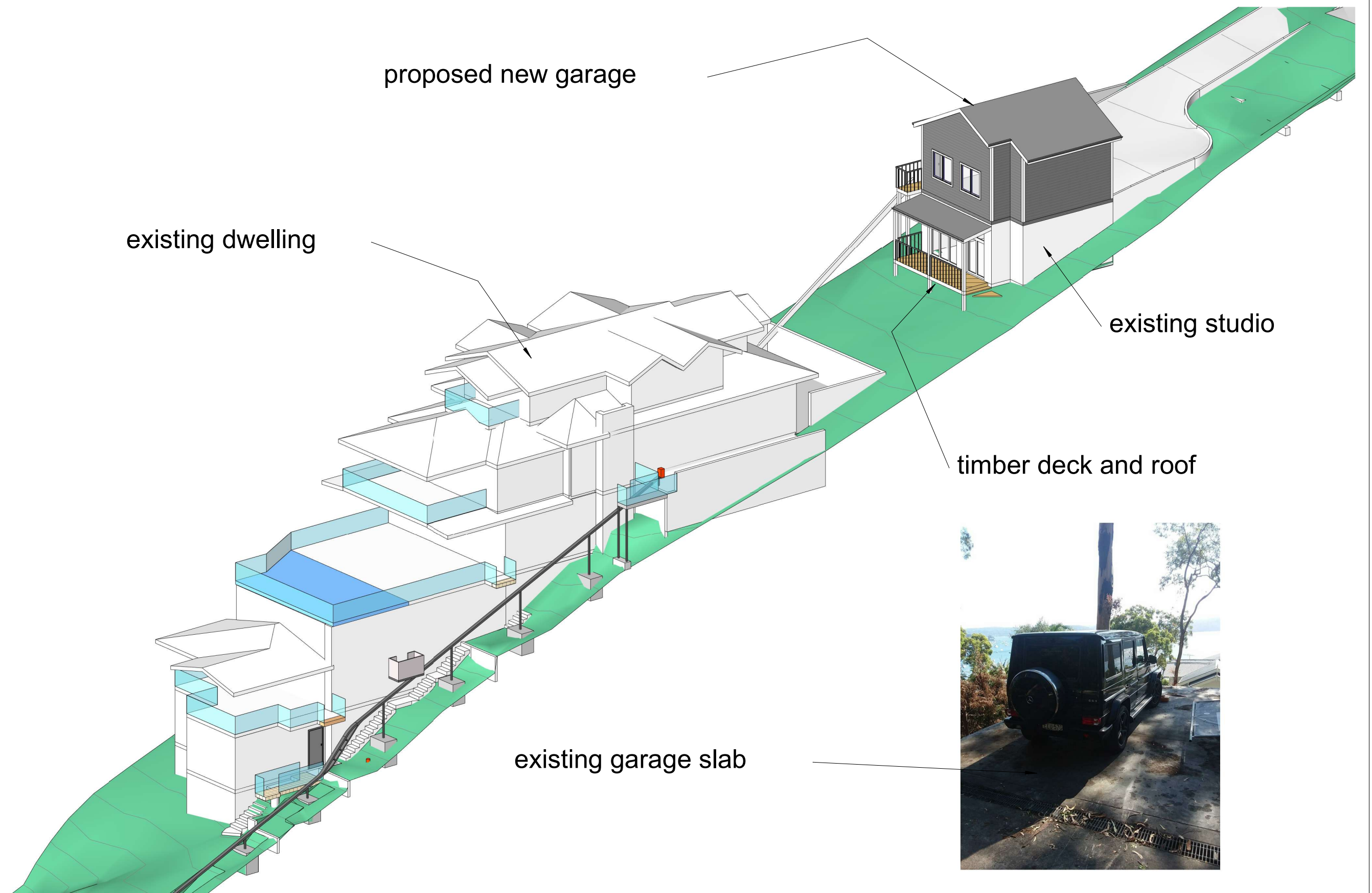
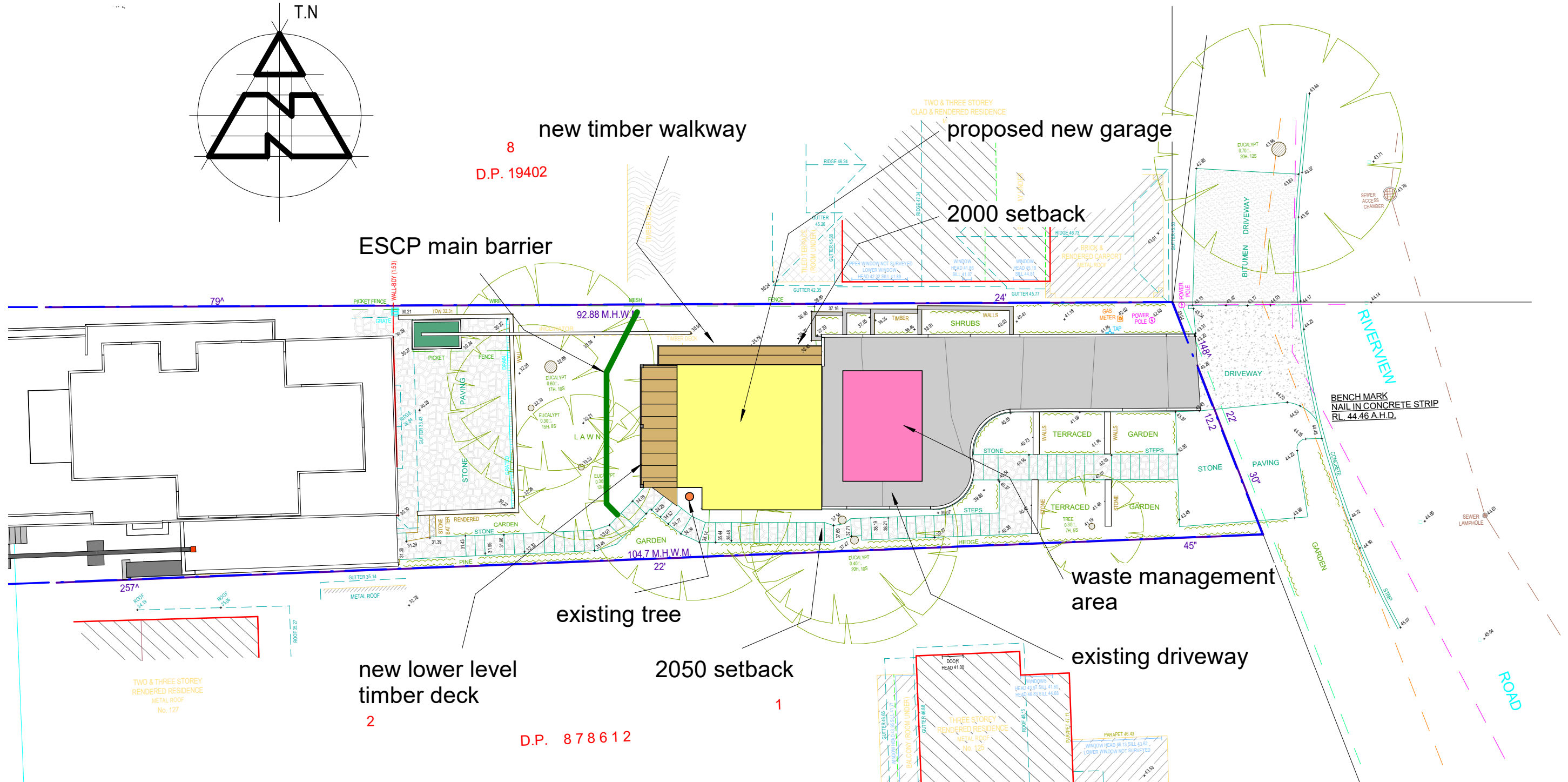
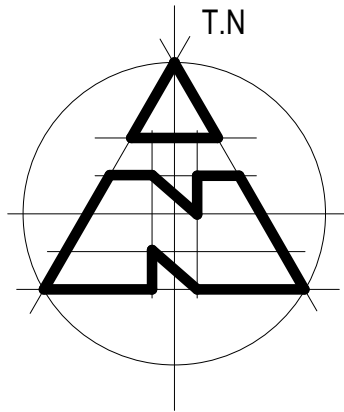




REVISION			 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownes.com.au	PROJECT	DRAWN	CHECKED
				alterations to existing dwelling at 129 Riverview rd Avalon Beach	PD	PD
				DRAWING	SCALE	DATE
				cover sheet		11.02.21
					DRG. No.	
					A3 2101 00	



REVISION



peterdownes
multi-award winner
77 Riviera Ave, Avalon Beach 2107 0488 662 445
www.peterdownes.com.au

PROJECT

alterations to existing dwelling at 129
Riverview rd Avalon Beach

DRAWING

site plan

DRAWN

PD

SCALE

1 : 200

DRG. No.

A3

2101

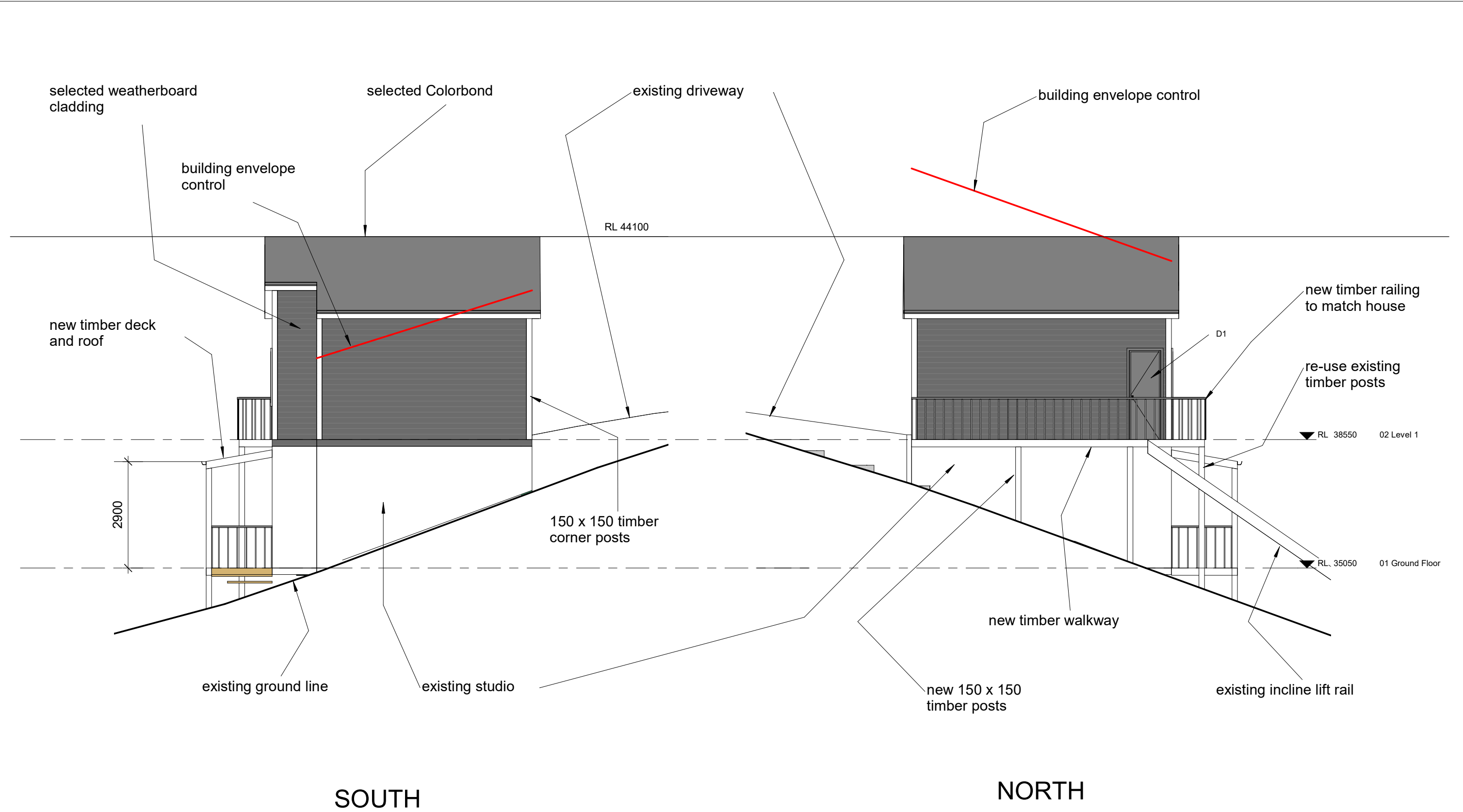
CHECKED

PD

DATE

11.02.21

01



REVISION

BUILDING
DESIGNERS
AUSTRALIA NSW



peterdownes

multi-award winner

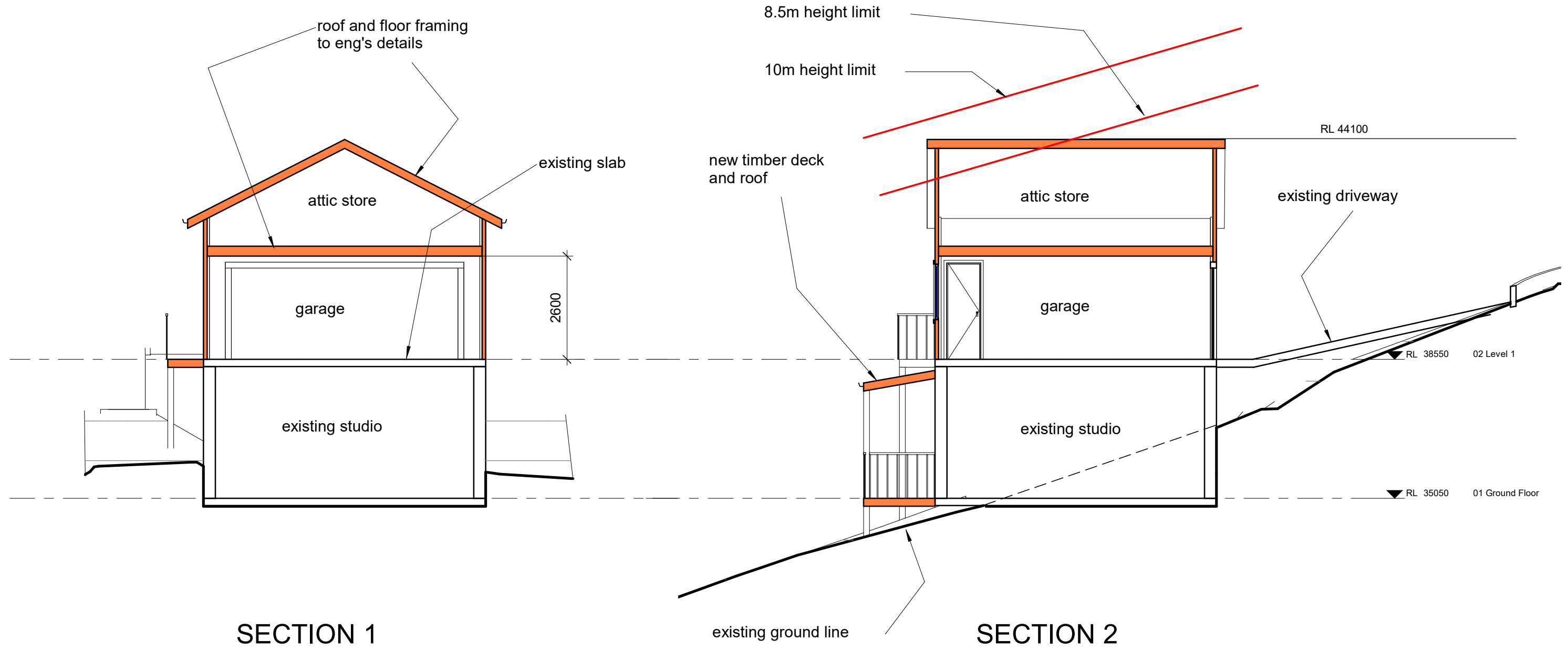
designs

77 Riviera Ave, Avalon Beach 2107

0488 662 445

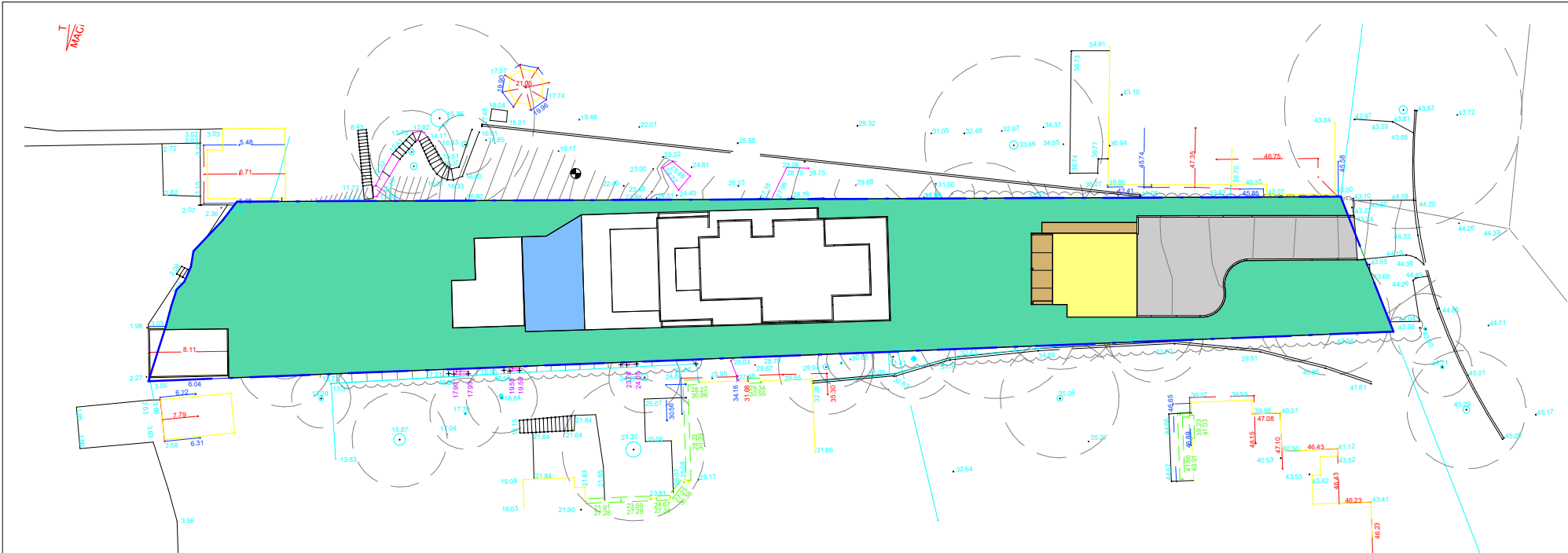
www.peterdownes.com.au

PROJECT	alterations to existing dwelling at 129 Riverview rd Avalon Beach	
	DRAWN	CHECKED
	PD	PD
DRAWING	SCALE	DATE
	1 : 100	11.02.21
	DRG. No.	
north and south elevations		
A3 2101 03		



REVISION

BUILDING
DESIGNERS
AUSTRALIA NSW



total site area = 1201 m2

landscaped area = 795 m2 = 66%

BUILDING NOTES:

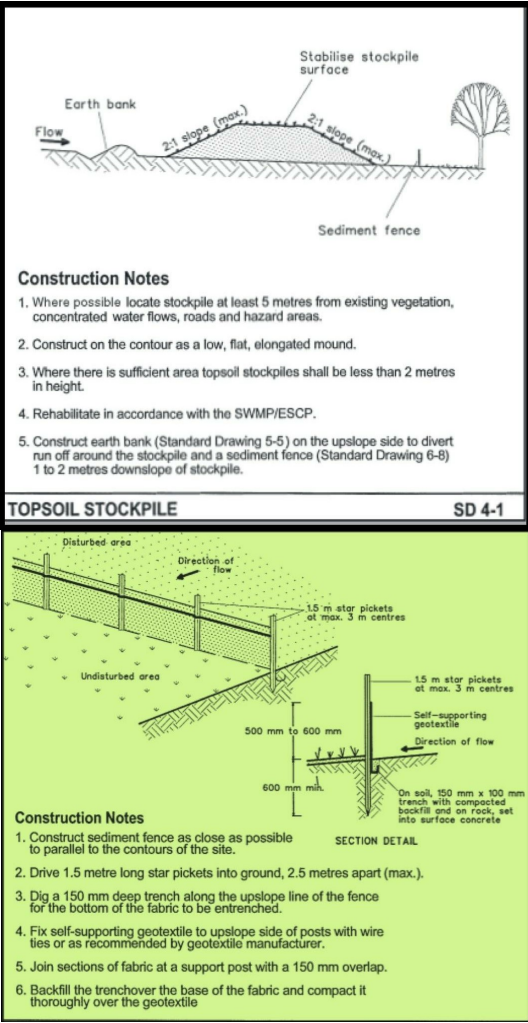
- All work to be carried out by suitably licensed and qualified tradesmen, and to comply with all relevant standards and Councils requirements.
- Main contractor to be responsible for obtaining all necessary inspection certificates.
- An approved sedimentation control system is to be installed and maintained for the duration of the contract (refer to ESCP).
- Smoke alarms are to be fitted in accordance with Building Code of Australia requirements.
- Termite protection is to be in the form of a physical barrier (eg Termimesh or similar) - no chemical barriers to be used.

WINDOW AND DOOR SCHEDULE

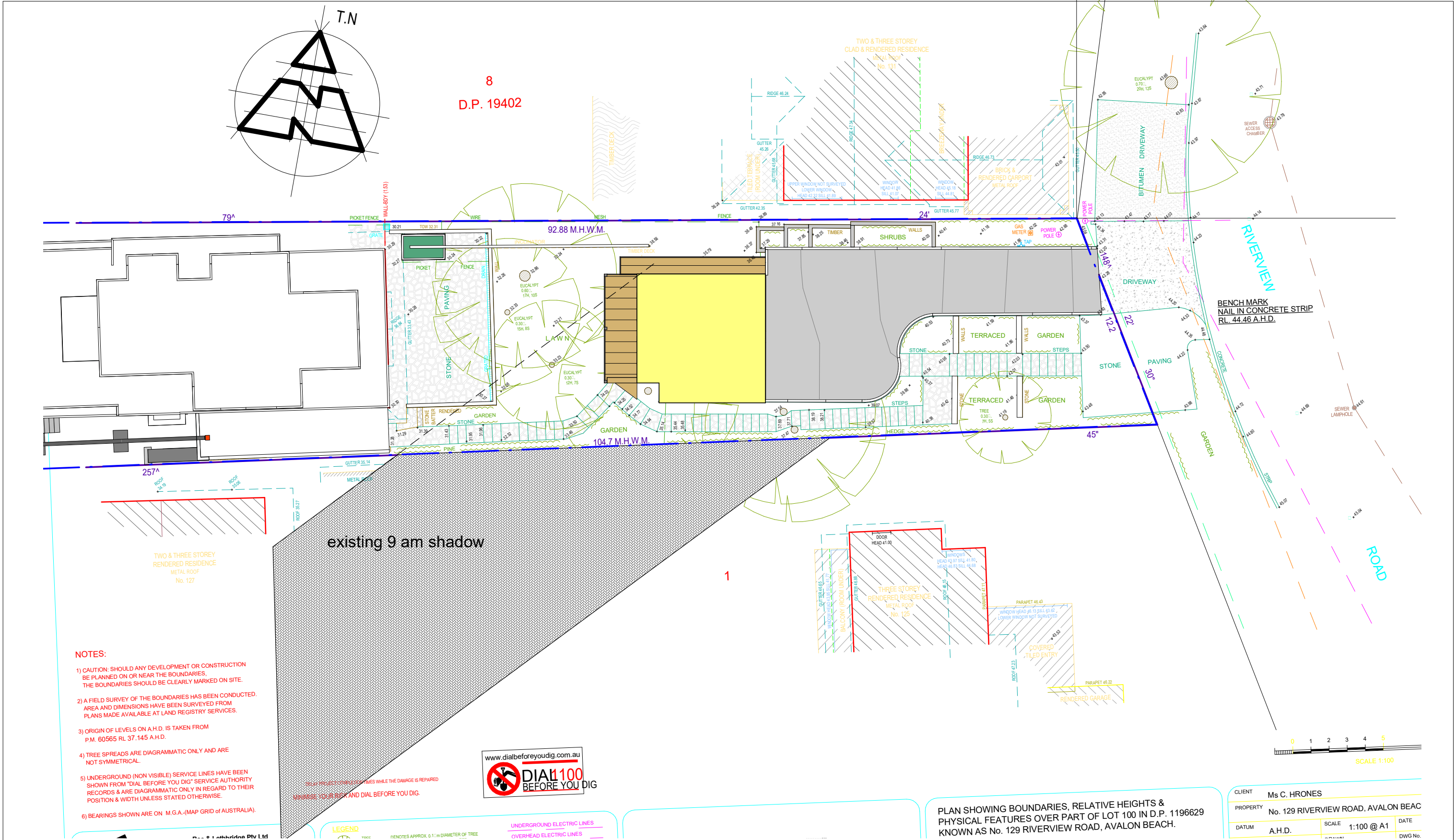
W1	1600w x 1400h	timber sliding
W2	1600w x 1400h	timber sliding
D1	820 x 2400	selected timber door

EROSION AND SEDIMENT CONTROL PLAN

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
3. Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner.
4. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. Builder to confirm the locations of barrier fences and stockpiles onsite, see suggested main barrier fence location on site plan.
7. Sediment fences and stockpiles to be constructed in accordance with modern standards and the diagrams seen to the left.
8. Due to the steeply sloping site, special care will be taken to prevent sediment runoff into existing drains or the waterway.
9. Note that due to the constraints of the site, barriers may need to be relocated during construction.
10. All ESCP measures are to be installed and managed in accordance with Landcom's Managing Urban Stormwater: *Soils and Construction* 2004.



REVISION			 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownes.com.au	PROJECT alterations to existing dwelling at 129 Riverview rd Avalon Beach	DRAWN PD	CHECKED PD
					SCALE 1 : 500	DATE 11.02.21
				DRAWING landscaping calcs, ESCP, notes	DRG. No.	
					A3	2101 06



NOTES:

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED. AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 60565 RL 37.145 A.H.D.
- 4) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 5) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 6) BEARINGS SHOWN ARE ON M.G.A.-(MAP GRID of AUSTRALIA).



LEGEND

NOTES APPROX. 0.1m DIAMETER OF TREE

UNDERGROUND ELECTRIC LINES
OVERHEAD ELECTRIC LINES

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER PART OF LOT 100 IN D.P. 1196629 KNOWN AS No. 129 RIVERVIEW ROAD, AVALON BEACH.

CLIENT	Ms C. HRONES		
PROPERTY	No. 129 RIVERVIEW ROAD, AVALON BEACH		
DATUM	A.H.D.	SCALE 1:100 @ A1	DATE
			DWG No.

REVISION

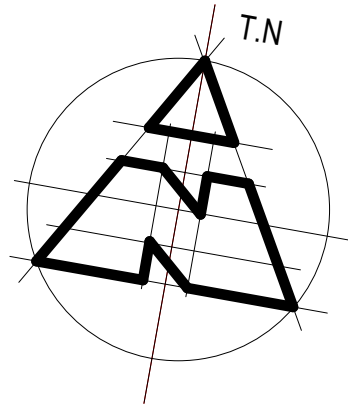


peterdownes
multi-award winner
77 Riviera Ave, Avalon Beach 2107 0488 662 445
www.peterdownes.com.au

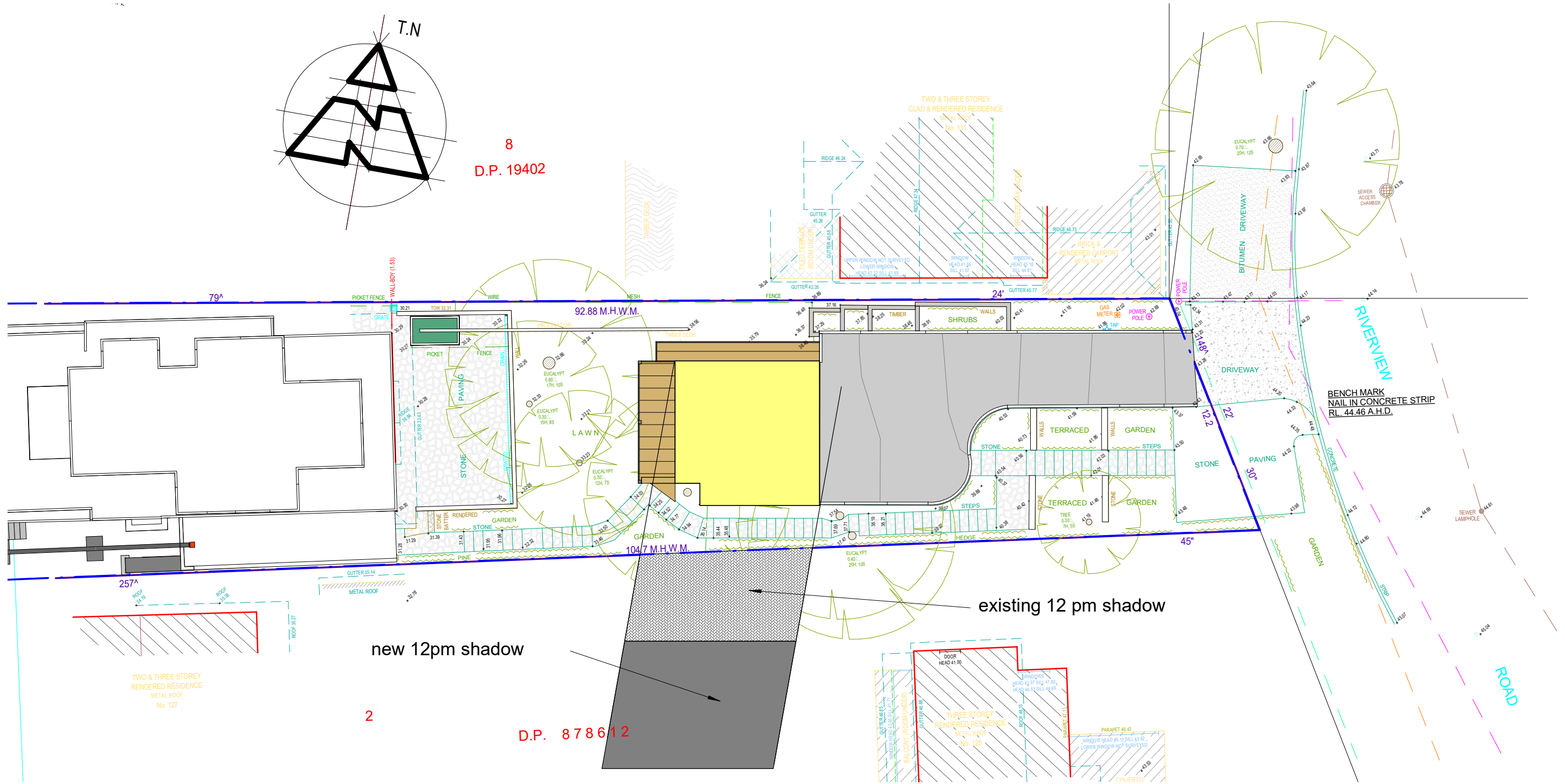
PROJECT
alterations to existing dwelling at 129 Riverview rd Avalon Beach

DRAWING
9am shadows 21.6

DRAWN	CHECKED
PD	PD
SCALE	DATE
1 : 200	04/22/21
DRG. No.	
A3 2101	07



8
D.P. 19402



REVISION



peterdownes
multi-award winner designs

77 Riviera Ave, Avalon Beach 2107

0488 662 445

www.peterdownes.com.au

PROJECT

alterations to existing dwelling at 129
Riverview rd Avalon Beach

DRAWING

12pm shadows 21.6

DRAWN

PD

SCALE

1 : 200

DRG. No.

A3

CHECKED

PD

DATE

11.02.21

2101

08

SCHEDULE OF EXTERNAL FINISHES – 129 RIVERVIEW RD, AVALON

ROOF

COLORBOND “ WOODLAND GREY ”



WALLS

WATTLE SOLAGARD “ GRAVEL CHIP ”

