

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2007/2337

Council

Pittwater

Determination

date of issue

Approved

18 October 2007

Subject land

Address

Lot No, DP No

11 Hill Street, Warriewood

Lot A DP 419338

Applicant

Name

Address

Contact No (phone)

Mrs S Hogan

11 Hill Street, Warriewood NSW 2102

9979 3434

Owner

Name

Address

Contact No (phone)

Mr Timothy & Mrs Sheralee Hansen

11 Hill Street, Warriewood NSW 2102

9979 3434

Description of Development

Type of Work

Swimming Pool, timber deck and pergola Only

Builder or Owner/Builder

Name

Contractor Licence No/Permit

Timothy Hogan

Owner Builder Permit No 325105P

Value of Work

Building

\$40,000 00

Attachments

- Copy of completed Construction Certificate Application Form
- Pittwater Council receipt no 224785 for payment of Long Service Lev
- BASIX Certificate no A17253, dated 23 August 2007

**COUNCIL
COPY**

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Architectural Plans & Construction Specifications, reference nos DA01, DA02, DA05 & DA10, Issue A, prepared by Site Specific Designs , dated 14 August 2007
- Structural Details, reference nos 070901-S01, S02 & S03, prepared and endorsed by Barrenjoey Consulting Engineers Pty Ltd, dated 14 September 2007
- Erosion & Sediment Control Plan, reference no DA11, prepared by Site Specific Designs, dated 14 August 2007

Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979

Signed



Date of endorsement
Certificate No

18 OCT 2007
2007/2337

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

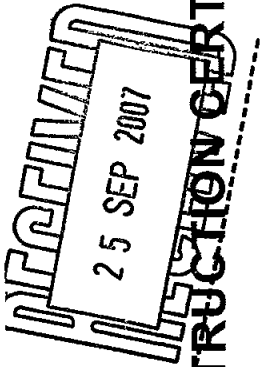
Development Consent

Development Application No
Date of Determination

N0452/07
13 September 2007

BCA Classification

10b



APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much detail as possible.

☐ Mr

☒ Mrs

☐ Ms

☐ Dr

☐ Other

Given Name(s) (or AGN)

SHERKUSSE

Family Name (or Company)

HOGAN

Postal Address (we will post all mail to this address)

11 Hill St

Post Code

2102

Daytime telephone

0979 3434 (wn)

Alternate no

0979 4411 (wk)

Mobile no

0416 954 635

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company, the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

TIMOTHY HOGAN & SHERKUSSE HANSEN

Address

11 Hill St

WARRIEWOOD

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

SA Hogan

Sherkussse

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no

11

Street name

Hill St

Suburb

WARRIEWOOD

Post code

2102

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no

A

DP no

419 330

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non-profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed
What are the current uses of all or parts of the building(s)/land?	Location
Does the site contain a dual occupancy?	Use
What are the proposed uses of all parts of the building(s) land?	What is the gross floor area of the proposed addition or new building (sq metres)?
Number of dwellings to be demolished	Number of pre-existing dwellings
How many storeys will the building consist of?	How many dwellings proposed?
	Will the new building be attached to the existing building?
	Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS	FLOOR	ROOF	FRAME
Brick veneer	Concrete	Aluminium	Timber
Full brick	Timber	Concrete	Steel
Single brick	Other	Concrete tile	Other
Concrete block	Unknown	Fibrous cement	Unknown
Concrete/masonry		Fibreglass	
Concrete		Masonry/terracotta shingle	
Steel		Tiles	
Fibrous cement		Slate	
Hardplank		Steel	
Timber/weatherboard		Terracotta tile	
Cladding-aluminium		Other	
Curtain glass		Unknown	
Other			
Unknown			

APP: 11740277E-1

TO SHERALEE WINGAM

4 MILL STREET
WASH DC 20001

DATE	REFERENCE	AMOUNT
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GL Rec 1	015-50.1	\$1.430.00
GL Rec 1	00452	07
GL Rec 1	00357-003	\$13.55
GL Rec 1	357	\$1.75
GL Rec 1	00452	

Total Amount: \$ 102.90
Includes GST of: \$ 15

Approved for Release

Divide Card	\$1,504.90
Total	\$1,504.90
Revolving	\$7,000.00
Change	\$0.00
Newt	\$1,504.90

DATE: 10/15/71 TIME: 2:30 PM
 LOCATION: Classroom

FORM NO.

OFFICE USE ONLY

PLEASE PRINT ALL DETAILS USING CAPITALS

A N
R A L E E

HILL STREET
VIEWWOOD

Postcode Bus hours phone

PICTURE WORK
 HILL STREET
 NEWOOD

Postcode
 y Estimated finish date D M Y

[illegible]

_____, _____, _____ Levy payable \$ _____, _____, _____

DA number here

Date D M Y

Business hours phone

nt/Authority where applicable — see reverse

[illegible][illegible]

amount \$ _____

_____, _____

Phone number

Date D M Y [illegible]

on this form is true and correct to the best of my knowledge

Signature [Signature] Date 19-09-2007

Signature [Signature] Date D 1 1 M ✓ 1 Y 20 0 1

[illegible]

C **D**

35 Email levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808 Jan06/160

55 \$1504.90 19/9/07.

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number A20031

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Wednesday, 03, October 2007



Description of project

Project address	
Project name	Hogan Residence 2
Street address	11 Hill Street Warrewood 2102
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 419338
Lot number	A
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa)

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 825 litres on the site This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 36 square metres of roof area		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors	✓	✓	✓
The swimming pool must not have a capacity greater than 25 kilolitres	✓	✓	✓
The swimming pool must have a pool cover		✓	✓
The swimming pool must be shaded	✓	✓	
The applicant must install a pool pump timer for the swimming pool		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development solar (gas boosted)		✓	✓

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water				
The applicant must install the following hot water system in the development solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (Incorporating Amendment Regulations 2005 (No 2))		✓	✓	✓
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating			✓	

Construction

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists

Construction	Additional insulation required (R-value)	Other specifications			
suspended floor above garage framed (R0 7)	nil		✓	✓	✓
floor above existing dwelling or building	nil				
external wall framed (weatherboard, fibro, metal clad)	R1 30 (or R1 70 including construction)				
external wall external insulated façade system (EIFS)(façade panel 70 mm)	nil				
internal wall shared with garage 75 mm AAC panel (R0 49)	nil				
raked ceiling, pitched/skillion roof framed	ceiling R1 24 (up), roof foil backed blanket (75 mm)	medium (solar absorptance 0 475 - 0 70)			

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below
Relevant overshadowing specifications must be satisfied for each window and glazed door

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with improved frames, or polylytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	E	5.4	2	5	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single toned, (U-value 6.39, SHGC 0.56)	✓	✓	✓
W2	N	2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value 6.39, SHGC 0.56)			
W3	N	1.1	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value 6.39, SHGC 0.56)			
W4	W	1.4	0	0	eave/verandah/pergola/balcony	improved aluminium, toned/air gap/clear,	✓	✓	✓

Glazing requirements

Show on
DA Plans

Show on
CC/CDC
Plans &
specs

Certifier
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
					>=450 mm	(U-value 4 09, SHGC 0 47)			
W5	W	2 3	0	0	eave/verandah/pergola/balcony >=800 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W6	S	2 4	0	0	eave/verandah/pergola/balcony >=900 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W7	S	9 9	0	0	eave/verandah/pergola/balcony >=800 mm	Improved aluminium, toned/air gap/clear, (U-value 4 09, SHGC 0 47)			
W8	E	9	6	7	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, toned/air gap/clear, (U-value 4 09, SHGC 0 47)			
W9	N	2 7	0	0	eave/verandah/pergola/balcony >=450 mm	Improved aluminium, toned/air gap/clear, (U-value 4 09, SHGC 0 47)			
W10	N	1 5	0	0	eave/verandah/pergola/balcony >=900 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W11	W	1 6	0	0	eave/verandah/pergola/balcony >=750 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W12	S	0 7	0	0	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W13	E	4 8	6	6 5	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single toned, (U-value 6 39, SHGC 0 56)			
W14	E	2 4	6	6	none	Improved aluminium, single pyrolytic low-e, (U-value 4 48, SHGC 0 46)			

Legend

In these commitments, "applicant" means the person carrying out the development

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development)

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued