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Statement of Environmental Effects

Minor extension to existing dwelling and rear deck.



7 Dendrobium Crescent, Elanora Heights

Prepared for Jenny Forder

By Chris Jones

Design & Operations Manager, Astute Architectural Drafting



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1.0 Introduction.

1.1 Commission.

Astute Architectural Drafting has been commissioned by Jenny Forder to prepare a Statement of Environmental Effects for proposed building works at 7 Dendrobium Crescent, Elanora Heights.

This report is to accompany documents submitted to Northern Beaches council for the proposed residential development at the above-mentioned address. The proposed development comprises of a minor extension to the existing kitchen and extension to the existing rear deck/awning.

1.2 Purpose.

The purpose of this statement is to provide Council with all relevant information necessary to assess the subject development and determine approval on accordance with Section 4.15 of the Environmental Planning and Assessment act 1979.

1.3 Material Relied Upon.

The Statement has been prepared with the benefit of a –

- Site inspection, review of plans and relevant documents and discussions with the designers and applicant.
- Suite of drawings (0-14) prepared by Astute Architectural Drafting dated 09.06.2023
- Survey Plans prepared by Landscape Surveyors dated 16.07.2022
- Section 10.7 Certificate dated 06.03.2022
- BASIX Certificate A481724 dated 06.03.2023

1.4 Report Structure.

- Site context, detailed description of site, and nature of surrounding development.
- Details of proposed development.
- Detailed Environmental Assessment
- Conclusion



2.0 Site Context

2.1 Location.

The site is located at 7 Dendrobium Crescent, Elanora Heights (see **Figure 1**). 3.5Km east of Mona Vale Road, 1.5Km north of Wakehurst Parkway, 600m west of Elanora Country Club and 1.2Km south of Monash Country Club.



Figure 1 (source: SIX Maps)

2.2 Site Description.

The site is located on the western side of Dendrobium Crescent and is legally described as Lot 18 DP 263422. The land is subject to the provisions of the *Northern Beaches Local Environmental Plan 2014 (PLEP 2014)*. As per the provisions of the LEP 2014, the land is zoned R5 Large Lot Residential. The lot size is greater than 2000m² and is described as 15737m² in size and is a standard block with access through a right of carriageway. (see **Figure 2**)

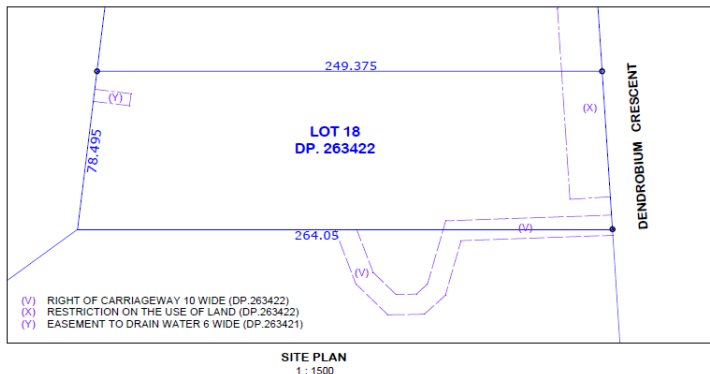


Figure 2 (source Survey)

The subject allotment is currently occupied by a two-storey detached residential dwelling with a detached shed, garaging, tennis court, pool house and swimming pool. There are also some plantings clustered around the site.

The subject site is located on the Western side of Dendrobium Crescent. The site slopes frontward from a high point greater than RL 115 AHD at the Western rear boundary and to a point lower than RL 85 AHD at the front eastern boundary. This represents a fall of approximately 30+m over a distance of 249m. This represents a gradient fall of 8%.

Existing vegetation comprises of several small, medium and large trees on all sides with further concentration at the rear and front of the property.

2.3 Surrounds.

To the North at N0. 5 Dendrobium Crescent is a large lot of similar size and amenity. The main dwelling is setback 33m from the subject site's boundary. To the south at N0. 9 Dendrobium Crescent is a large lot of similar size and amenity. The main dwelling is setback 24m from the subject site's boundary. These dwellings are generally shielded from view by the vegetation present along the northern & southern boundaries.

2.4 Site Analysis.

Site analysis has been prepared by Astute Architectural Drafting which identifies key natural and built environmental features and constraints of the site.

This includes:

- Solar orientation.
- Views to the south from the site.
- Surrounding land uses.
- Adjoining private open space.



3.0 Proposed Development.

3.1 Aims & Objectives of The Proposal.

The following objectives have been identified as forming the basis of the proposed development of the subject land to accommodate future residential development:

- Ensure minimal environmental and amenity impact;
- Provide a functional dwelling modifications that promotes the benefits of living; and,
- Ensure development is compatible with surrounding development and the local context

3.2 Demolition.

The proposed development requires minor alterations to the existing dwelling, where some demolition associated with the ground floor living spaces. **(See Figure 3)**

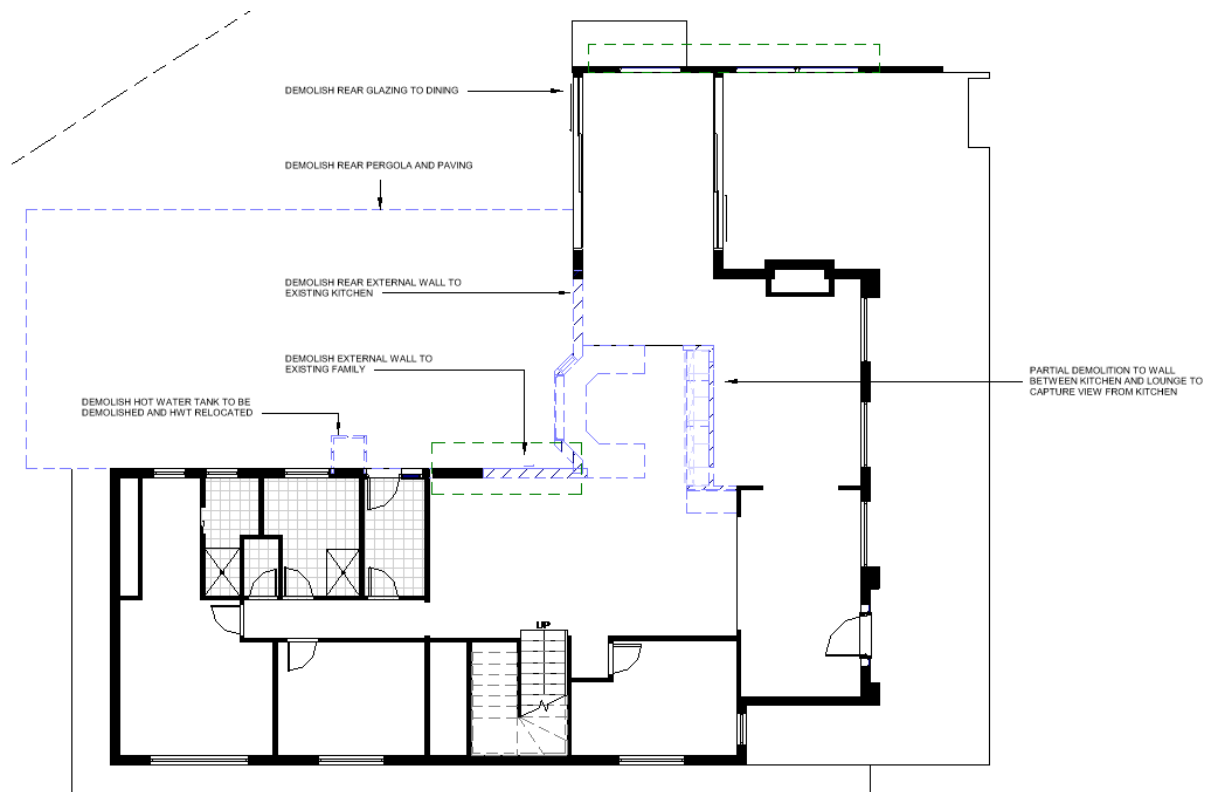


Figure 3 – Demolition Plan (source Astute Architectural Drafting)

The proposal will also require the demolition and removal of the existing kitchen, kitchen bay window and surrounding walls, with some ground floor internal wall included. The replacement of the existing outdoor entertainment space, paved area and pergola.



3.3 Building Form and Design.

The proposed works are restricted to the rear of the ground floor living areas (See Figure 4). The proposed dwelling modifications comprise of the following spaces:

Ground Floor Level:

- Enlarge kitchen to include a WIP and improved access to the outdoor deck.
- Removal of the dividing wall between the kitchen and Lounge room
- Reduction and reorientation of the existing pergola and decking.
- Improved glazing.

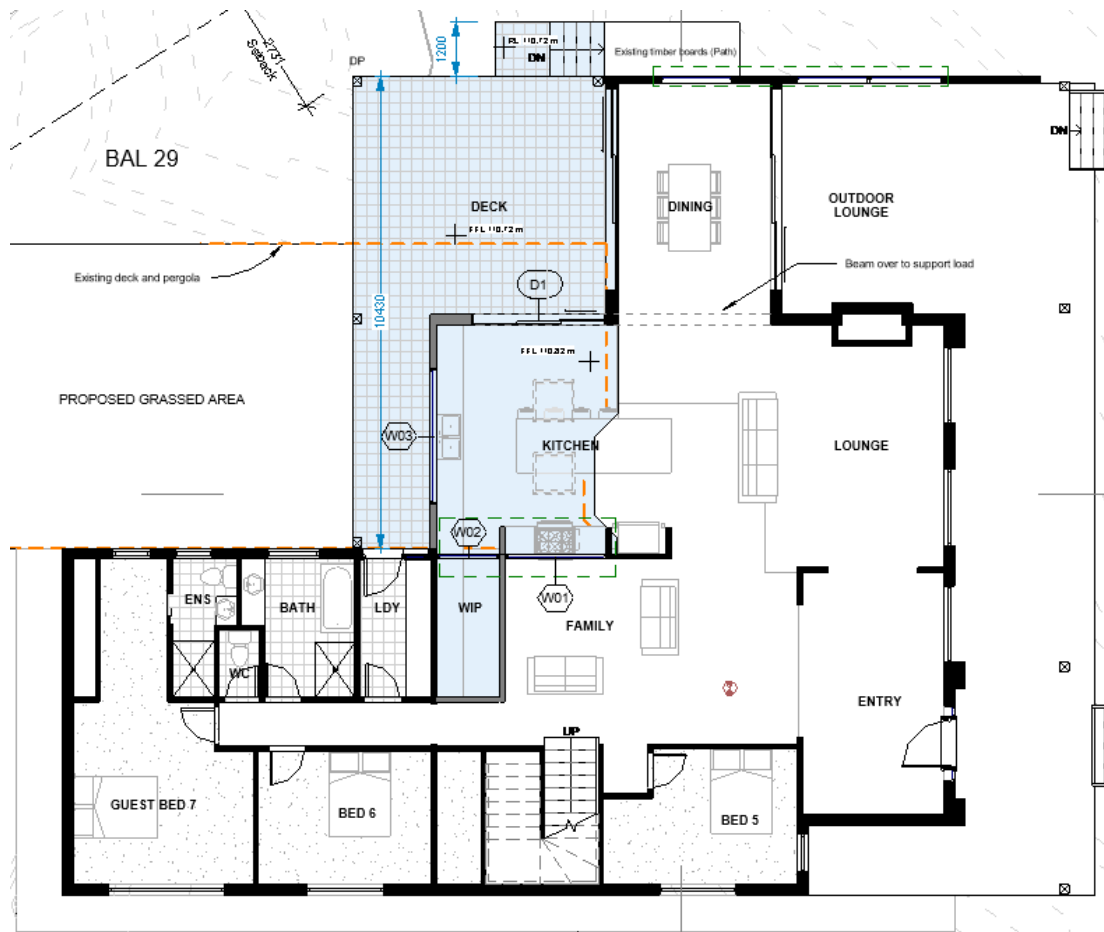


Figure 4 – Ground Floor Plan (source Astute Architectural Drafting)

The proposed development will provide an improved access to the rear pergola and the reorientation of the decking will have better privacy outcomes and overlooking of the neighbouring property at #5 Dendrobium Crescent, Elanora Heights.

The design process has taken into consideration the amenity of the neighbouring allotments by maintaining solar access, visual privacy, acoustic privacy and views.



3.4 Private Open Space.

The dwelling proposes to improve access to an area of garden/private open space at ground level to the rear accessed directly from the living areas and a private alfresco area on the ground floor level at the front. The garden area to the rear contains ample screening of mature trees where there is deep soil planting and landscaping between the ground floor and the northern boundary.

3.5 Visual Privacy.

The proposed extension to the existing kitchen is a dist. between 8.2m and 10.3m averaging approximately 9.25m from the Northern side boundary. The varying (average) distance is due to an irregular shape of the dwelling footprint and boundary. Furthermore, the closest neighbouring dwelling #5 Dendrobium Crescent is sited more than +30meters away front their respective boundary and approximately 40m from the proposed ground floor extension, creating ample separation. Subsequently existing vegetation along the northern boundary provides further screening. Refer to figure 5 below.

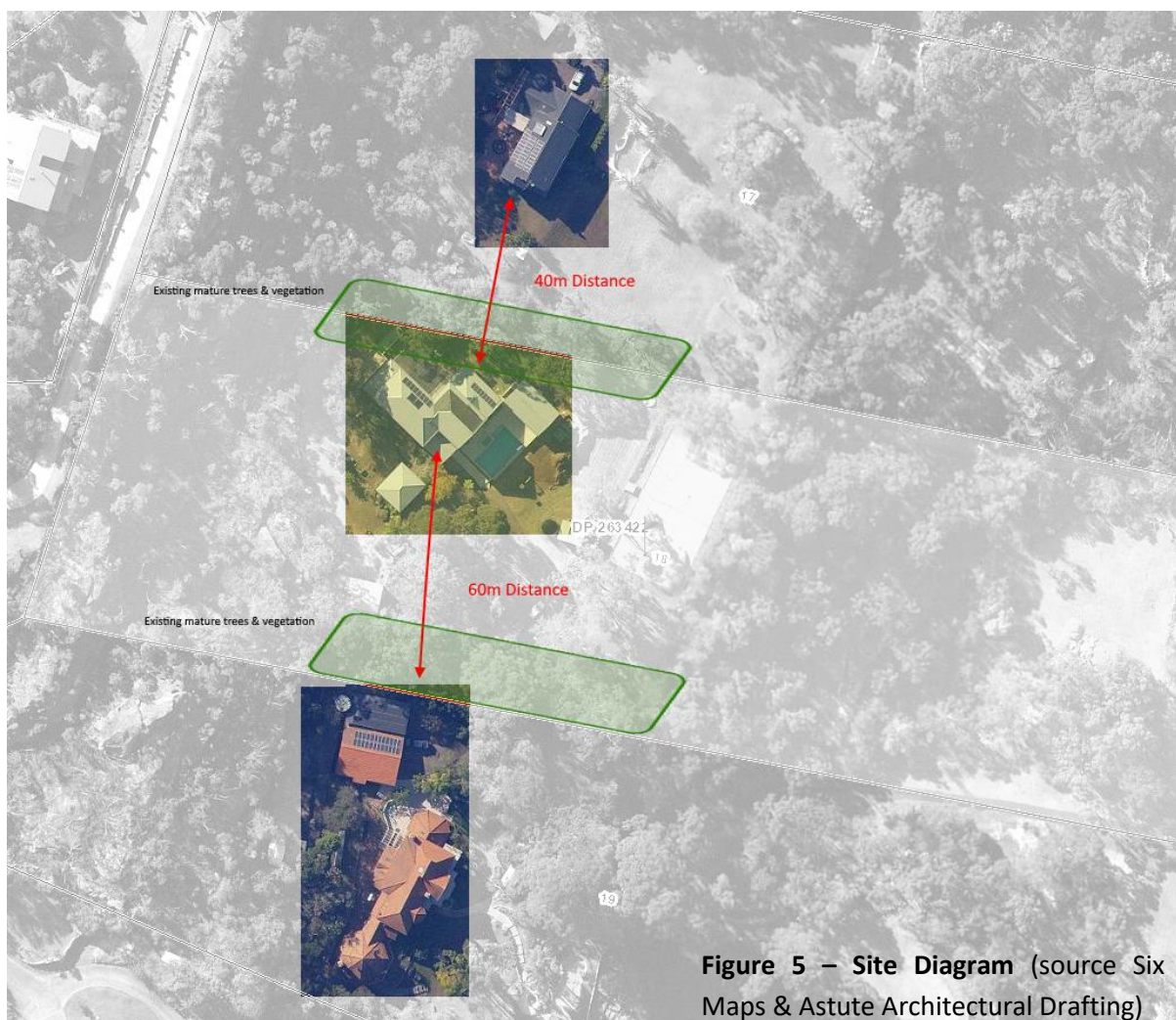


Figure 5 – Site Diagram (source Six Maps & Astute Architectural Drafting)



4.0 Environmental Planning and Assessment

This section provides an environmental assessment of the development in respect of the relevant matters for consideration under Section 4.15(1) of the Environmental Planning and Assessment Act, 1979 (EP&A Act).

4.1 Section 4.15 (1)(a) – Planning Controls

Under Section 4.15(1)(a) of the EP&A Act, the consent authority must take into consideration the provisions of:

- Section 4.15(1)(a)(i) Environmental Planning Instruments;
- Section 4.15(1)(a)(ii) Draft Environmental Planning Instruments;
- Section 4.15(1)(a)(iii) Development Controls Plans;
- Section 4.15(1)(a)(iiia) Planning Agreements; and
- Section 4.15(1)(a)(iv) the Regulations.

The relevant environmental planning instruments and development controls plans are:

- State Environmental Planning Policy - Building Sustainability Index: BASIX 2004
- State Environmental Planning Policy No. 55 – Remediation of Land
- Pittwater Local Environmental Plan 2014;
- Pittwater Development Control Plan 21.

The remainder of this subsection provides an assessment of the proposal in regard to the above mentioned plans, policies and other relevant matters.

4.1.1 SEPP (BASIX) 2004

Under the *Environmental Planning and Assessment Regulation 2000*, the proposed dwellings are defined as *BASIX affected buildings* and accordingly, the provisions of the SEPP apply.

A BASIX and a NatHERS Assessment has been undertaken and copies of the relevant certificate and stamped plans are included. These confirm that the development complies with the provisions of the SEPP in relation to water, thermal comfort and energy.

4.1.2 Pittwater LEP 2014

The subject site is located within the Woollahra Local Government area and is zoned “R5 Large Lot Residential” under the provisions of the *Pittwater Local Environmental Plan (2014)*.

The proposal is consistent with the objectives of the R5 Large Lot Residential” zone as it provides a housing option consistent with the density character of the locale.

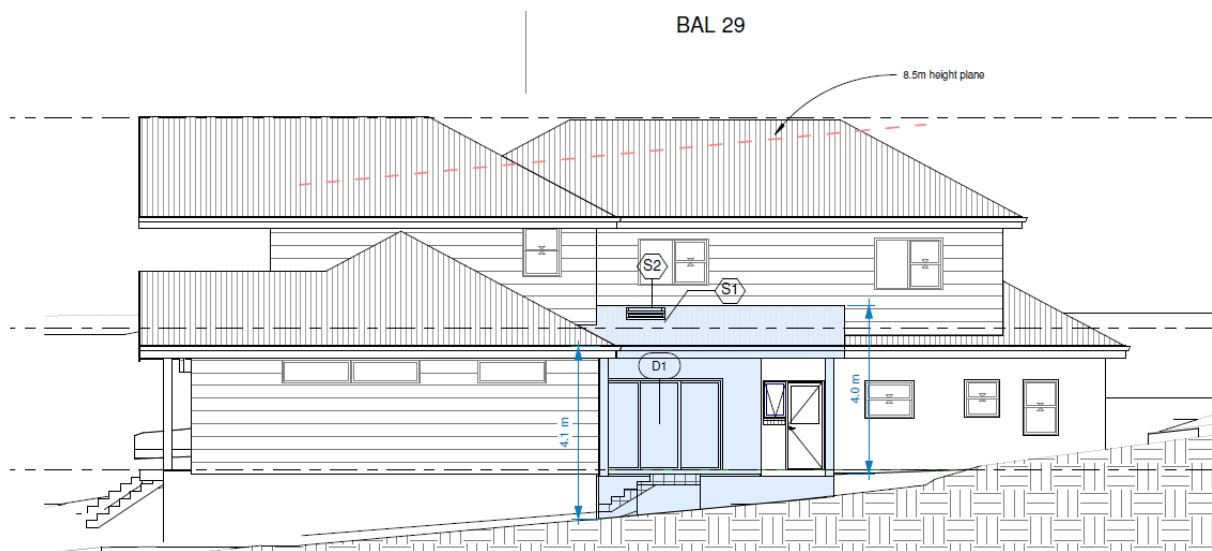


This DA proposes alterations and additions to an existing dwelling. These works are permissible uses with consent in an R5 zone. Demolition and associated site works are proposed and are also permissible with consent.

The proposal is for a residential dwelling on a residential allotment. The proposal will have minor impact on how the site interacts with any surroundings.

Height of Buildings

The proposed maximum ridge height remains unchanged as the proposed modifications have a height less than 8.5m at a height of approximately 4m.



Floor Space Ratio

The proposed modifications seek to increase the floor area. There is no maximum floor space ratio of identified for the site under the Pittwater Local Environmental Plan 2014. However, the increase to the existing floor space is minimal with a total floor area ($448\text{m}^2 / 15737\text{m}^2$) = FSR 0.3%

Bushfire

The subject site is identified as bushfire prone land. Please refer to the attached Bushfire Assessment report.

Acid Sulfate Soils

The site is identified as containing Acid Sulfate Soils Class 5. The proposed modifications will have minimal excavation and accordingly, the proposal is not within 500m of a Class 1,2,3 or 4 land that is below 5m AHD nor likely to lower the water table below 1m AHD on adjacent Class 1,2,3 or 4 land.



4.1.3 Pittwater DCP 21

Development Control Plan (DCP) 21 contains detailed provisions relating to residential development. The following table provides an assessment of the proposed development against the relevant provisions of the DCP (see Table 1).

Table 1: Proposal's Consistency with Pittwater DCP 21		
DCP Provision	Assessment	Consistency
C1.1 Landscaping All canopy trees, and a majority (more than 50%) of other vegetation, shall be locally native species.	- Existing natural vegetation to remain. More than 50% of canopy trees are native.	- Complies
In all development a range of low-lying shrubs, medium-high shrubs and canopy trees shall be retained or provided to soften the built form.	- Existing natural vegetation to be retained.	- Complies
The following soil depths are required in order to be counted as landscaping: • 300mm for lawn • 600mm for shrubs • 1metre for trees	- Existing natural vegetation to be retained. Depths of soil on the site exceed this provision.	- Complies
The front of buildings (between the front boundary and any built structures) shall be landscaped to screen those buildings from the street as follows: • 60% for a single dwelling house, secondary dwelling, rural workers' dwellings, or dual occupancy, and • 50% for all other forms of residential development.	- Proposed works are located at the rear of the existing dwelling.	- Complies
Screening shall be of vegetation (not built items), and shall be calculated when viewed directly onto the site.	- Existing landscaping along all boundaries of the property provide adequate screening and are calculable when viewed directly on site.	- Complies
In bushfire prone areas, species shall be appropriate to the bushfire hazard.	- Existing native species are found mainly on the site and are appropriate to the bushfire hazard. Refer to bushfire report for details.	- Complies
Development shall provide for the reasonable retention and protection of existing significant trees, especially near property boundaries, and retention of natural features such as rock outcrops.	- Retention of existing significant trees along all boundaries of the property provide adequate screening. Including retention of all rocky outcrops and natural features.	- Complies
Canopy trees are to be located a minimum of 5 metres from existing and proposed built structures, or minimum of 3 metres where pier and beam footings are used.	- Existing canopy trees along the Northern boundary closest to neighbouring dwelling at #5 are located within 5meters of both existing and proposed structures.	- Complies
Noxious and undesirable plants must be removed from the site	Property is well maintained, and noxious plants are cleared from the site in the appropriate manner when identified.	- Complies



C1.4 Solar access The main private open space of each dwelling and the main private open space of any adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21st. Windows to the principal living area of the proposal, and windows to the principal living area of adjoining dwellings, are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21st (that is, to at least 50% of the glazed area of those windows). Developments should maximise sunshine to clothes drying areas of the proposed development.	- The proposed modifications improve solar access to private open space by increasing the hours of sunlight between 9am and 3pm on June 21st. - The proposed modifications improve solar access to private open space by increasing the hours of sunlight between 9am and 3pm on June 21st. The proposed design modifications improve access to the existing clothes drying area.	- Complies - Complies - Complies
C1.4 Visual Privacy Private open space areas including swimming pools and living rooms of proposed and any existing adjoining dwellings are to be protected from direct overlooking within 9 metres by building layout, landscaping, screening devices or greater spatial separation as shown in the diagram below (measured from a height of 1.7 metres above floor level). Elevated decks and pools, verandahs and balconies should incorporate privacy screens where necessary and should be located at the front or rear of the building. Direct views of private open space or any habitable room window within 9m can be restricted (see diagram below) by: • vegetation/landscaping • a window sill height 1.7 metres above floor level, or • offset windows • fixed translucent glazing in any part below 1.7 metres above floor level, or • solid translucent screens or perforated panels or trellises which have a maximum of 25% openings, and which are: • permanent and fixed; • made of durable materials; and • designed and painted or coloured to blend in with the dwelling.	- The proposed extension to the existing kitchen is a dist. between 8.2m and 10.3m averaging approximately 9.25m from the Northern side boundary. The varying (average) distance is due to an irregular dwelling footprint and boundary. Furthermore, the closest neighbouring dwelling is sited more than +30meters away front their respective boundary creating ample separation. Subsequently existing vegetation along the northern boundary provides further screening. - The existing outdoor private open space at the rear of the property is orientated towards the North and towards the neighbouring property at #5. The proposed modifications re-orientate the rear POS so as to face the rear of the site, further reducing privacy concerns. There is existing dense vegetation located along the Northern boundary separating the proposed works from that of the neighbouring property. Thereby creating natural screening. - The closest neighbouring dwelling is sited more than +30meters away creating ample separation. Subsequently existing vegetation along the northern boundary provides additional screening.	- Complies - Complies - Complies



C1.7 Private Open Space

Minimum 80m² of private open space per dwelling at ground level, with no dimension less than 3 metres. No more than 75% of this private open space is to be provided in the front yard.

- The proposed works are confined to the rear of the dwelling. The proposed private open space at the rear of the dwelling is 100m² each with a greater than 3m dimension.

- Complies

Within the private open space area, a minimum principal area of 16m² with a minimum dimension of 4m and grade no steeper than 1 in 20 (5%).

- A proposed area of levelled POS is greater than 16m² (100m²).

- Complies

Dwellings are to be designed so that private open space is directly accessible from living areas enabling it to function as an extension of internal living areas.

- The proposed works improves direct access to the rear private open space where most of the sunlight is found.

- Complies

Private open space areas are to have good solar orientation (i.e. orientated to the north-east or north-west where possible). Where site or slope constraints limit optimisation of orientation, the private open space area must have access to some direct sunlight throughout the year (see Solar Access).

- The proposed works improves direct access to the rear private open space where most of the sunlight is found.

- Complies

Private open space should be located to the rear of the dwelling to maximise privacy for occupants.

- The proposed works improves direct access to the rear to maximise privacy.

- Complies

Where this open space needs to be provided to the front of the dwelling, the area should be screened from the street to ensure that the area is private.

- The proposed works are confined to the rear of the dwelling.

- Complies

A balcony located above ground level, but which has access off living areas of dwellings, can be included as private open space. The dimensions should be sufficient so that the area can be usable for recreational purposes (i.e. a minimum width of 2.4m). First floor balconies along the side boundary must be designed to limit overlooking and maintain privacy of adjoining residential properties.

- The proposed works are confined to the ground floor of the existing dwelling.

- Complies

Private open space areas should include provision of clothes drying facilities, screened from the street or a public place. Shared clothes drying facilities are acceptable.

- The proposed design modifications improve access to the existing clothes drying area.

- Complies

An accessible and usable area for composting facilities within the ground level private open space is required.

- The proposed design modifications improve access to the rear yard composting facilities.

- Complies

This assessment of the proposal against the PDCP 21 generally complies with the numeric provisions outlined in the PDCP 21. Even where the proposal departs from the PDCP the relevant objectives of the PDCP are considered to be achieved and an inconsequential environmental impact occurred.

Side Setback Assessment

The proposed dwelling complies with the DCP side setback requirement of 9m. While the ground floor extension contains minimum setback of 8.2 and 10.3m equating to an average setback of



9.25m to the northern boundary. The varying (average) distance is due to an irregular shape of the dwelling footprint and boundary. Furthermore, the closest neighbouring dwelling #5 Dendrobium Crescent is sited more than +30meters away front their respective boundary and approximately 40m from the proposed ground floor extension, creating ample separation. Subsequently existing vegetation along the northern boundary provides additional screening. Refer to figure 5.

4.1.6 AS 2601 – Demolition of Structures

Clause 92 of the EP&A Regulation designates *AS 2601-1991: The Demolition of Structures* as a prescribed matter for consideration in the determination of a development application.

All demolition work will be carried out in accordance with AS 2601. Further details on demolition practices, identification and management of hazardous substances and recycling of materials will be provided in the form of a Work Plan and a Hazardous Substances Audit and Management Plan in accordance with AS 2601 with an application for a construction certificate.

4.2 Section 4.15(1)(b) – Natural Environment Impacts

According to the Section 10.7 Certificate for the Site dated 06.03.23 the Site has been identified as being affected by bushfire. Refer to bushfire report.

Appropriate water management measures have been adopted in this development. Stormwater from new roofed areas will be fed into the existing stormwater drainage system. A concept a Site Management Plan has been prepared by Astute Architectural Drafting and are submitted along with this SEE. These plans provide concept level details of measures to minimise urban stormwater run-off and to manage the potential impacts of sediment and erosion during construction which are considered acceptable for the form of development proposed.

4.3 Section 4.15(1)(b) – Built Environment Impacts

4.3.1 Context & Setting

The proposed development is to be located on a 15,737m² existing allotment being in keeping with the typical size for the area. The subject site is well landscaped throughout.

The proposed alterations and additions are considered to be consistent with the intended character of the area and the character of the neighbouring streets. The design and style chosen is desired by the market today being of a contemporary nature using appropriate building materials which ensures that the built form will not be out of place and will not detract from the amenity of surrounding properties.

The proposal does not present any detriment to views or streetscape setting and environmental issues are considered to be satisfactorily addressed. This development application is supported by all the necessary documentation to address the relevant environmental triggers of this Plan, such as landscaping and stormwater plans.



The amenity of the neighbouring allotments has been preserved including solar access, and visual privacy. Subsequently, the proposal will not exhibit any negative impacts on the immediate surroundings of the subject site.

4.3.2 Amenity

The proposed development will significantly improve the amenity of the subject site whilst preserving the adjoining properties in relation to solar access, visual privacy and views.

The setbacks will not cause any unacceptable overshadowing of the subject site or adjoining sites. Habitable room windows have been located appropriately to maintain visual privacy. Screening device in the form of vertical louvres on certain elevations and levels have been integrated to the overall built form to minimise overlooking.

4.3.3 Trees and Vegetation

There are existing mature trees and vegetation along all boundaries and clusters of trees within the site that provides quality-deep soil comprising a compatible range of plant species in order to positively contribute to the existing character of the streetscape. The integration of soft landscaping with the built form will soften the visual appearance. Deep-soil landscaping will also provide privacy for the site and adjacent properties. Landscape plans are also provided as part of this DA.

4.3.4 Privacy

The building has been designed to afford a high degree of privacy for future occupants as well as for existing neighbouring properties. The dwelling separation and distance from neighbouring dwellings is significant. Furthermore, the existing mature trees and vegetation along all boundaries provides excellent screening and privacy.

4.3.5 Solar Access

The Site has a rear westerly aspect which affords significant opportunities for direct solar access to the north facing living rooms within the proposed dwelling and the adjoining private open space at ground level.

Accordingly, the proposal is considered acceptable with regard to solar access.

4.3.6 Waste Management

Waste management associated with construction will be undertaken by private contractor in accordance with Council's waste management requirements and the Waste Management Plan attached submitted along with this SEE.

The development is a dwelling house and ample capacity is provided in the garage storage area of the proposed dwelling to accommodate domestic waste and recycling bins in accordance with Council's requirements.

4.3.7 Construction

The proposed design will not compromise the ability of the built form to conform to the building regulations.

4.4 Section 4.15(1)(b) – Social and Economic Impacts



The proposal will enhance the appearance and quality of the existing environment of the subject site, while respecting the visual character of the residential locale. The proposal will positively respond to the streetscape and will not adversely impact neighbouring amenity or the natural environment.

The proposed development will improve an existing residential site which will provide additional residential accommodation in the locality whilst respecting the general low density character of the area. Furthermore, the proposal will provide additional short term employment opportunities during the construction phase.

Accordingly, the proposal is considered to have positive social and economic impacts.

4.5 Section 4.15(1)(c) – Suitability of the Site for Development

4.5.1 Essential Services and Infrastructure

The Site is already serviced with essential services and the proposed addition to this dwelling is not likely to result in any undue pressure on existing infrastructure.

4.6 Section 4.15(1)(d) – Submissions

The proposed development may be publicly notified in accordance with PDCP 21. Pursuant to section 4.15(1)(d) of the EP&A Act, Council will be required to give due consideration to any submissions made during that notification period.

4.7 Section 4.15(1)(e) – Public Interest

The proposal is for the addition and alteration of two storey single dwelling home which generally complies with Council's planning controls and is considered unlikely to have an adverse impact on the residential amenity of surrounding properties. Accordingly, the proposal is considered to be in the public interest.

5.0 Conclusion

This section provides an assessment of the proposal against the relevant environmental planning framework, including the *Pittwater Local Environmental Plan 2015* and the *Pittwater Development Control Plan 21*. The assessment illustrates that the proposal is consistent with the objectives and controls of the statutory framework. No adverse environmental, economic, or social impacts have been identified as resulting from the proposed development.

The proposal is permissible with consent in the R5 Large Lot Residential zone and is consistent with the relevant zone objectives. The proposed modification to the existing dwelling is coherent with the existing streetscape and preserves the amenity of dwellings in the immediate proximity of the



subject site. Setbacks and open spaces screened by mature trees will prevent overlooking and soften the appearance of the built form.

As demonstrated throughout this Statement, the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979* have been sufficiently addressed.

The proposed development proposes a minor extension to the rear of the ground floor kitchen, internal modification and a reduction and reorientation of the existing pergola and deck. Furthermore, the proposal substantially complies with the relevant requirements of Council's DCP and is considered unlikely to result in a significant adverse amenity impact on surrounding properties.

Accordingly, the development is considered to satisfactorily respond to the opportunities and constraints of the Site and the relevant legislation, is unlikely to result in adverse impacts in the locality and is worthy of Council approval.