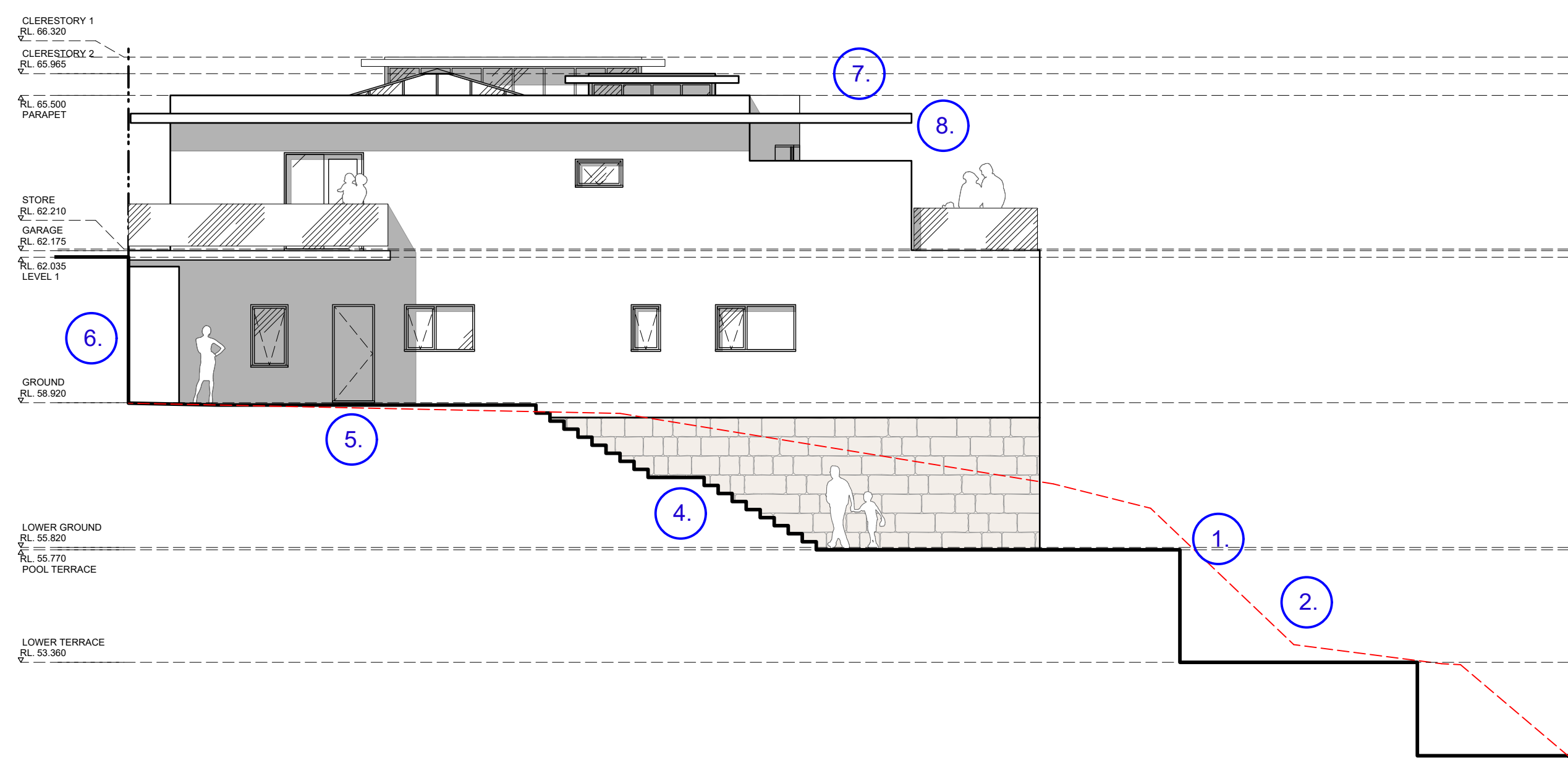
1. ADDITION OF LEVEL CHANGE TO TERRACE PATHWAY
2. MINOR CHANGE TO RETAINING WALL
3. REMOVE MASTER WIR WINDOW AWNING
4. REMOVE WESTERN STAIR ACCESS
5. REMOVE EXTERNAL ACCESS FROM BED 2
6. RELOCATE RAIN WATER TANK
7. UPDATE ROOF DESIGN TO COMPLY WITH PREVIOUS S4.55 CONDITIONS - REMOVE PART OF PARAPET
8. UPDATE BALUSTRADE DESIGN TO PREVENT POTENTIAL CLIMBABLE SURFACE HAZARD



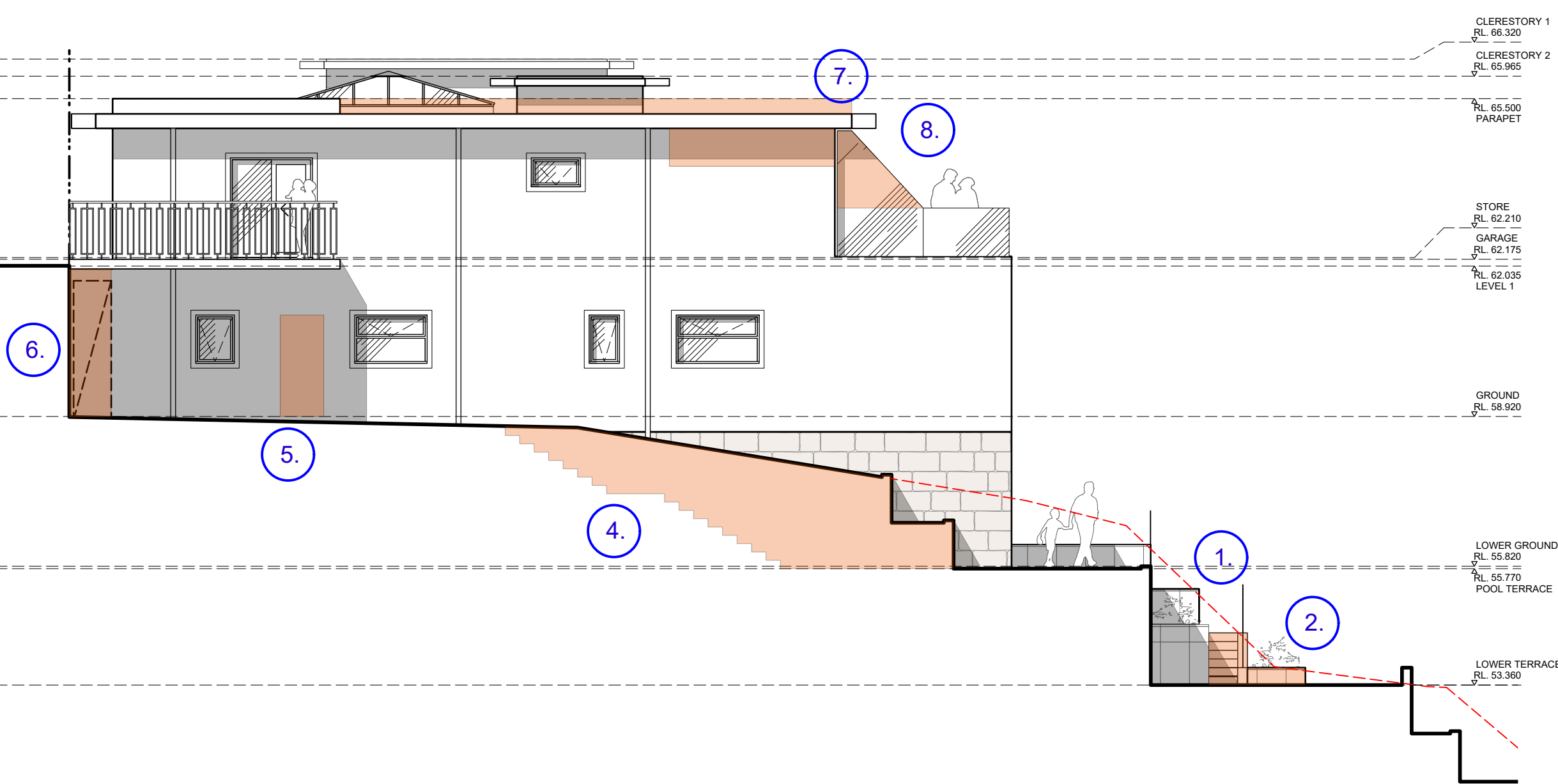
01 DA APPROVED - SOUTH ELEVATION
scale 1:100



02 S4.55 - MODIFIED SOUTH ELEVATION
scale 1:100



03 DA APPROVED - WEST ELEVATION
scale 1:100



04 S4.55 - MODIFIED WEST ELEVATION
scale 1:100

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FAIRLIGHT**

Drawing title

**BUILDING ELEVATION
SHEET 2**

Scale at A1 1:100
Scale at A3 1:200

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Drawn By

PJH

Checked By

PH

Project Number

18-0505

Drawing Number

DA-A-201

Rev

C

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APPLICATION**

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C	30/3/20	FOR COORDINATION	LB



04 **BASIX CERTIFICATE**
scale 1:NTS

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- APPROVED LANDSCAPE PLAN TO BE SIMPLIFIED AS SHOWN. REMOVE BOARDWALKS TO EXPOSE AND RETAIN EXISTING SANDSTONE ROCK PLATFORM.
- REALIGN FAILING BRICK WALL, REMOVE AND RE-BUILD IN CONCRETE BLOCK WORK. CLAY IN STONE. (OLD WALL SHOWN DASHED).
- NO HARD PAVED SURFACES, STEPS TO BE MADE FROM RECYCLED SITE STONE BLOCKS.
- SOFTER, LESS CONSTRUCTION THAN PREVIOUS PROPOSAL, MORE NATURAL, NATIVE PLANTINGS.

13 RAPHIOLEPIS 'O.P.' —

MIXED SHRUB AND GROUND-
COVER PLANTING TO FUTURE
DETAILED SITE SET-OUT:
3 DORYANTHES B.
3 MACROZAMIA C.
5 CYCAS R.
20 ALPINIA C. 'R.B'.
30 LIRIOPE M. 'E.G'.
10 CORDYLINE T. 'R'.
AT MINIMUM.
RE-USE SITE STONE AS
FEATURES, AND TO CREATE
SOIL POCKETS.

LOCAL, AND OTHER, NATIVE
SHADE-TOLERANT SHRUBS AND
GROUNDCOVERS:

- 10 ALPINIA C. 'RB'
- 5 ASPLENIUM AUST.
- 10 CRINUM PED.
- 10 BLECHNUM CART.
- 5 PANDOREA PANDORANA
- 20 VIOLA H.
- 10 LOMANDRA 'TAN.'

EXISTING LEVELS TO
BE RETAINED IN THIS
GARDEN BED.

STONE BLOCK WALL TO
RETAIN PEBBLES. LOW WALL
NATURALISTIC LEVEL
SITTING AREA - RE-USED
SITE BOULDERS, AND
RIVER PEBBLE,
PERMEABLE MULCH.

EXISTING WALL AND METAL
FENCE TO REMAIN.
EXISTING VEGETATION AT
LOWER LEVEL TO BE
RETAINED.

- **Mainly Council Notice of Determination DA No.166/2015, dated 19.11.2015:**
 Condition ANS05, *DCP Schedule 4 Part B Native Tree Selection* for replacement trees;
 Condition ANS08, updating plans and consistency of plans for CC;
 Condition ANS09, soil depths in planters for trees, shrubs and groundcovers, mulch etc.
 Refer to Landscape Plan, Plant Schedule and Softworks Specification for details.
 Condition ANS11, screen planting on eastern boundary;
 Condition 12 (2LD03), new native trees to 10 metres high to be 3 x *Tristaniopsis laurina*
 (Water Gum) as per *DCP Schedule 4 Part B Native Tree Selection*.
- **Northern Beaches Council Mod2018/0715, dated 21.5.2019:**
 Condition B (modified ANS05). Transplanting of Tree 5 (2 Bangalow Palms).
This is not able to be undertaken, refer to engineer's email. Note that appropriate
 replacement species are shown on the Landscape Plan, being 2 x *Livistona australis*
 (Cabbage Tree Palm) in 100 litre pots;
 Condition D (added Condition ANS13), planter landscaping. Architects have provided
 drainage and waterproofing details to PC. This landscape plan describes planting, and
 also refer to Plant Schedule and Softworks Specification for soils, planting, mulch, etc.

- Trees are as numbered in Raintree Consulting report dated 16.12.2015.
- **Trees to be retained in this proposal are Trees 1, 8 and 11.**
- **Trees proposed to be removed as shown on this plan are Trees 2, 3, 5, 9 and 10.**
- Removal of Trees 9 and 10 (Cheese Trees) was approved under previous DA Landscape Plan. These two trees are proposed to be removed in this current plan, and replacement trees, 3 x *Tristianiopsis laurina* (Water Gum) are shown.
- Removal of Trees 2 and 3 is sought in this application.
- Removal of Tree 5 (two palms) is not able to be undertaken due to site constraints and the species being regarded as being unsuited to transplanting.
- Trees 6 and 7 have been previously removed.

PER APPROVED LANDSCAPE PLAN,
3 TRISTANOPSIS LAURINA.
2 LIVISTONA AUSTRALIS,
NEW LOCAL NATIVE PALMS, PROTE
TO BE PLANTED IN 100 LITRE POTS.
REPLACEMENT TREES FOR TREE!

The diagram consists of three horizontal rectangular boxes, each representing a different type of site boundary or level. The first box contains the text '+ 00.00' and is labeled 'EXISTING SPOT LEVELS NOT 'BOXED''. The second box contains the text '+ 00.00' and is labeled 'PROPOSED NEW LEVEL SHOWN 'BOXED', WITH CHANGED FROM EXIST'. The third box contains the text 'TV 00.00' and is labeled 'RETAINING WALLS TO ENGINEERS SPEC.'. Below these boxes, the text 'SITE BOUNDARIES' is written.

+ 00.00

EXISTING SPOT LEVELS NOT 'BOXED'

+ 00.00

PROPOSED NEW LEVEL SHOWN 'BOXED', WITH CHANGED FROM EXIST

TV 00.00

RETAINING WALLS TO ENGINEERS SPEC.

SITE BOUNDARIES

UPPER CLIFFORD AVENUE

TWO (2) ARCHONTOPHOENIX
CUNNINGHAMIANA,
TO BE REMOVED.
TREES 2 AND 3 IN ARBORIST
REPORT.
SPECIES IS 'EXEMPT' IN
NORTHERN BEACHES LG A

- TWO (2) ARCHONTOPHOENIX CUNN.
TO BE REMOVED, NOT TRANSPLANTED
'TREE 5' (2 PALMS) IN ARBORIST
REPORT.

3 DREPANOSTACHYUM TO
2.5 M HIGH, IN 1000 MM SOIL DEPTH

- PLANTING DOWN BOUNDARY AT EXISTING SOIL LEVELS. NO CHANGE TO WALL AND FENCE ON BOUNDARY, EXISTING WALL ON BOUNDARY TO REMAIN.

BAMBOO TO BE REMOVED AS PER
CONDITION ANS II.
- 7 SYZYGIUM LUEHMANNII (SL)
NEW NATIVE SCREENING SMALL
TREES, TO 4 METRES HIGH
REFER TO CONDITION ANS II.
SOIL DEPTH 1000MM REQUIRED, ON-GRADE.
INTERNAL DIMENSION OF PLANTING AREA
TO BE 600MM, AS SHOWN ON ARCHITECT'S PLANS.
UNDERPLANT WITH DIANELLA AND LOMANDRA 'I'!

- Survey prepared by T.J Gilbert 1.02.2007.
- Architectural documentation issued for CC, Quattro Architecture.
- Landscape Plans by Lushous Landscapes, June 2015 for DA, for replacement tree species.
- Arboricultural report by Raintree Consulting, dated 16.12.2015; Project Arborist Certification letter dated 16 January 2020, ref RTC-1320.
- Email from Ron Flew of RFE Earthmoving to Sydney Beach Homes, dated 24 January 2020.

**THIS PLAN TO BE READ
IN CONJUNCTION WITH
PLANT SCHEDULE &
NETWORKS SPECIFICATION
17.02.2020**

Client	Ms Karen Hunt and Mr Steve Birch		
Project	33 UPPER CLIFFORD AVE, FAIRLIGHT		
Title	LANDSCAPE PLAN		
Date of Issue	Scale	Drawing No	
Issue A: 17.02.2020	1:100 @A2	LP02-A	
Reason for Issue			
Issue A:			
1. Minor modification application (Council).			
2. Construction Certificate (Private Certifier).			

Selena Hannan
Landscape Designer & AQF5 Consulting Arborist
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 Phone 02 8919 0553 Mobile 0403 041 187
 Email selena@selenalandscape.com.au

SELENA
HANNAN
LANDSCAPE
DESIGN

