



Warringah Council

Application for Street Levels

Made under the Roads Act 1993 (Section 138)

Address the application to:

- ☐ The General Manager
Warringah Council
Civic Centre, 725 Pittwater Road
Dee Why NSW 2099

Or

- ☐ Customer Service Centre
Warringah Council
DX 9118 Dee Why

If you need help lodging your application:

- ☐ Phone our Customer Service Centre
on (02) 9942 2111

Or

- ☐ Come in and talk to us

Office Use Only

RN100146629

September 11

For applicable fees and charges, please refer to Council's website: www.warringah.nsw.gov.au or contact our Customer Service Centre

Privacy and Personal Information Protection Notice

The personal information requested in this form is required by or under the Roads Act 1993 (Section 138) and will only be used by Warringah Council in connection with the requirements of that Act and any other relevantly applicable legislation relating to the subject-matter of this application. The information is being collected for the following purposes, namely, to enable us to (1) process and determine your application; (2) contact you in relation to your application should that be necessary; and (3) keep the public informed by making the application publicly accessible. If you do not provide the information, Council will not be able to process your application, and Council may even have the right to reject your application.

Your application will be available to Councillors and Council Officers. Members of the public have certain rights of access to information and documents held by Council under the Government Information (Public Access) Act 2009 (GIPA), and under the Privacy Information Protection Act 1998 (NSW) to the extent permitted by those Acts

Warringah Council is to be regarded as the agency that holds the information, which will be stored on Council's records management system or in archives and may be displayed on DAs Online (except as regards to personal particulars). You have a right to access information within the meaning of the Privacy and Personal Information Protection Act 1998 (NSW) on application to Council, and to have that information updated or corrected as necessary. Please contact Warringah Council if the information you have provided is incorrect or changes or if access is otherwise sought to the information. In addition, a person may request that any material that is available (or is to be made available) for public inspection by or under the Local Government Act 1993 (NSW) be prepared or amended so as to omit or remove any matter that would disclose or discloses the person's place of living if the person considers that the disclosure would place or places the personal safety of the person or of members of the person's family at risk. Any such request must be made to Council's General Manager: see s.739 of the Local Government Act 1993 (NSW).

PART 1 Subject Land

Subject land

Residential ☐

Industrial ☒

Multi-residential ☐

Please tick a box

Address

22 CLEARVIEW PL
BROOKVALE
Postcode 2100

Development application number (if applicable)

DA2010/1906

PART 2 Applicant Details

Applicant details

It is important that we are able to contact you if we need more information.

Please give us as much detail as possible.

Mr ☐

Mrs ☐

Ms ☐

Other ☐

Full family name (no initials) (or company)

R J KING INVESTMENTS P/L

Full given names (no initials) (or A.C.N)

117 451 475

Postal address

We will post all letters to this address

PO Box 112
BROOKVALE Postcode 2100

Phone number

() 9938 0644

Alternate

()

Mobile number

0412 205507

Facsimile

()

PART 3 Application

For levels and supervision fee refer to Council's fees and charges

Construction of any kind (including excavation) must be carried out by contractors authorised by Council.

The finish must be plain concrete.

The standard vehicular crossing width is 3 metres.

I/we hereby apply for street levels at the above address for the purpose of:

Having a new vehicular crossing slab constructed

Having an existing vehicular crossing slab re-constructed

Constructing a drive within the property to the street boundary

Constructing a footpath adjacent to the property

Street access from

Width of vehicular crossing

CLEARVIEW PL

12.5 m

Please tick



Vehicle crossings shall be constructed with plain broom finished concrete, or approved equivalent. All cosmetic/decorative treatments, including but not limited to, asphalt, paved, coloured, exposed aggregate, stamped, stencilled and post construction treatments are prohibited. Failure to comply with this requirement may result in demolition of the crossing and reconstruction of the crossing to Council standard, with all costs borne by the applicant.

Part 6 - Inspection Report

6.1 Work required

Please tick where applicable

Remove

☐

Kerb ___ m

☐

Gutter ___ m

☐

Gutter Crossing ___ m

☐

Foot paving ___ m x ___ m wide

☐

Other

6.2 Construct

Please tick where applicable

Construct

☐

Kerb ___ m

☐

Gutter ___ m

☐

Gutter Crossing ___ m

☐

Foot paving ___ m x ___ m wide

☐

Footpath Crossing Slab ___ m long x ___ m wide x ___ m wide

☐

Other

General remarks

Inspected by

--

Date ___ / ___ / ___

PART 4 Site Sketch

Site sketch

Please note that except in exceptional circumstances, no more than one vehicular access is permitted per dwelling.

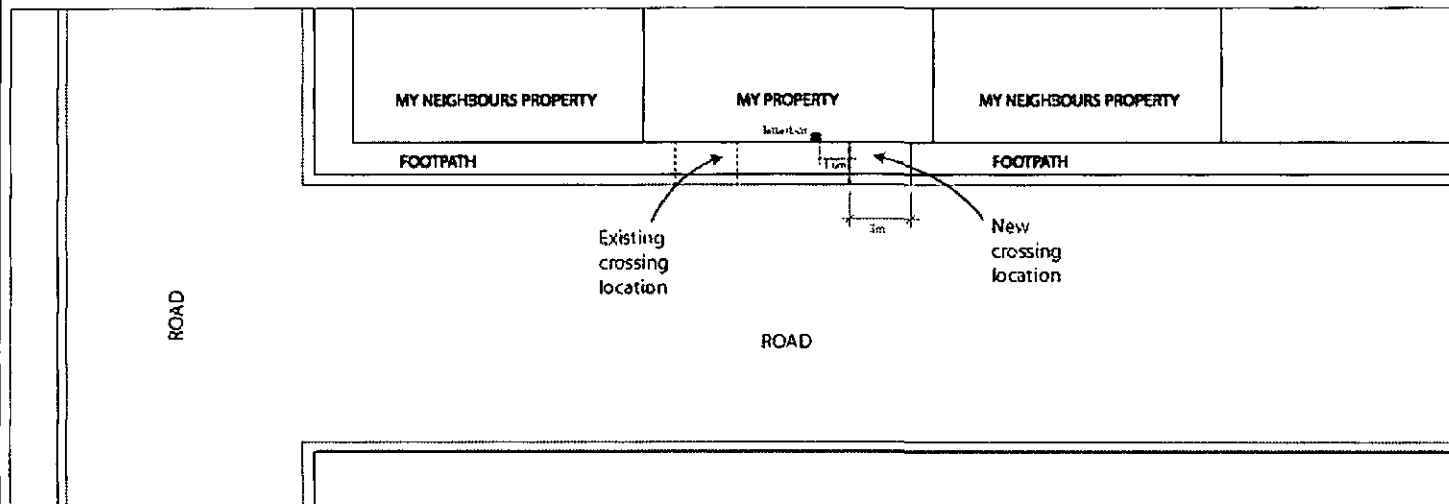
Construction must not encroach beyond side boundary without written permission of adjoining owner

Use the space below to sketch the location of new vehicular footpath crossing(s).

Provide as much detail as possible and include dimensions to property fences, buildings or other fixed objects.

Copies of reduced DA plans may be attached to the application in lieu of a sketch.

Example:



Large empty space for drawing or sketching the site plan.

PART 5 Applicant(s) Signature

Signature of applicant(s)

Applicant(s) signature

7

Date 24/11/11



EXISTING FIRE
RATED WALLS

ADJOINING
BUILDINGS

d. EXISTING FACTORY
684 m²
EXISTING RL 14.65

c. EXISTING FACTORY
2204 m²
EXISTING RL 16.55

b. REPLACEMENT FACTORY
NEW RL 17.50 - 1520 m²
(EXIST PL 16.55) REFER TO SK 01

a. 2 STOREY OFFICES
NEW RL 17.40 - 630m²
(EXIST PL 16.55) REFER TO SK 01
GROUND LEVEL RL 15.00

- LEGEND**
- GRASS/GROUND COVER - REFER ARCHITECT'S REPORT AND LANDSCAPE DRAWINGS FOR DETAILS
 - NEW LANDSCAPING
 - EXISTING LANDSCAPING
 - RETAINED TREE
 - REMOVED TREE
 - NEW PLANTING
 - NEW FINISHED SURFACE LEVEL

CREATE NEW EXIT
LANDING AND STEPS
AT EXISTING DOOR

RETAINING WALL TO EDGE
OF CAR PARK SLAB REFER
SECTION B/1

EXISTING PARKING
RECONFIGURED AT NEW
LEVELS AS SHOWN

LANDSCAPED AREA
SEE DETAIL

NEW SUBSTATION ENCLOSURE
APPROX 3m x 55m
FINAL LOCATION SUBJECT
TO CONSULT AUTHORITIES

SEWER BANK DOWN AT
ROAD IN CAR PARK ROAD

EXISTING CROSSOVER REMOVED
CHANNEL FOR GUTTER AND KERB
TO MATCH EXISTING

4500mm SEWER LAY

SITE PLAN
SCALE 1:250

CAR PARK DAY SCHEDULE			
DAY	WIDTH	LENGTH	ABLE
1-15	2.4m	5.4m	> 6.7m
15-21	2.6m	5.4m	5.4m
22-28	2.5m	5.4m	5.3m
29	3.7m	5.4m	5.3m

NEW CROSSOVER TO
CANAL ENDS SPEC

NEW SECURITY FENCING TO
ENTRY GATES
REFER CLAY P ON SHEET 12

TREES TO BE
REMOVED - REFER
ARCHITECT'S REPORT

CLEARVIEW

EXISTING ENTRY
REMOVED

EXISTING TREES
RETAINED

RAISED DISMOUNT
ACCESS TO EXISTING
BRIDGE

LOADING DOCK (HYDRAULIC)
RL 17.50-17.80

LOADING DOCK

LINE OF EXISTING BUILDING

6m x 4m ROLLER
SHUTTERS

NEW RAISED TERRACE

NEW FENCE TO RL 20.50

EXISTING RETAINING WALL
APPROX 2m HIGH

CANTILEVERED COVERED VEHICLE
CARPORTS, CLAD ALONG BOUNDARY
(3.7m HIGH) COLORBOND ROOF SHEETING
- REFER SECTIONS FOR DETAILS

STEEL FRAME TO
ENGINEER'S DETAILS

EXISTING DITCH/EN
APPROX

EXISTING RETAINING WALL
APPROX 1m HIGH

REGRASS NEW PAVING SURFACE
OUTWARDS FROM RL 15.55 AND 16.50 TO
MEET EXISTING FINISHED LEVELS

LINE OF EXISTING KERBS TO
BE REMOVED

CONSTRUCTION INTERFACE
ZONE 200-150mm WIDE
CONFIRM ON SITE

EXISTING SWITCHROOM
REPLACED WITH TWO
AIR GARAGE

EXISTING CARPENTER
COTTAGE RETAINED

THIS PLAN IS TO BE READ
IN CONJUNCTION WITH

DA 2010 / 1906

WARRINGAH COUNCIL

PLACE PROPOSED NEW WIDTH TO
PROVIDE SUITABLE LARGE
VEHICLE ACCESS

5000
EXIST

10765 AT EBY
NEW

FRAME EXISTING
NUTTEN ROAD BRIDGE
WITH NEW CONCRETE
CRIBWAY AS SHOWN

SCALE 1:250

Do not scale any dimensions directly from this drawing. All dimensions shall be taken from the original drawing. If any discrepancy arises between the drawing and the original, the original shall prevail.

Architects

ACN 964 671 716

10 Kerry Close Bayside NSW 2084 Australia
Phone (02) 9453 3434 Fax (02) 9451 0071

R J KING INVESTMENTS PTY LTD
NEW OFFICE AND FACTORY
22 CLEARVIEW PLACE,
BROOKVALE

SITE PLAN

OCT, 2009 1:250 A1 21002 DA 01 / E