

Drawn GJJ	Date 20/10/2021	Status			
Checked MLL	Date 20/10/2021	FOR CONSTRUCTION			
Designed MLL	Date 20/10/2021				
Verified RFA	Date 20/10/2021	DATUM A.H.D	DATE 20/10/2021	Scale N.T.S	Size A1
Approved		Drawing Number 256773_CDA_CC2_000_1001			Revision 4
RFA	20/10/2021				



## GENERAL

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH FORMER WARRINGAH COUNCIL STANDARDS AND AUSPEC 1.

## SITEWORKS NOTES

- ORIGIN OF LEVELS:- REFER SURVEY NOTES.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO CARDNO.
- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
- PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
- ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S. SPECIFICATION R116.
- ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051, COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m<sup>2</sup> OF BASECOURSE MATERIAL PLACED.
- ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051, AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH A S 1289 5.2.1 FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m<sup>2</sup> OF SUB-BASE COURSE MATERIAL PLACED.
- WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

## BULK EARTHWORKS NOTES

- ORIGIN OF LEVELS: REFER SURVEY NOTES
- REFER TO GEOTECHNICAL REPORT PREPARED BY CARDNO FOR SITE PREPARATION REQUIREMENTS DATED 26 NOVEMBER 2018.
- STRIP ALL TOPSOIL/ORGANIC MATERIAL FROM CONSTRUCTION AREA AND REMOVE FROM SITE OR STOCK PILE AS DIRECTED BY SUPERINTENDENT.
- EXCAVATED MATERIAL TO BE USED AS STRUCTURAL FILL PROVIDED THE PLACEMENT MOISTURE CONTENT OF THE MATERIAL IS +/- 2% OF THE OPTIMUM MOISTURE CONTENT.
- COMPACT FILL AREAS AND SUBGRADE TO NOT LESS THAN:

LOCATION	STANDARD DRY DENSITY (AS 1289 E 5.1.1.)
UNDER BUILDING SLABS ON GROUND	98%
UNDER ROADS AND CARPARKS	98%
LANDSCAPED AREAS UNLESS NOTED OTHERWISE	95%
- FOR NON COHESIVE MATERIAL, COMPACT TO 75% DENSITY INDEX.
- BEFORE PLACING FILL, PROOF ROLL EXPOSED SUBGRADE WITH AN 12 TONNE (MIN) DEADWEIGHT SMOOTH DRUM VIBRATORY ROLLER TO DETECT THEN REMOVE SOFT SPOTS (AREAS WITH MORE THAN 2mm MOVEMENT UNDER ROLLER).
- FREQUENCY OF COMPACTION TESTING SHALL BE NOT LESS THAN :-  
(A) 1 TEST PER 500m<sup>2</sup> OF FILL PLACED PER 300 LAYER OF FILL.  
(B) 3 TESTS PER VISIT  
(C) 1 TEST PER 1000m<sup>2</sup> OF EXPOSED SUBGRADE "LEVEL 1" TESTING SHALL BE TESTING IN ACCORDANCE WITH AS 3798 (2007).
- FILLING TO BE PLACED IN MAXIMUM 150mm - LOOSE LAYERS AND COMPACTED AS SPECIFIED
- NO FILLING SHALL TAKE PLACE TO EXPOSED SUBGRADE UNTIL THE AREA HAS BEEN PROOF ROLLED IN THE PRESENCE OF CARDNO AND APPROVAL GIVEN IN WRITING THAT FILLING CAN PROCEED.

## EROSION AND SEDIMENT CONTROL NOTES

### GENERAL INSTRUCTIONS

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL, NSW OFFICE OF WATER AND OFFICE OF ENVIRONMENT AND HERITAGE. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR, AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
- THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED OR AS OTHERWISE DIRECTED BY THE SUPERINTENDENT.  
ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH  
a. LOCAL AUTHORITY REQUIREMENTS  
b. EPA REQUIREMENTS  
c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004.
- MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
- CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
- LAND DISTURBANCE
  - WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
    - INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
    - CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
    - INSTALL SEDIMENT BASIN AS SHOWN ON PLAN (D). INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
    - UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS, WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

### EROSION CONTROL

- DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.

- FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

### SEDIMENT CONTROL

- STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
- ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.
- ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
  - PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
  - ENSURING THAT NOTHING IS NAILED TO THEM
  - PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
    - ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER
    - A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
    - CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.

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## STORMWATER DRAINAGE NOTES

### 1. STORMWATER DESIGN CRITERIA:

- PUBLIC STORMWATER DESIGNED TO NORTHERN BEACHES COUNCIL'S WATER MANAGEMENT POLICY, NORTHERN BEACHES COUNCIL'S ON-SITE STORMWATER DETENTION TECHNICAL SPECIFICATION AND AUSTRALIAN RAINFALL AND RUNOFF 2016.
  - PRIVATE STORMWATER DESIGNED TO AS3500 - PLUMBING AND DRAINAGE.
- PIPES 375 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O.
  - PIPES 300 DIA AND LESS SHALL BE DWV GRADE (CLASS SN8) uPVC WITH SOLVENT WELDED JOINTS.
  - EQUIVALENT STRENGTH FRC PIPES MAY BE USED.
  - ALL PIPES ARE TO BE UNIFORMLY SUPPORTED ALONG THE LENGTH OF THE BARREL BY SUITABLE FILL MATERIAL. REFER TO BEDDING SUPPORT TYPE.
  - PIPES WITH SOCKETS SHALL BE LAID IN BEDDING WHERE SUITABLE RECESSES HAVE BEEN PROVIDED TO ENSURE PIPES DO NOT BEAR ON THEIR SOCKETS.
  - ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE GRADE 6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.
  - PIPES TO BE INSTALLED TO TYPE HS1 SUPPORT IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75).
  - REFER TO AS/NZS 3725:2007 TABLE B1 FOR REQUIRED FILL DEPTHS ABOVE PIPE BARREL PRIOR TO USE OF COMPACTION MACHINERY OR TRAVERSING OF PIPES BY GENERAL SITE EQUIPMENT.
  - WHERE WORKING METHODS REQUIRE HIGHER CLASS PIPE, THE CONTRACTOR SHALL REFER TO AS 3725 (2007) TO DETERMINE THE APPROPRIATE PIPE CLASS. PROPOSED PIPE CLASS SHALL BE REVIEWED BY CARDNO PRIOR TO INSTALLATION.

- ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3:2015.

- PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY CARDNO.

- ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.

- WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED.

- CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.

- GRATES AND COVERS SHALL CONFORM TO AS 3996.

- AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.

- ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

## EXISTING UNDERGROUND SERVICES NOTES

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM CARDNO SURVEY DATED APRIL 2017, UTILITY MAPPING TRACING SURVEY DATED OCTOBER 2019, SERVICE AUTHORITY INFORMATION AND ORIGINAL DEVELOPMENT PLANS. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. CARDNO CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY. CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS. CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

## TELSTRA - DUTY OF CARE NOTE

TELSTRA'S PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND TELSTRA DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY. THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR TELSTRA CABLES AND PLANT. BEFORE USING MACHINE EXCAVATORS TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLING TO IDENTIFY ITS LOCATION. TELSTRA WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO ITS PROPERTY AND LOSSES CAUSED TO TELSTRA AND ITS CUSTOMERS.

## SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARDNO, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT CARDNO. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

### NOTES

- THIS PLAN IS PREPARED FOR LEND LEASE FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED BY THE AUTHOR AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD MEASUREMENT.
- A SERVICES SEARCH OF THE AREA SURVEYED ABOVE HAS NOT BEEN UNDERTAKEN.
- VISBLE SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

### LEGEND

	ELECTRICITY BOX		FOREST WAY SURVEY:
	ELEC. CABLE MARKER		LIGHT POLE
	POWER POLE WITH LIGHT		ELECTRICAL PILLAR
	LIGHT POLE		ELECTRICAL PIT
	ELECTRICITY PIT		STREET SIGN
	WATER TAP		COMMUNICATIONS PIT
	WATER HYDRANT		SEWER PIT
	WATER AIR VALVE		TRAFFIC SIGNALS
	IRRIGATION CONTROL VALVE		TRAFFIC SIGNALS PIT
	WATER METER		
	SEWER MANHOLE		
	SEWER LAMPHOLE		
	UNCLASSIFIED PIT		
	DRAINAGE PIT		
	COMMUNICATIONS PIT		

	CONTOUR MAJOR
	BOUNDARY SUBJECT
	EASEMENT
	BUILDING EDGE
	GUTTER / RIDGE LINE / AWNING
	RETAINING WALL BOTTOM
	RETAINING WALL TOP
	CROWN OF ROAD
	EDGE OF BITUMEN INFORMATION
	FENCE
	NATURAL SURFACE STRING
	TOE OF BANK
	TOP OF BANK
	DRAINAGE LINE

## PROPOSED WORKS LEGEND

	EXTENT OF WORK
	PROPERTY BOUNDARY
	PROPOSED CONTOUR
	BATTER
	STRUCTURAL RETAINING WALL
	ROLL KERB AND GUTTER REFER DRG 1601 FOR DETAIL
	ROLL KERB REFER DRG 1601 FOR DETAIL
	KERB AND GUTTER REFER DRG 1601 FOR DETAIL
	KERB AND TOE REFER DRG 1601 FOR DETAIL
	ROLL KERB AND TOE REFER DRG 1601 FOR DETAIL
	KERB ONLY REFER DRG 1601 FOR DETAIL
	MOUNTABLE KERB REFER DRG 1601 FOR DETAIL
	ELSHOLZ KERB REFER DRG 1601 FOR DETAIL
	BARRIER KERB AND GUTTER REFER DRG 1601 FOR DETAIL
	BARRIER KERB AND TOE REFER DRG 1601 FOR DETAIL
	DISH DRAIN REFER DRG 1601 FOR DETAIL
	VEHICLE CROSSING. REFER TO WARRINGAH COUNCIL STANDARD DETAIL (A4-2276/B)
	IN-LINE KERB RAMP. REFER TO AS1428.1-2009 FIGURE 24(C).
	INSERTED KERB RAMP. REFER TO AS1428.1-2009 FIGURE 24(A).
	FENCE TO LANDSCAPE ARCHITECT DETAIL
	FLOW DIRECTION
	STORMWATER PIPE
	PIPE DIAMETER
	SUBSOIL DRAINAGE LINE TO WARRINGAH COUNCIL STANDARD DETAIL (A4 - 10533)
	DRAINAGE CAP
	FLUSHING POINT
	KERB INLET WITH LINTEL
	JUNCTION PIT
	GRATED INLET PIT
	DRAINAGE PIT LABEL
	SCOUR PROTECTION

## CONCRETE NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- CONCRETE QUALITY  
ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 Fc MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE KERBS, PATHS, AND PITS	32 25	60 80	20 20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL  
- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379.

- NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY CARDNO.
- CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
- ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S. SPECIFICATION R83.
- REINFORCEMENT SYMBOLS:  
N DENOTES GRADE 450 N BARS TO AS 1302 GRADE N  
R DENOTES 230 R HOT ROLLED PLAIN BARS TO AS 1302  
SL DENOTES HARD-DRAWN WIRE REINFORCING FABRIC TO AS 1304

NUMBER OF BARS IN GROUP

BAR GRADE AND TYPE

NOMINAL BAR SIZE IN mm

SPACING IN mm THE FIGURE FOLLOWING THE FABRIC SYMBOL SL IS THE REFERENCE NUMBER FOR FABRIC TO AS 1304.

Rev.	Date	Description	Des.	Verif.	Appd.
6	15/10/2021	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
5	21/01/2021	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
4	24/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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Client <b>LENLEASE</b>	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2	Status <b>FOR CONSTRUCTION</b>
Title GENERAL NOTES & LEGENDS		DATUM A.H.D
		DATE 16/06/2020
		Scale N.T.S
		Size A1
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Drawn GJI	Date 19/10/2021.	Client <b>LENLEASE</b>				
Checked MLL	Date 19/10/2021.	Project GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2	Status <b>FOR CONSTRUCTION</b>			
Designed MLL	Date 19/10/2021.	Title GENERAL ARRANGEMENT PLAN	DATUM A.H.D	DATE 19/10/2021.	Scale AS SHOWN	Size A1
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XREFs: XR-80218079-01-CL-CONTROL; XR-80218079-01-CL-BOUNDARY; XR-80218079-01-CL-SURVEY; XR-80218079-01-CC2-CL-RETAINING WALL CONTROL AND PLAN; XR-80218079-01-CC2-CL-SED AND EROSION; XR-80218079-01-CC2-CL-FOREST WAY SURVEY; XR-80218079-01-CC2-CL-DESIGN; XR-80218079-01-CC2-CL-DRAINAGE - 1, 500  
CAD File: \\cardno\cpg\ba\AUS\NSW\Drawings\Build\Stage 01 CC2\256773\_CDA\_CC2\_000\_1101 SOIL AND WATER MANAGEMENT PLAN.dwg  
DATE PLOTTED: 19 October 2021 6:53 AM BY: SUE LAY YOUNG

LEGEND

DIVERSION BANK AND CHANNEL

SF

SF

SEDIMENT FENCE

EXTENT OF WORK

STABILISED ACCESS AND TRUCK WASH DOWN

INDICATIVE STOCK PILE LOCATION

SEDIMENT TRAP FOR KERB INLET (ON GRADE - SANDBAG)

SEDIMENT TRAP FOR DROP INLET

SANDBAG SEDIMENT TRAP FOR KERB INLET (AT LOW POINT - SANDBAG)

OVERLAND FLOW DIRECTION

STRAW BALE

NOTE:

1. REFER TO DRAWINGS 256773\_CDA\_CC2\_000\_1131 FOR SOIL AND WATER MANAGEMENT DETAILS.

2. WORKS TO BE STAGED FOR TRAFFIC CONTROL. SITE FENCES AND SEDIMENT FENCES TO BE ARRANGED TO SUIT.

3. BASED ON THE RAINFALL EROSIIVITY FACTOR (2770) AND THE SOIL LOSS CALCULATION BY RUSLE (67t/ha/YEAR) THE EROSION HAZARD FOR THE SITE IS LOW. THEREFORE A SEDIMENT CONTROL BASIN IS NOT REQUIRED. HOWEVER THE EXISTING SEDIMENT BASINS ARE TO PROVIDE FURTHER PROTECTION TO THE DOWNSTREAM WATERCOURSE.

4. REFER TO CONTRACTOR FOR CONSTRUCTION STAGING, DEMOLITION, VEGETATION WORKS AND SEQUENCE OF SEDIMENT AND EROSION CONTROL WORKS.

FOREST WAY (EXIS

REFER INSET A FOR FOREST WAY SOIL AND WATER MANAGEMENT PLAN

GLENAEON AVENUE (EXISTING)

PRECINCT 199 FOREST WAY

EXISTING ESTATE TO BE RETAINED

207 FOREST WAY RETIREMENT VILLAGE PRECINCT

207 FOREST WAY RETIREMENT VILLAGE PRECINCT

GLENAEON DRIVE (EXISTING)

ROAD 01

ROAD 02

ROAD 03

ROAD 04

ROAD 05

SEWER PUMP STATION (EXISTING)

EXISTING STORMWATER EASEMENT TO BE ADJUSTED TO SUIT REALIGNED STORMWATER

INSTALL STRAW BALES IN DIVERSION CHANNEL

UTILISE EXISTING SEDIMENT BASINS FOR SEDIMENT CONTROL DURING ROAD WORKS.

INSTALL JUTE MESH IN DIVERSION BANK TO MANUFACTURER SPECIFICATION

INSET A

SCALE 1:500

SCALE 1:500

@A1

Rev.	Date	Description	Des.	Verif.	Appd.
8	19/10/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
7	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
6	11/06/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
5	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
4	11/02/2021	ISSUED FOR CONSTRUCTION	JHL	RFA	RFA
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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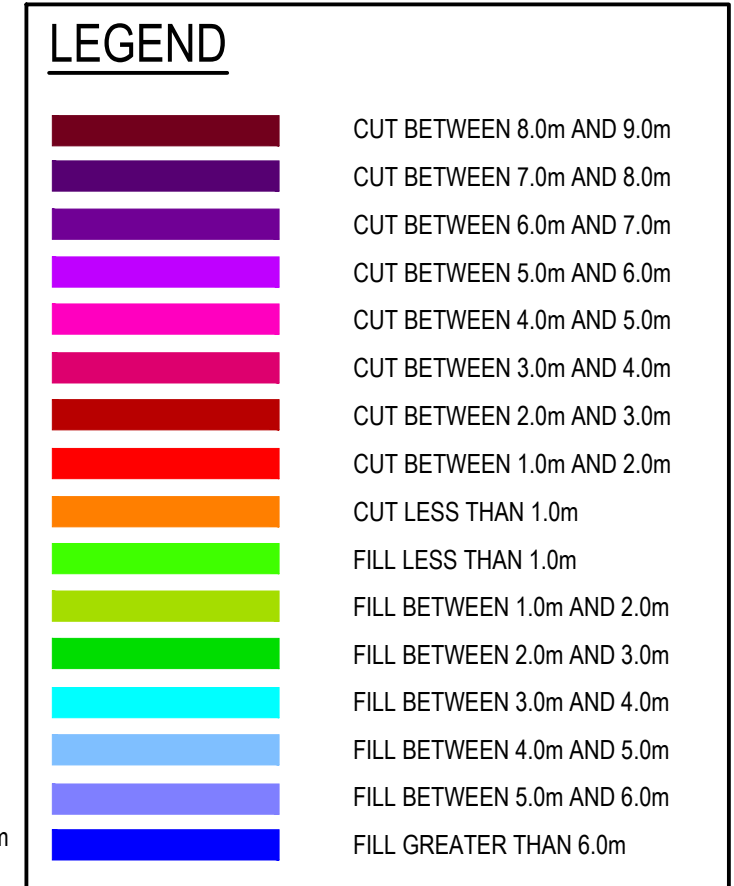
Web: www.cardno.com.au

Drawn	GJJ	Date	19/10/2021
Checked	MLL	Date	19/10/2021
Designed	MLL	Date	19/10/2021
Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	SOIL AND WATER MANAGEMENT PLAN

Status	FOR CONSTRUCTION						
DATUM	A.H.D	DATE	19/10/2021.	Scale	1:500	Size	A1
Drawing Number	256773_CDA_CC2_000_1101	Revision	8				





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Client	LANDLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	CUT/FILL PLAN

Status			
FOR CONSTRUCTION			
DATUM	DATE	Scale	Size
A.H.D	18/10/2021.	AS SHOWN	A1
Drawing Number			Revision
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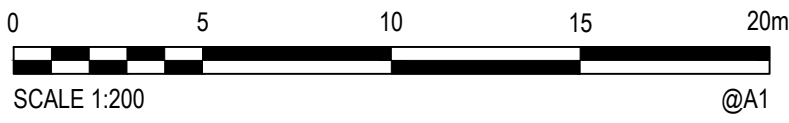


11	19/10/2021	ISSUED FOR CONSTRUCTION	DCR	RFA	RFA
10	27/07/2021	ISSUED FOR CONSTRUCTION	DCR	RFA	RFA
9	22/07/2021	ISSUED FOR CONSTRUCTION	DCR	RFA	RFA
8	17/02/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA
7	16/02/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA
6	15/02/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA
5	28/01/2021	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
4	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
3	30/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
Rev.	Date	Description	Des.	Verif.	App.

Status			
FOR CONSTRUCTION			
DATUM	DATE	Scale	Size
A.H.D	19/10/2021	1:200	A1
Drawing Number			Revision
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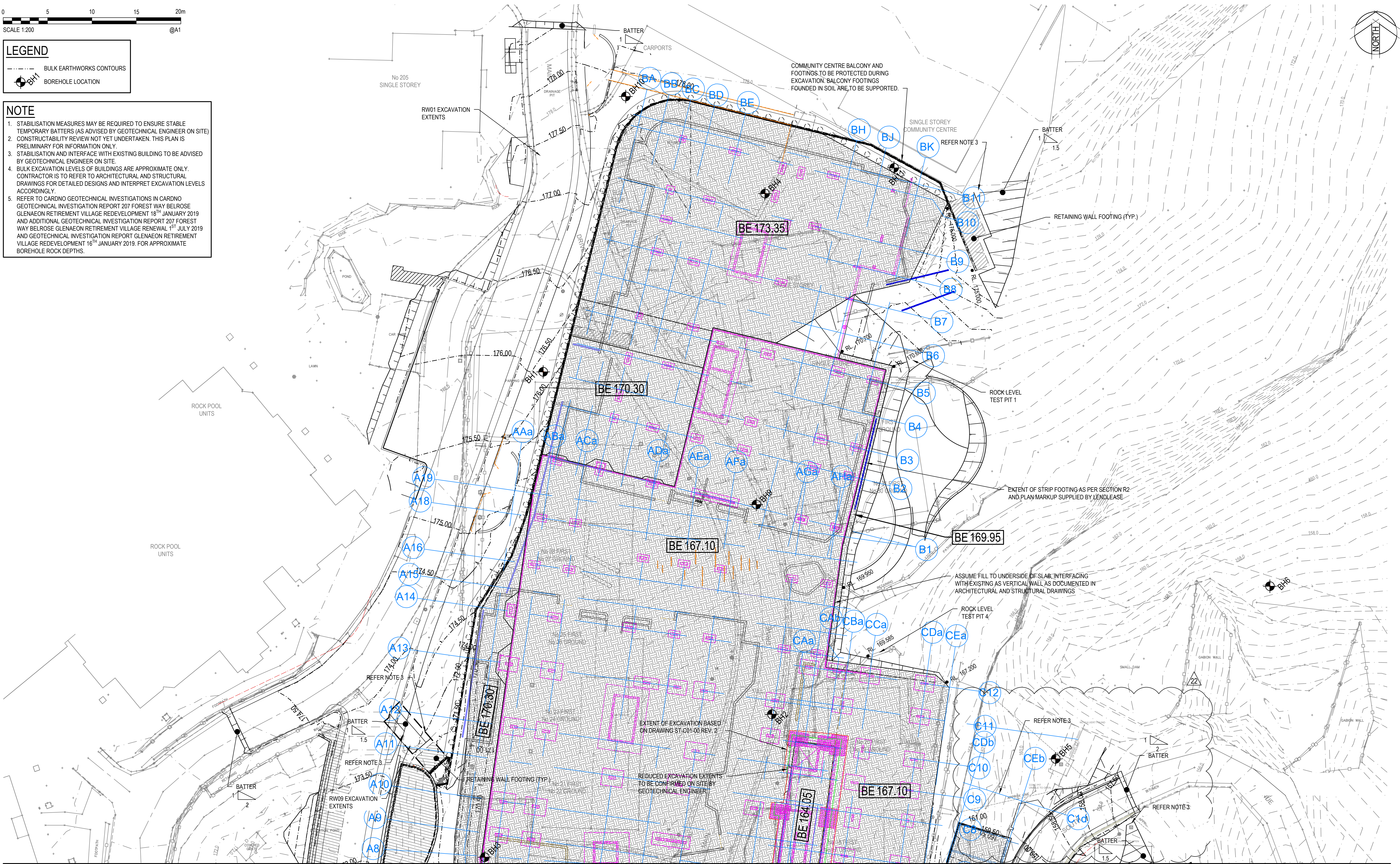


CAD File: \\cardno\global\AUNSW\Drawings\Build\Stage 01 CC2256773\_CDA\_CC2\_000\_1201-1202 BULK EARTHWORKS PLAN.dwg  
DATE PLOTTED: 18 October 2021 11:08 PM BY: SUE LAY YOUNG



LEGEND	
	BULK EARTHWORKS CONTOURS
	BOREHOLE LOCATION

- NOTE**
1. STABILISATION MEASURES MAY BE REQUIRED TO ENSURE STABLE TEMPORARY BATTERS (AS ADVISED BY GEOTECHNICAL ENGINEER ON SITE)
  2. CONSTRUCTABILITY REVIEW NOT YET UNDERTAKEN. THIS PLAN IS PRELIMINARY FOR INFORMATION ONLY.
  3. STABILISATION AND INTERFACE WITH EXISTING BUILDING TO BE ADVISED BY GEOTECHNICAL ENGINEER ON SITE.
  4. BULK EXCAVATION LEVELS OF BUILDINGS ARE APPROXIMATE ONLY. CONTRACTOR IS TO REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILED DESIGNS AND INTERPRET EXCAVATION LEVELS ACCORDINGLY.
  5. REFER TO CARDNO GEOTECHNICAL INVESTIGATIONS IN CARDNO GEOTECHNICAL INVESTIGATION REPORT 207 FOREST WAY BELROSE GLENAEON RETIREMENT VILLAGE REDEVELOPMENT 18<sup>TH</sup> JANUARY 2019 AND ADDITIONAL GEOTECHNICAL INVESTIGATION REPORT 207 FOREST WAY BELROSE GLENAEON RETIREMENT VILLAGE RENEWAL 1<sup>ST</sup> JULY 2019 AND GEOTECHNICAL INVESTIGATION REPORT GLENAEON RETIREMENT VILLAGE REDEVELOPMENT 16<sup>TH</sup> JANUARY 2019. FOR APPROXIMATE BOREHOLE ROCK DEPTHS.



JOINS SHEET 256773\_CDA\_CC2\_000\_1201

Rev.	Date	Description	Des.	Verif.	Appd.
22	19/10/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
21	27/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
20	22/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
19	1/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
18	21/06/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
17	11/06/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
16	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
15	04/03/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA
14	01/03/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA

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Drawn	GJJ	Date	19/10/2021
Checked	MLL	Date	19/10/2021
Designed	MLL	Date	19/10/2021
Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

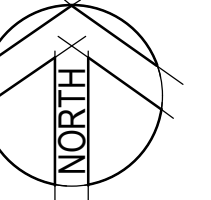
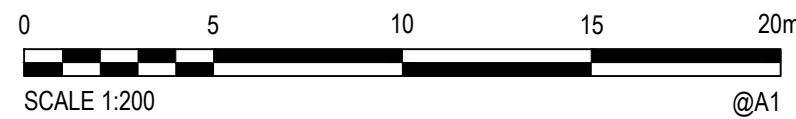
Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	BULK EARTHWORKS PLAN
SHEET 02	

Status			
FOR CONSTRUCTION			
DATUM	DATE	Scale	Size
A.H.D	19/10/2021	1:200	A1
Drawing Number			Revision
256773_CDA_CC2_000_1202			22









## EXISTING ESTATE TO BE RETAINED

- RECONSTRUCT PEDESTRIAN RAMP TO SUIT PROPOSED LEVELS
- EXISTING FOOTPATH
- CUT EXISTING WALL TO SUIT PROPOSED CARPARK LAYOUT
- EXISTING CAR PARKING TO BE REMOVED AND SPACE INTEGRATED WITH SURROUNDING LANDSCAPE. REFER LANDSCAPE ARCHITECT DETAILS.
- EXISTING PIT TO REMAIN. RAISE GRATE LEVEL TO MATCH PROPOSED SURFACE LEVEL.
- EXISTING UNDERGROUND OSD TANK TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION AND TO BE RETAINED DURING CONSTRUCTION. CORNER OF TANK TO BE PROTECTED AND SUPPORTED DURING EXCAVATION AND CONSTRUCTION OF RW01.
- EXISTING STORMWATER PIT TO REMAIN.
- STORMWATER NETWORK DIVERTED TO AVOID EXISTING UNDERGROUND OSD TANK
- PROPOSED FOOTPATH TO TIE INTO EXISTING FOOTPATH
- EXISTING UNDERGROUND OSD TANK OUTLET LEVEL AND PIPE ALIGNMENT TO BE CONFIRMED ON SITE PRIOR TO THE START OF CONSTRUCTION.

## EXISTING ESTATE TO BE RETAINED

- EXISTING STORMWATER PIT TO BE LOWERED TO MATCH PROPOSED ROAD LEVEL. CONTRACTOR TO CONFIRM EXISTING PIPE ALIGNMENT AND INVERT LEVELS PRIOR TO CONSTRUCTION TO AVOID CLASHES WITH THE PROPOSED STORMWATER DRAINAGE NETWORK.
- CONFIRM EXISTING PIPE SIZE AND ALIGNMENT ON-SITE AND PROVIDE TO CARDNO PRIOR TO CONSTRUCTION.
- EXISTING SAG LINTEL, PIT AND KERB AND GUTTER TO REMAIN. MAKE SMOOTH CONNECTION TO PROPOSED ROAD PAVEMENT
- CONVERT EXISTING PRAM RAMP TO K&G AND RECONSTRUCT FOOTPATH TO MATCH NEW KERB LEVELS
- EXISTING PIT TO REMAIN. EXISTING OUTLET TO BE LOCATED AND CAPPED OR SEALED. MAKE SMOOTH CONNECTION BETWEEN EXISTING PIT AND PROPOSED PIPE
- EXISTING K&G TO REMAIN. MAKE SMOOTH CONNECTION TO PROPOSED ROAD PAVEMENT

- PROPOSED KERB TO INTERFACE WITH EXISTING RETAINING WALL. EXISTING RETAINING WALL TO BE PROTECTED AND MAINTAINED.
- TWO UNKNOWN PITS VISIBLE ON SITE. MAINTAIN EXISTING PIT AND RAISE TO MEET PROPOSED SURFACE LEVEL
- EXISTING WATERFALL TO BE PROTECTED AND MAINTAINED
- EXISTING PIT TO REMAIN

- LIMIT OF ROAD WORKS. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- IN-LINE PRAM RAMP TO TIE IN WITH EXISTING FOOTPATH
- PROPOSED PLATFORM. REFER LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER PLANS FOR DETAILS.
- MAINTAIN MINIMUM 1.5m CLEARANCE BEHIND PRAM RAMP
- MAKE WATERTIGHT CONNECTION WITH EXISTING STORMWATER
- PRIMARY ACCESS PATH TO BUILDINGS A, B AND REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS
- CONTRACTOR TO LOCATE AND CONFIRM EXISTING COMMUNITY CENTRE DOWNPIPE LOCATIONS AND FLOW PATH PRIOR TO THE CONSTRUCTION OF RW01 AND THE PROPOSED CONCRETE DRAIN.
- ELEVATED WALKWAY AS PER LANDSCAPE ARCHITECT SPECIFICATION
- COMMUNITY CENTRE BALCONY AND FOOTINGS TO BE PROTECTED DURING EXCAVATION. BALCONY FOOTINGS FOUNDED IN SOIL ARE TO BE SUPPORTED.
- RETAINING WALL SUBSOIL TO DAYLIGHT
- PROVIDE LEVEL SPREADER. REFER DRG 1131 FOR DETAIL.
- BUSHLAND PARK. REFER LANDSCAPE PLANS FOR DETAILS.

## PRECINCT 207 FOREST WAY RETIREMENT VILLAGE PRECINCT

- FENCE. REFER TO LANDSCAPE ARCHITECT FOR DETAILS.
- CONCRETE DRAIN. REFER DRG 1880 AND DRG 1882 FOR DETAIL
- CONFIRM EXISTING SEWER CROSSING LEVELS ON SITE AND PROVIDE TO CARDNO PRIOR TO STORMWATER CONSTRUCTION
- TRANSITION FOOTPATH CROSSFALL OVER 3m TO MEET LANDSCAPE PLATFORM GRADE.
- MAINTAIN MINIMUM 1.5m CLEARANCE BEHIND PRAM RAMP
- PROPOSED PLATFORM. REFER LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER PLANS FOR DETAILS.
- PROPOSED STAIRS TO PODIUM. REFER LANDSCAPE ARCHITECT PLANS FOR DETAILS.
- TRANSITION FOOTPATH CROSSFALL OVER 3m TO MEET LANDSCAPE PLATFORM GRADE.

- OPTION TO PROVIDE BEND IN PVC PIPE INSTEAD OF PIT IN CASE OF SPACE CONSTRAINT
- ADJUST EXISTING CONCRETE INFILL PITS TO PROPOSED SURFACE LEVEL. CONFIRM INVERT LEVELS ON SITE AND PROVIDE TO CARDNO PRIOR TO STORMWATER CONSTRUCTION
- PROPOSED VIEWING PLATFORM. REFER LANDSCAPE ARCHITECT FOR DETAILS.
- SUBSOIL TO CONNECT TO INTERNAL PODIUM DRAINAGE. REFER TO ARCHITECT DRAWINGS FOR DETAILS.
- CONNECT STORMWATER PIPE TO PROPOSED POND
- PROPOSED WATER FEATURE POND. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS.

- EXISTING SEWER 0.85m DEEP OVERT LEVEL: 158.95m
- EXISTING ODOR CONTROL UNIT TO BE RETAINED
- PROPOSED CARPORTS TO ARCHITECTS DETAILS.

- LOCALLY GRADE BASIN BASE TO ALLOW 0.5% FALL TO THE BASIN OUTLET - RL 156.66
- EXISTING SEDIMENT BASINS TO BE RETAINED
- LIMIT OF ROAD WORKS
- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.

JOINS SHEET 256773\_CDA\_CC2\_000\_1301

15	19/10/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
14	22/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
13	1/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
12	21/06/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
11	11/06/2021	ISSUED FOR CONSTRUCTION	JHL	JHL	JHL
10	28/05/2021	ISSUED FOR CONSTRUCTION	JHL	JHL	JHL
9	26/05/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
8	20/05/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
7	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
Rev.	Date	Description	DCK	Verif.	Appd.

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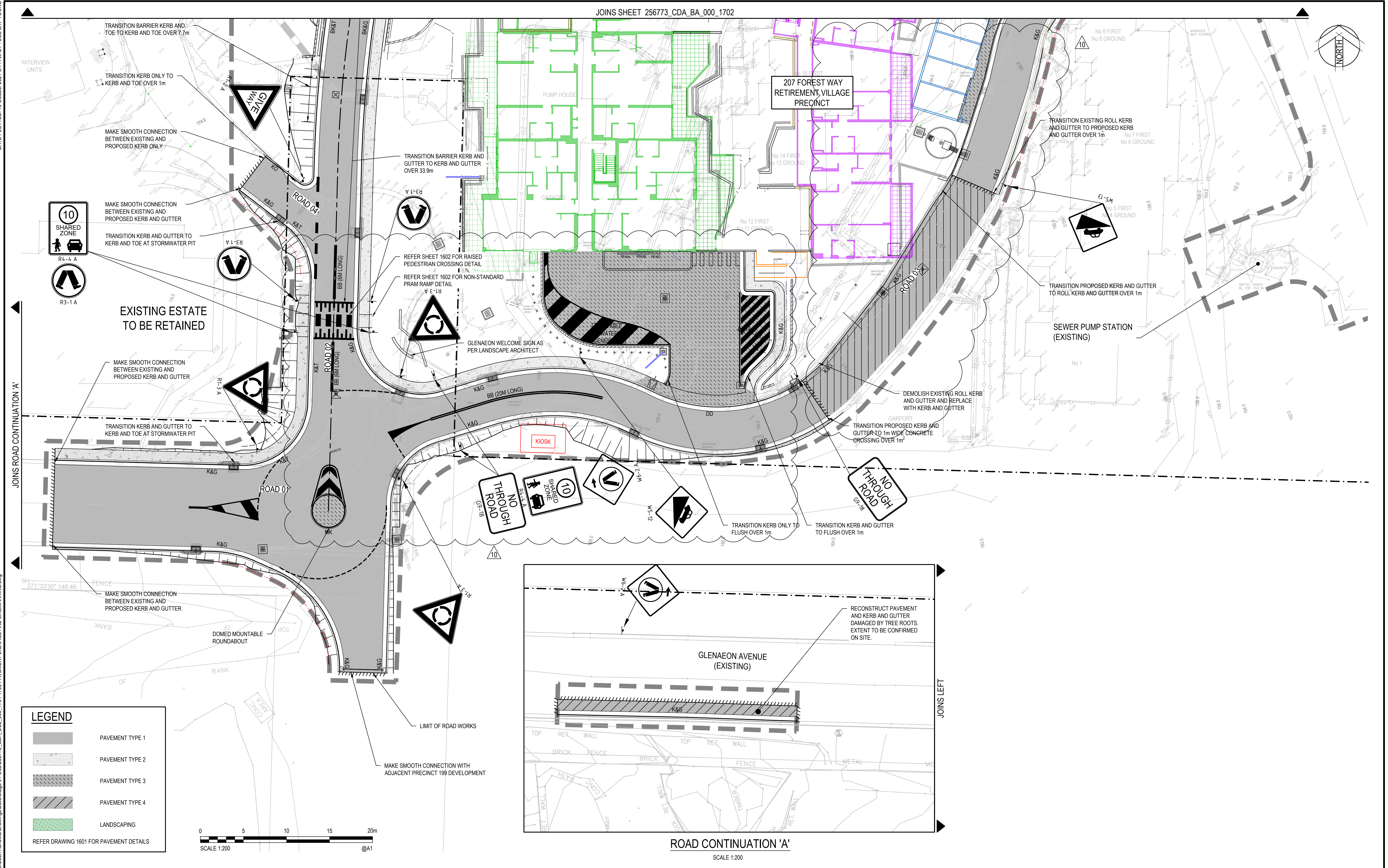
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Checked	MLL	Date	19/10/2021
Designed	MLL	Date	19/10/2021
Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	SITEWORKS AND STORMWATER PLAN
SHEET 02	

Status				FOR CONSTRUCTION			
DATUM		DATE		Scale		Size	
A.H.D		19/10/2021		1:200		A1	
Drawing Number						Revision	
256773_CDA_CC2_000_1302						15	





10	19/10/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
9	19/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
8	8/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
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6	20/05/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
5	19/05/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
4	21/01/2021	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
Rev.	Date	Description	Des.	Verif.	Appd.

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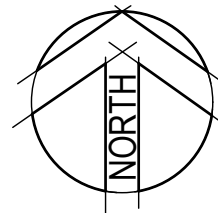
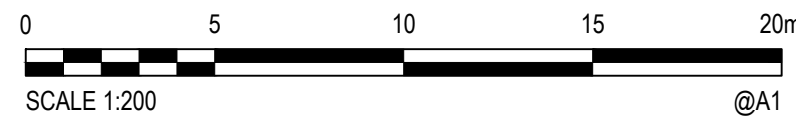
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Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

Client	LENDEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	PAVEMENT, SIGNAGE & LINEMARKING PLAN
Sheet	SHEET 01

Status				
FOR CONSTRUCTION				
DATUM	DATE	Scale	Size	
A.H.D	19/10/2021.	1:200	A1	
Drawing Number			Revision	
256773_CDA_CC2_000_1701			10	





LEGEND

- PAVEMENT TYPE 1
- PAVEMENT TYPE 2
- PAVEMENT TYPE 3
- PAVEMENT TYPE 4
- LANDSCAPING
- REFER DRAWING 1601 FOR PAVEMENT DETAILS

EXISTING ESTATE  
TO BE RETAINED

EXISTING ESTATE  
TO BE RETAINED

207 FOREST WAY  
RETIREMENT VILLAGE  
PRECINCT

JOINS SHEET 256773\_CDA\_CC2\_000\_1701

12	19/10/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
11	15/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
10	1/07/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
9	21/06/2021	ISSUED FOR CONSTRUCTION	DCK	RFA	RFA
8	11/06/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
7	26/05/2021	ISSUED FOR CONSTRUCTION	JBC	JHL	JHL
6	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
5	17/03/2021	ISSUED FOR CONSTRUCTION	DJB	RFA	RFA
4	21/01/2021	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
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Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	PAVEMENT, SIGNAGE & LINEMARKING PLAN
Sheet	SHEET 02

Status		FOR CONSTRUCTION			
2	DATUM	DATE	Scale	Size	
	A.H.D	19/10/2021.	1:200	A1	
Drawing Number					Revision
256773_CDA_CC2_000_1702					12



DATE PLOTTED: 19 October 2021 6:55 AM BY: SUE LAY YOUNG  
XREFs: XR-80218079-01-CC2-CI-DESIGN; XR-80218079-01-CC2-CI-BOUNDARY; XR-80218079-01-CC2-CI-EXISTING SERVICES; XR-80218079-01-CC2-CI-RETAINING WALL CONTROL AND PLAN; XR-80218079-01-CC2-CI-DRAINAGE - 1.500  
CAD File: \\cardno\cpglobal\AUS\NSW\Drawings\Build\Stage 01 CC2\256773\_CDA\_CC2\_000\_2001 STORMWATER MANAGEMENT PLAN.dwg

FOREST WAY (EXISTING)

EXISTING ESTATE  
TO BE RETAINED

EXISTING ESTATE  
TO BE RETAINED

GLENAEON DRIVE (EXISTING)

GLENAEON AVENUE  
(EXISTING)

PRECINCT 199 FOREST WAY

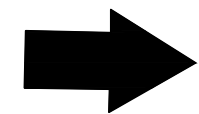
ROAD 01

207 FOREST WAY  
RETIREMENT VILLAGE PRECINCT

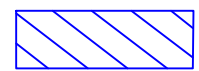
207 FOREST WAY  
RETIREMENT VILLAGE  
PRECINCT

SEWER PUMP STATION  
(EXISTING)

#### LEGEND



EXISTING PIPE INFLOWS



EXISTING UNDERGROUND  
DETENTION TANK

#### NOTE:

- REFER DRG 2301 FOR CATCHMENTS

0 10 20 30 40 50m  
SCALE 1:500 @A1

Rev.	Date	Description	Des.	Verif.	Appd.
7	19/10/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
6	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
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4	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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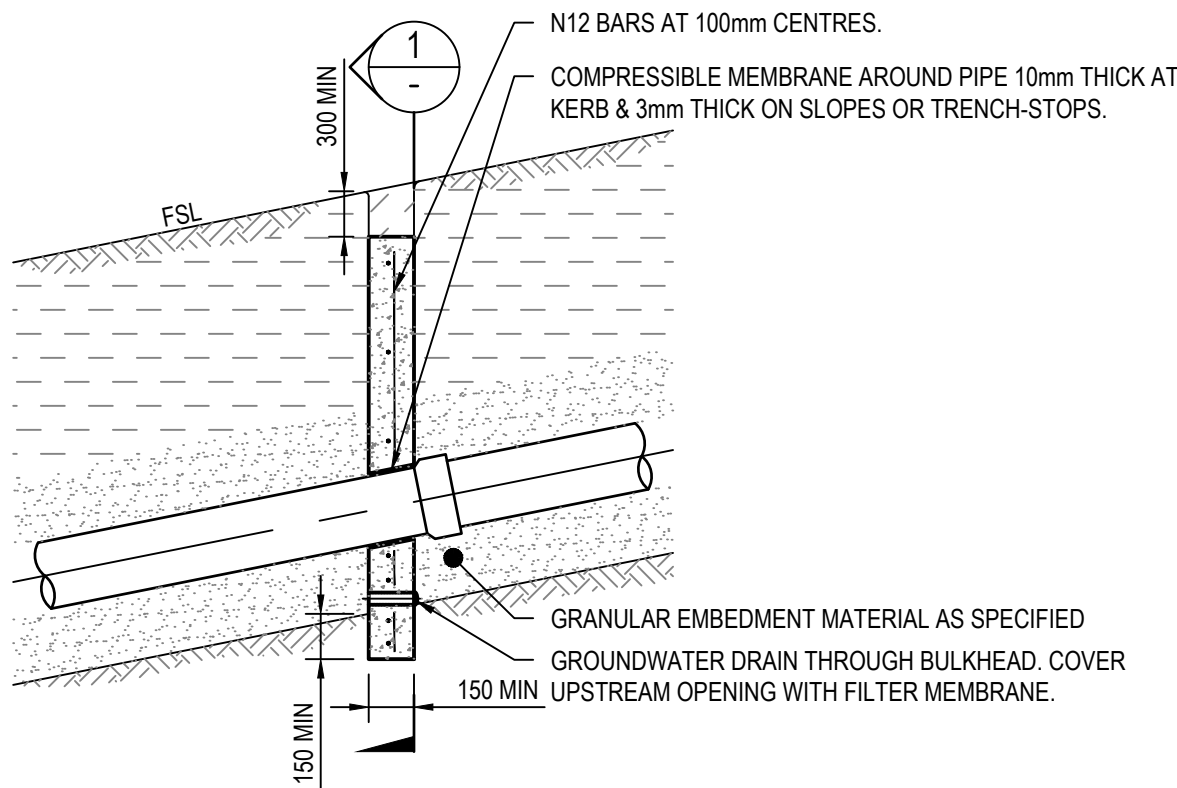
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Checked	MLL	Date	19/10/2021
Designed	MLL	Date	19/10/2021
Verified	RFA	Date	19/10/2021
Approved	RFA	Date	19/10/2021

Client **LENLEASE**  
Project **GLENAEON RETIREMENT LIVING  
PRECINCT 207 FOREST WAY  
CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2**  
Title **STORMWATER MANAGEMENT PLAN**

Status	<b>FOR CONSTRUCTION</b>							
DATUM	A.H.D	DATE	19/10/2021	Scale	1:500	Size	A1	
Drawing Number	256773_CDA_CC2_000_2001						Revision	7

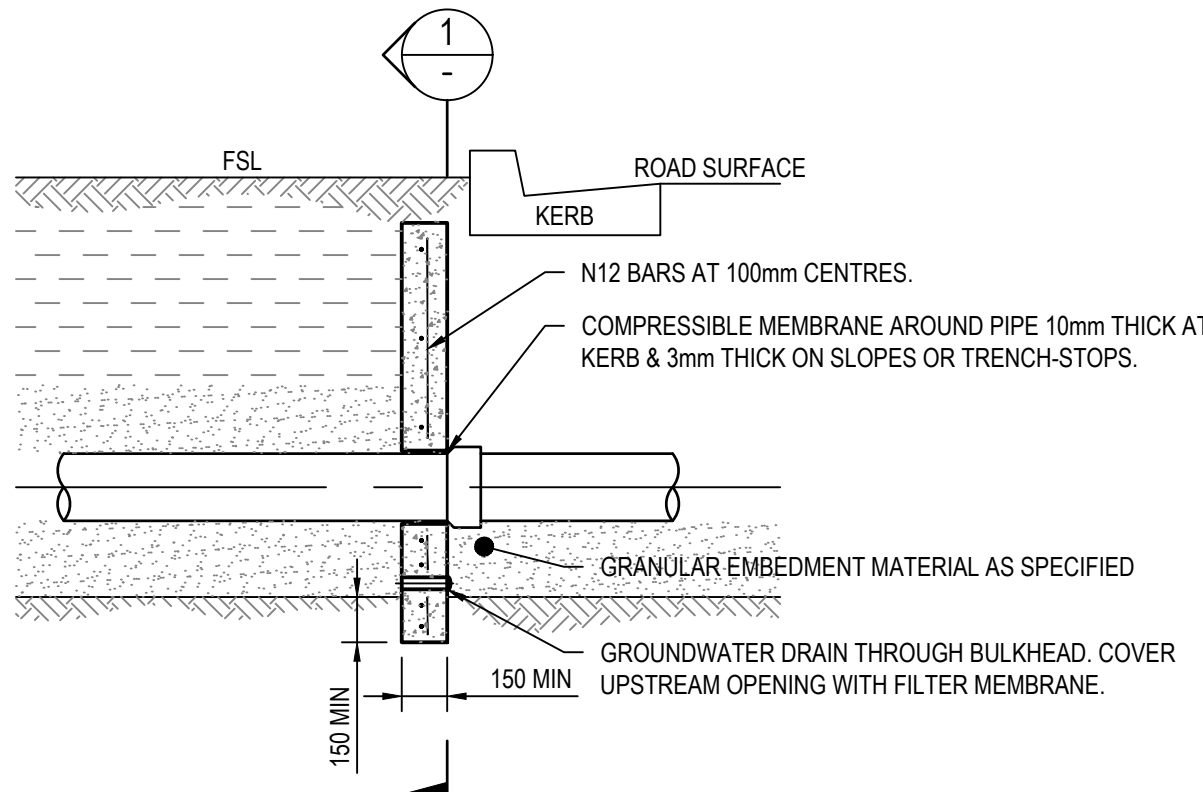


DATE PLOTTED: 19 October 2021 8:19 AM BY: SUE LAY YOUNG  
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CAD File: N:\Projects\2021\18079\_Glenaeon Renewal\Drawings\Build\Stage 01 CC2\256773\_CDA\_CC2\_000\_2201-2202 STORMWATER DRAINAGE DETAILS.dwg



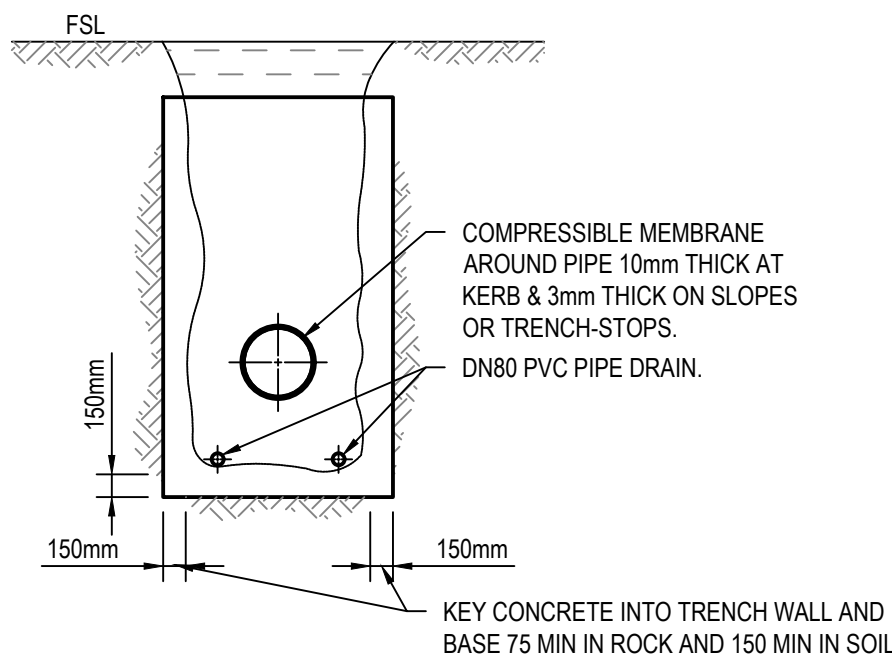
CONCRETE BULKHEAD SECTION

SCALE 1:20



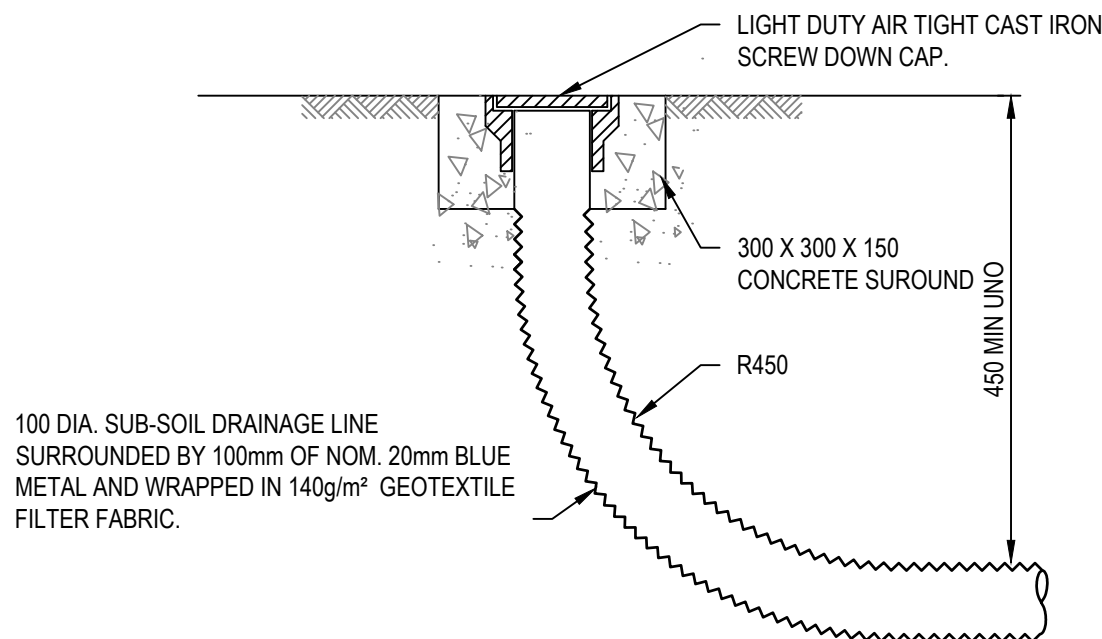
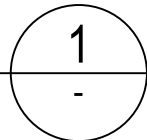
TYPICAL ROAD CROSSING BULKHEAD

SCALE 1:20



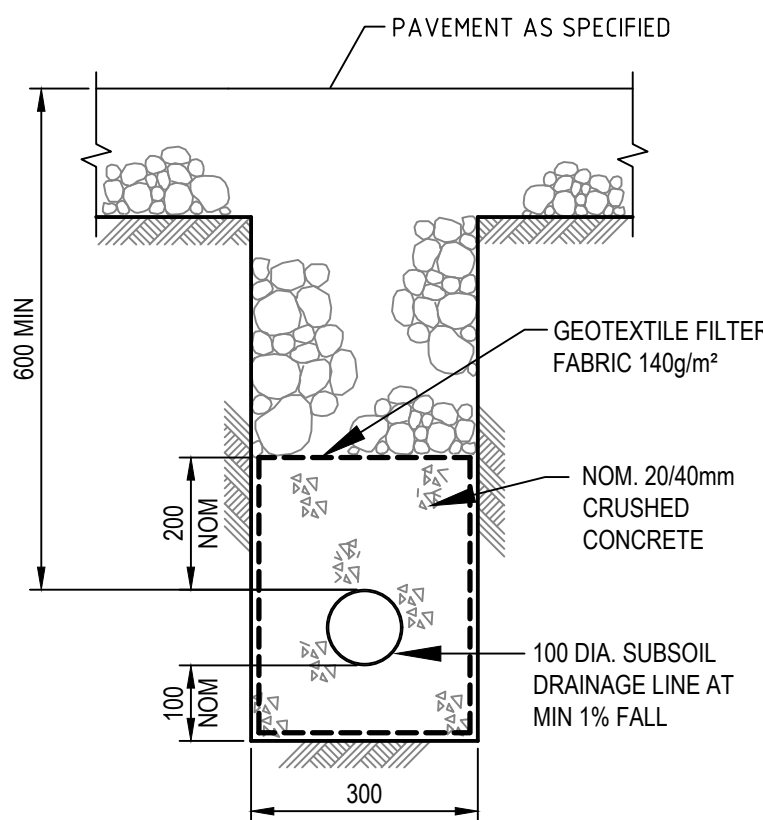
SECTION

SCALE 1:20



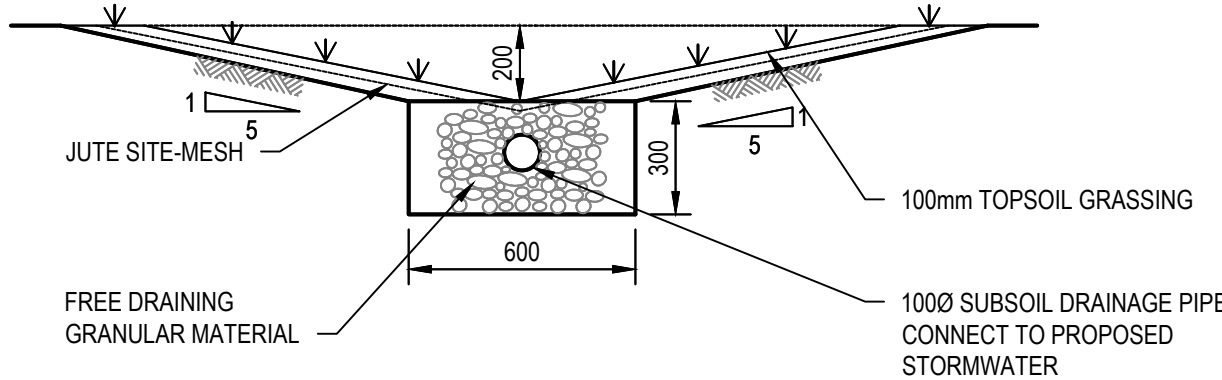
FLUSHING POINT

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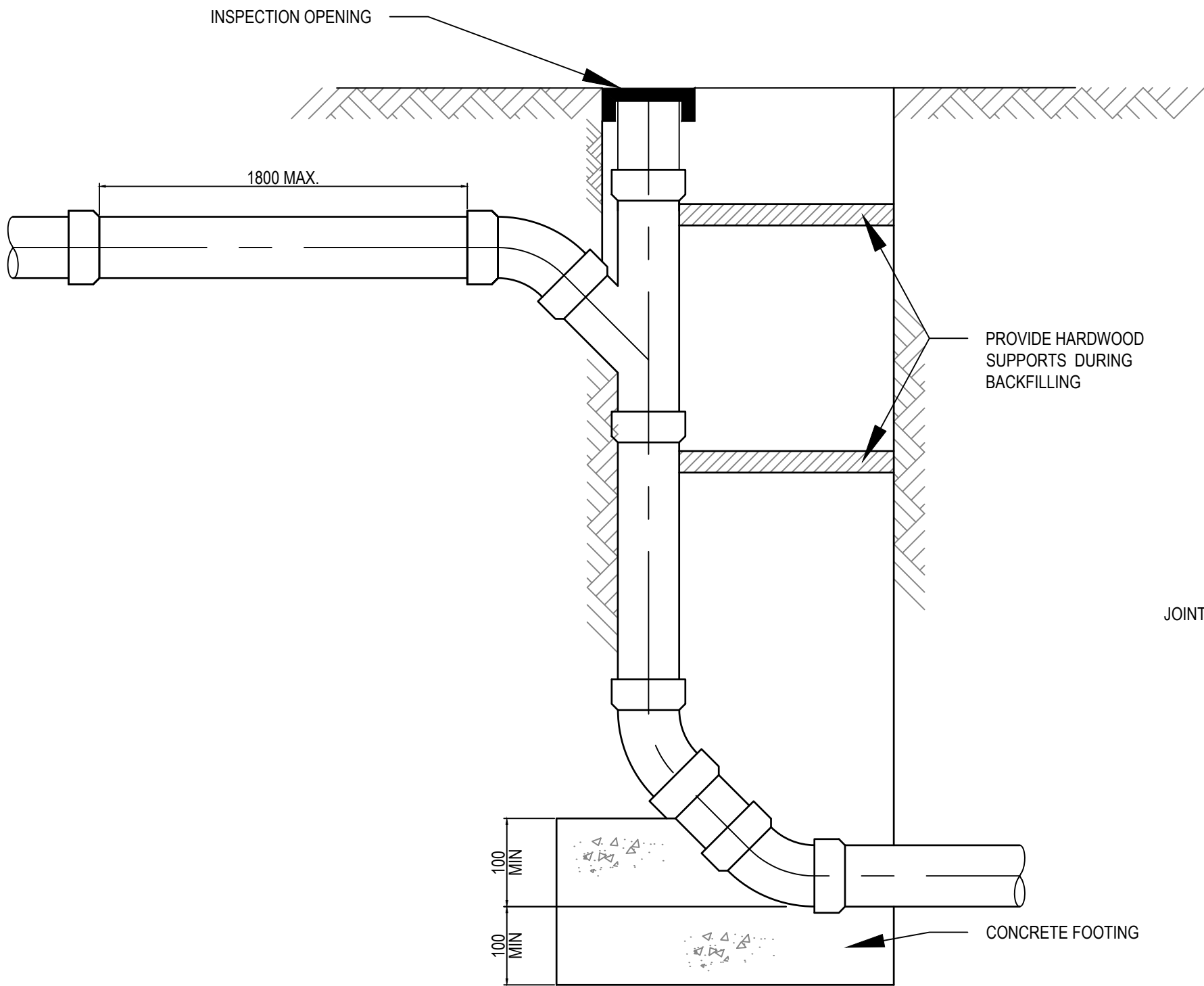
SUBSOIL IN PAVED AREAS

SCALE 1:10



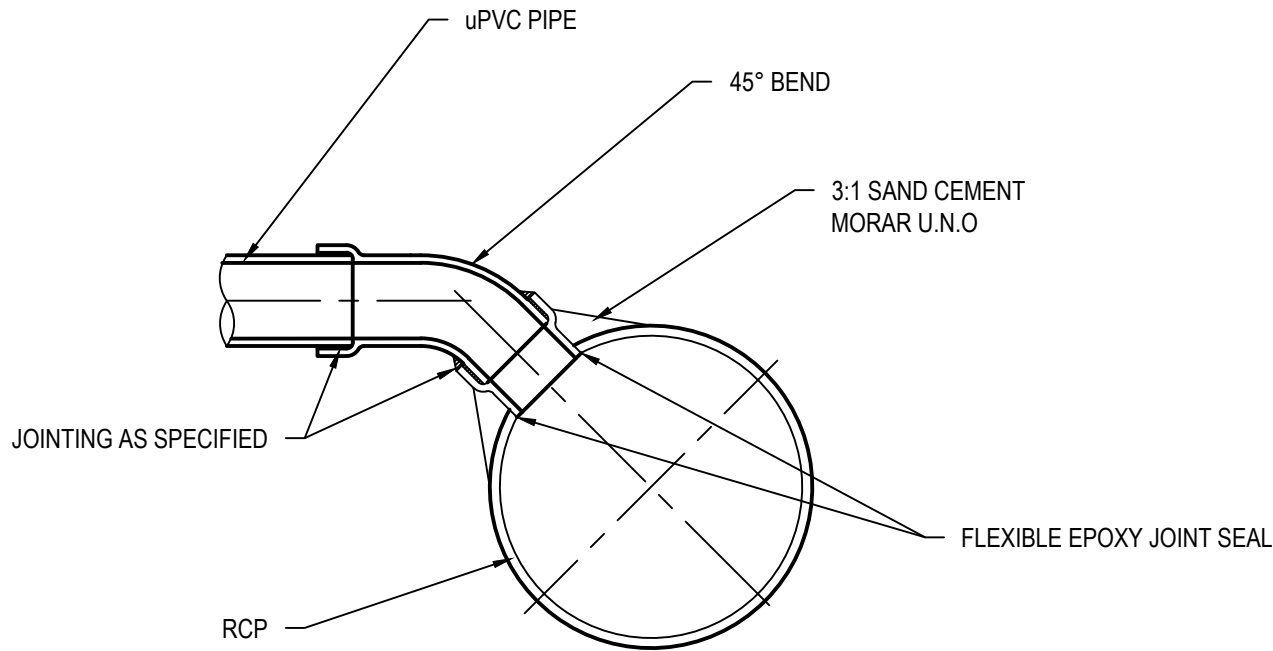
TYPICAL SECTION THROUGH GRASS LINED SWALE

SCALE 1:20



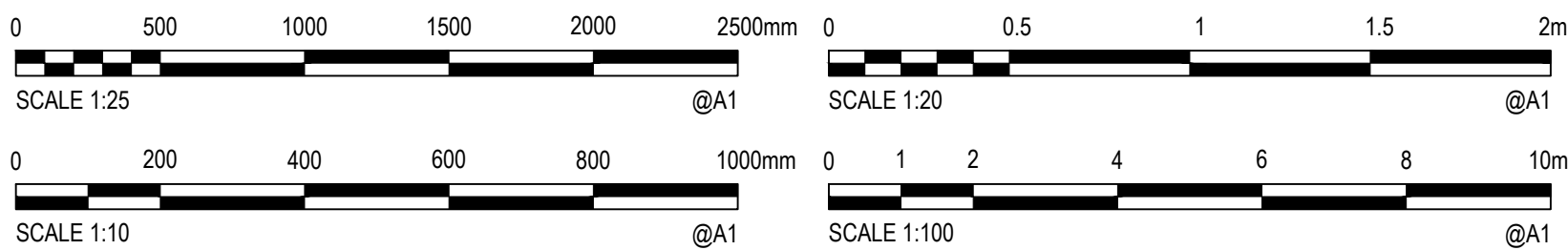
VERTICAL DROP

SCALE 1:25



DIRECT CONNECTION DETAIL

SCALE 1:25



Rev.	Date	Description	Des.	Verif.	Appd.
5	21/06/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
4	21/06/2021	ISSUED FOR CONSTRUCTION	DKK	RFA	RFA
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

**lendlease**

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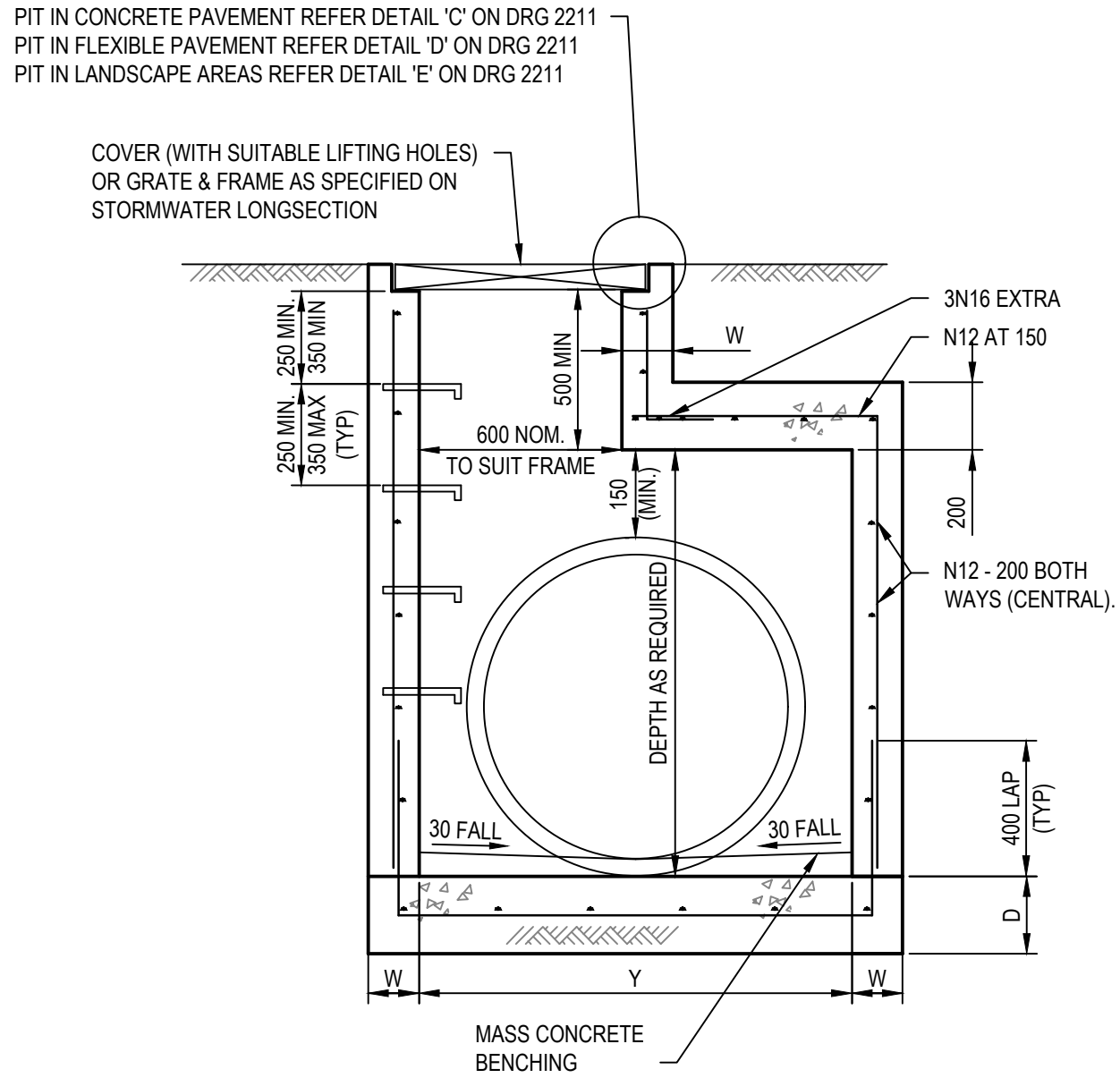
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Checked	MLL	Date	16/06/2020
Designed	MLL	Date	16/06/2020
Verified	RFA	Date	16/06/2020
Approved	RFA	Date	16/06/2020

Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	STORMWATER DRAINAGE DETAILS
SHEET	02

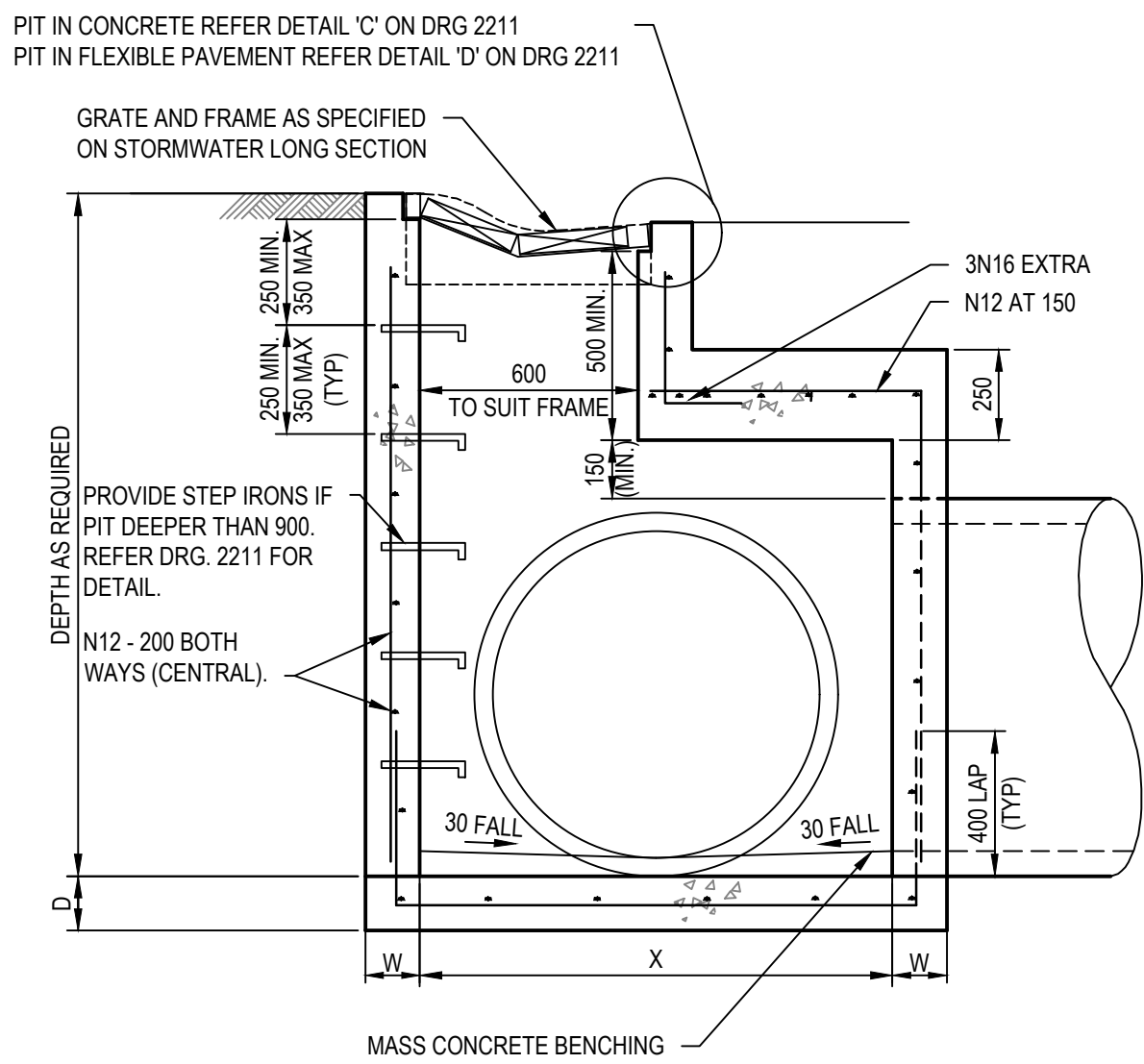
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DATUM	DATE	Scale	Size			
A.H.D	16/06/2020.	AS SHOWN	A1			
Drawing Number				Revision		
256773_CDA_CC2_000_2202				5		



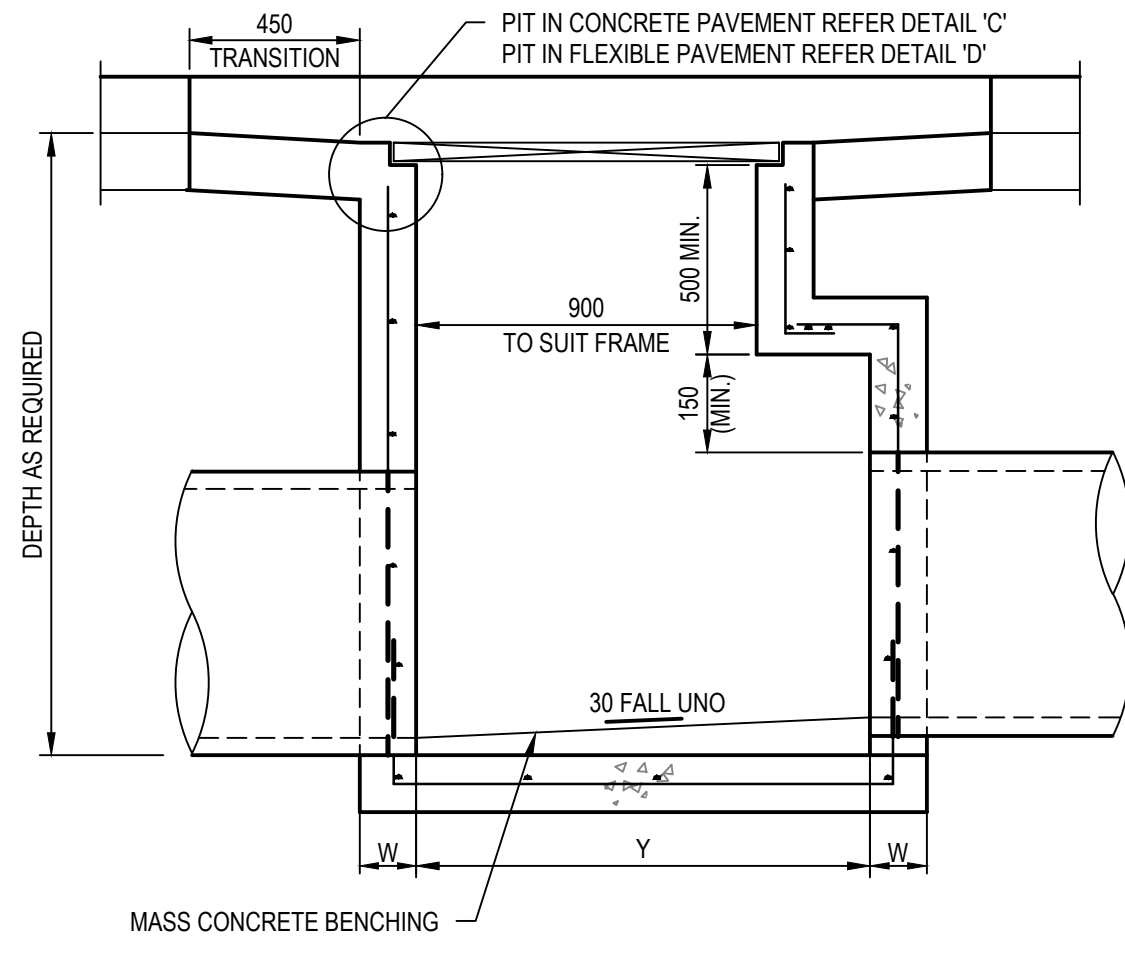
DATE PLOTTED: 19 October 2021 6:11 AM BY: SUE LAY YOUNG  
XREFs: CAD File: \\cardno.corp\global\UNSW\Directory\Structure\Projects\802\FY18079\_Glenaeon Renewal\Drawings\Build\Stage 01 CC2\256773\_CDA\_CC2\_000\_2211-2214 STORMWATER DRAINAGE PIT DETAILS.dwg



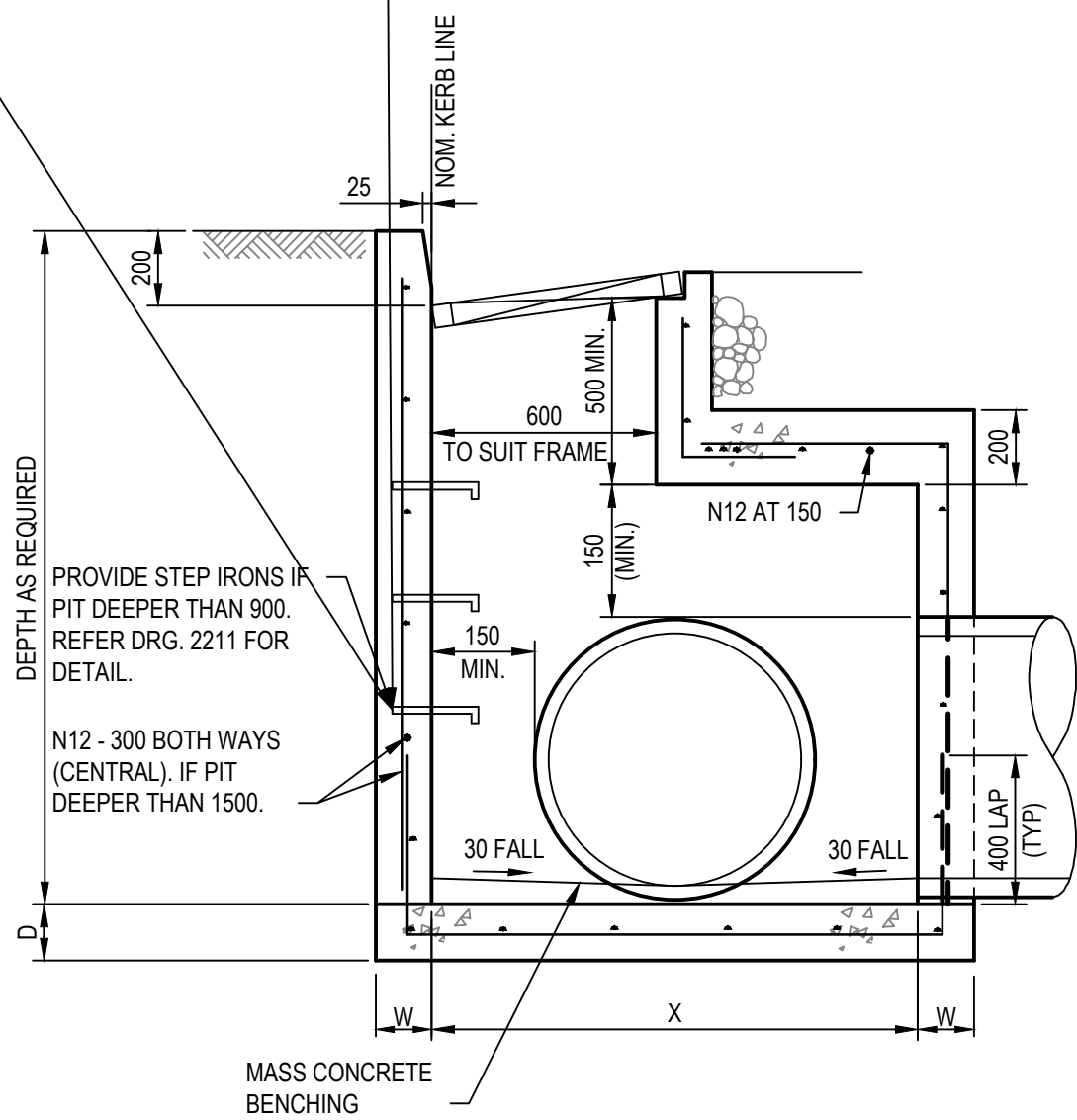
SECTION 1  
SCALE 1:20



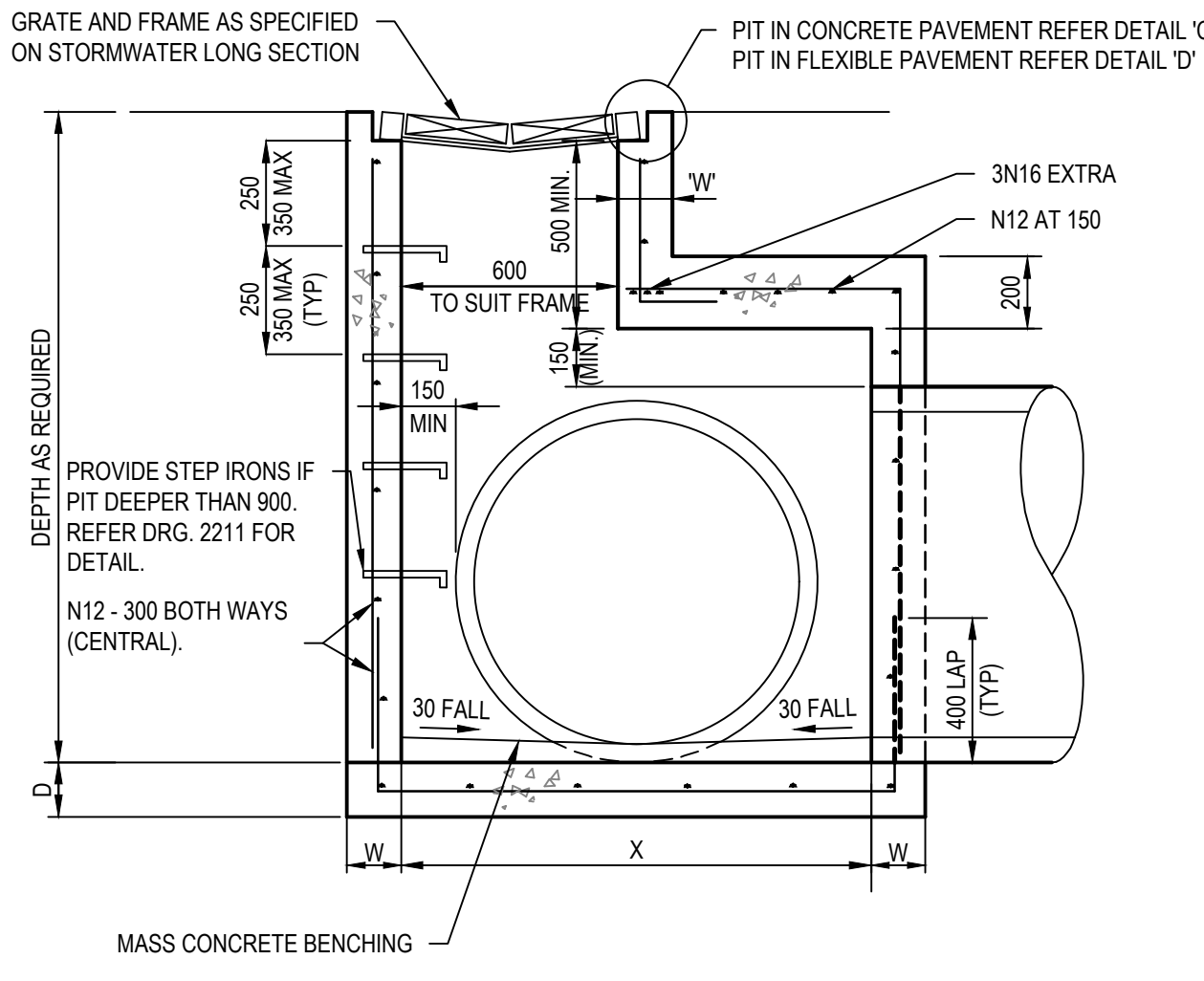
SECTION 2  
SCALE 1:20



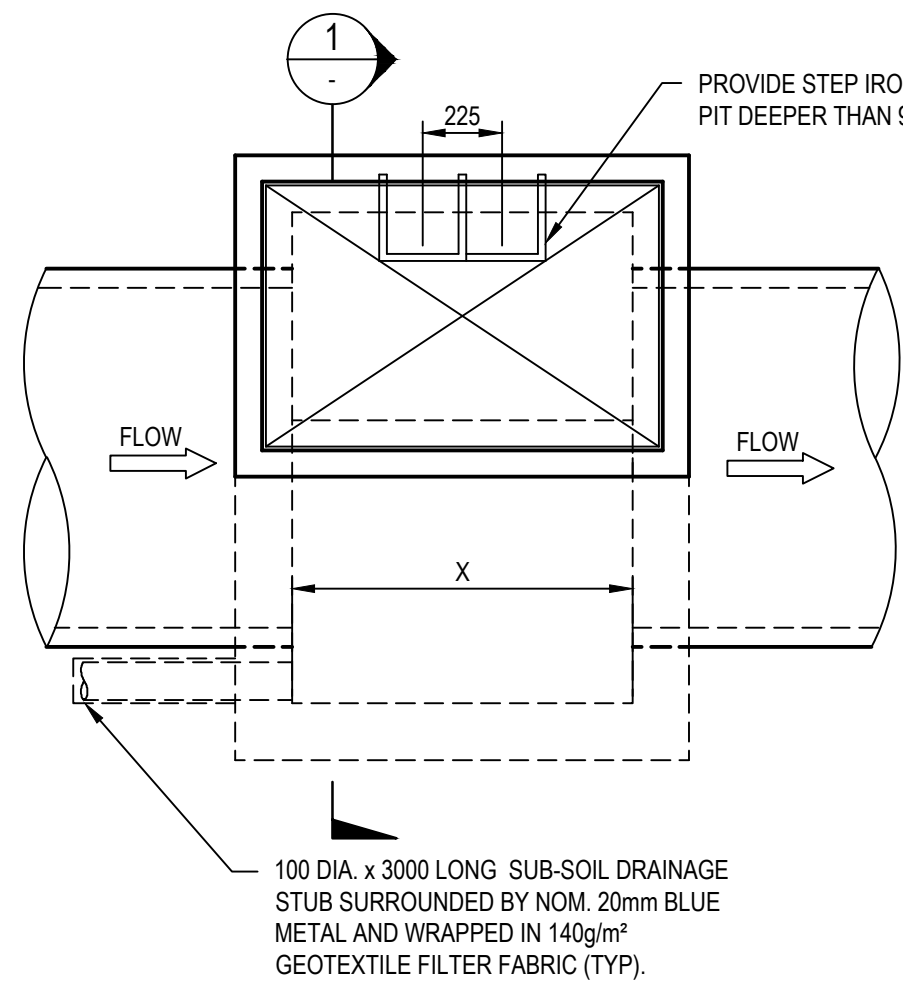
SECTION 3  
SCALE 1:20



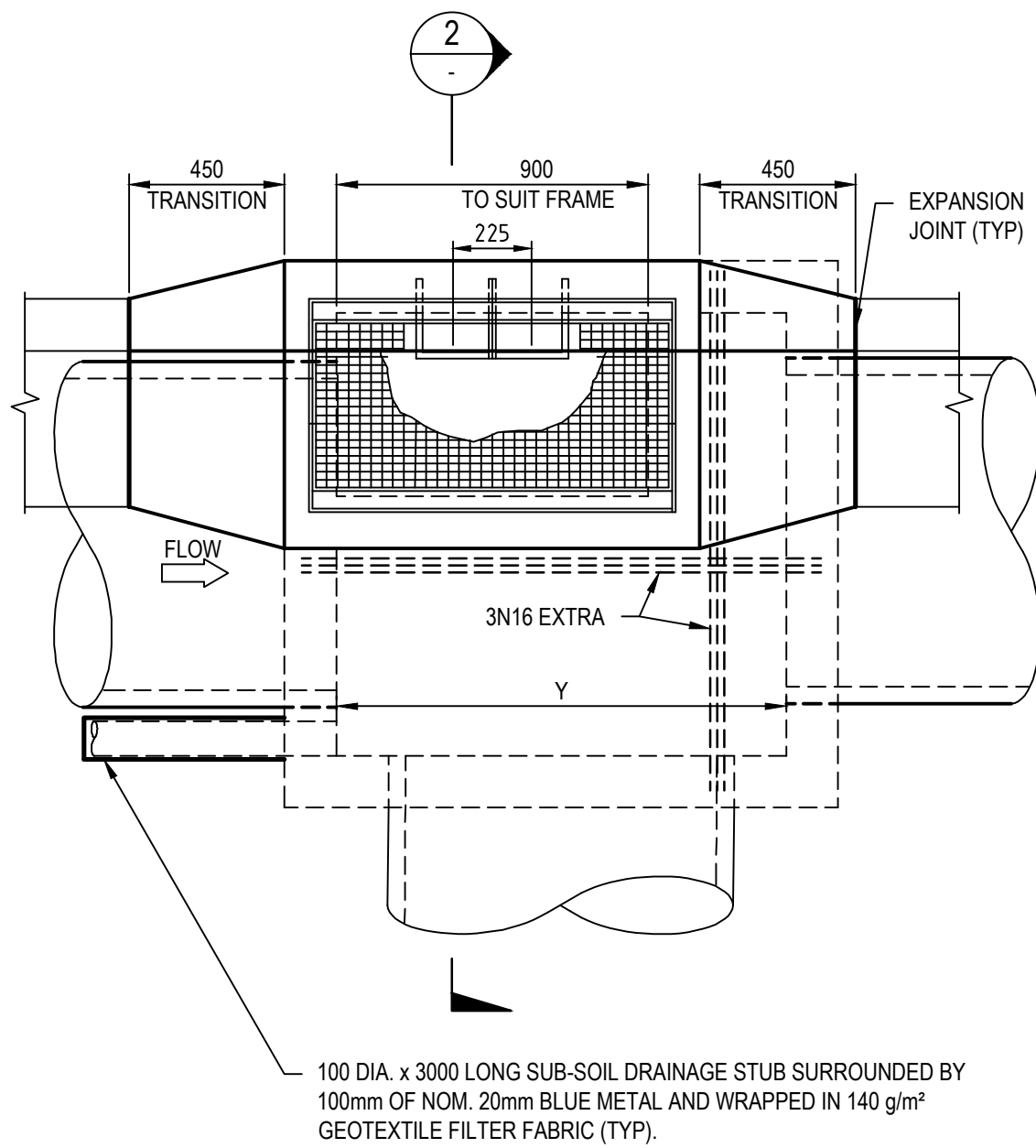
SECTION 4  
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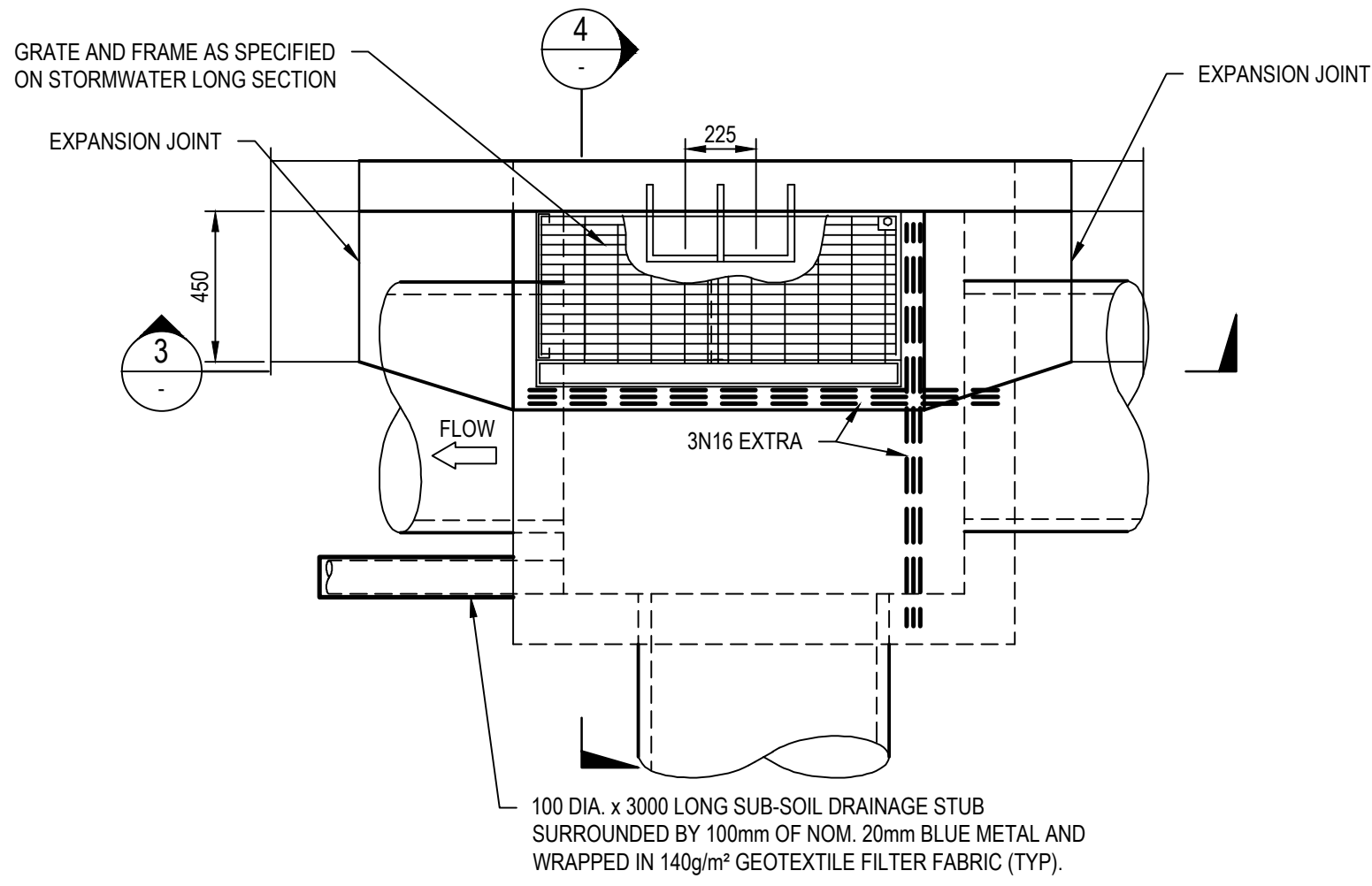
SECTION 5  
SCALE 1:20



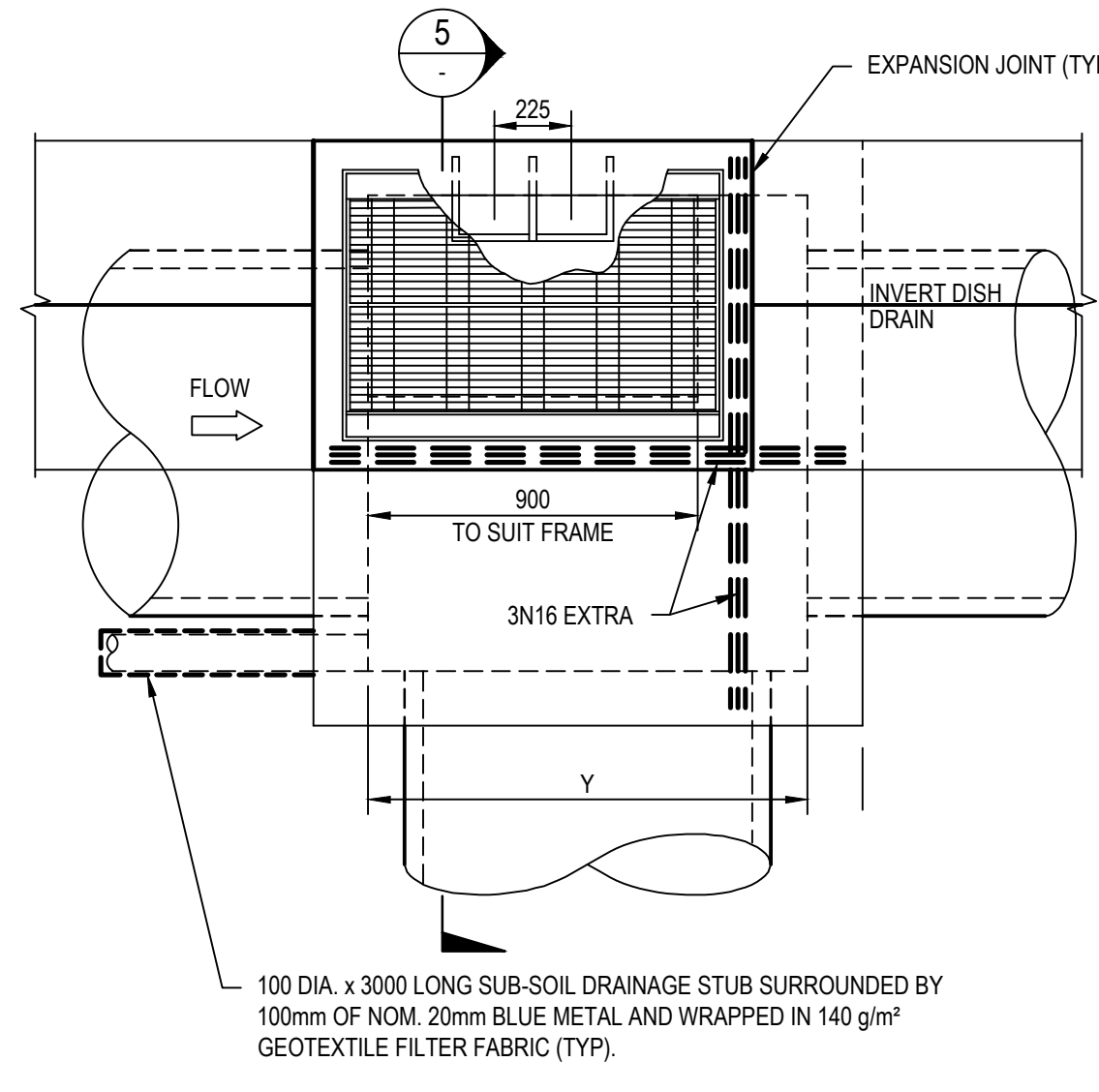
PLAN  
SCALE 1:20



PLAN  
SCALE 1:20



PLAN  
SCALE 1:20



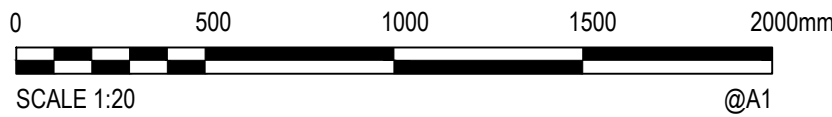
PLAN  
SCALE 1:20

PIT TYPE 'C' - JUNCTION PIT WITH ENLARGED CHAMBER

PIT TYPE 'D' - JUNCTION PIT WITH ROLL FORM KERB

PIT TYPE 'E' - JUNCTION PIT WITH KERB AND GUTTER

PIT TYPE 'F' - JUNCTION PIT WITH DISH CROSSING



NOTE:

- FOR 'W' AND 'D' DIMENSIONS REFER REINFORCEMENT SCHEDULE ON DRG. 2211.
- FOR 'X' AND 'Y' DIMENSIONS REFER STORMWATER LONGSECTIONS ON DRG. 2101 AND 2102

Rev.	Date	Description	Des.	Verif.	Appd.
4	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020.	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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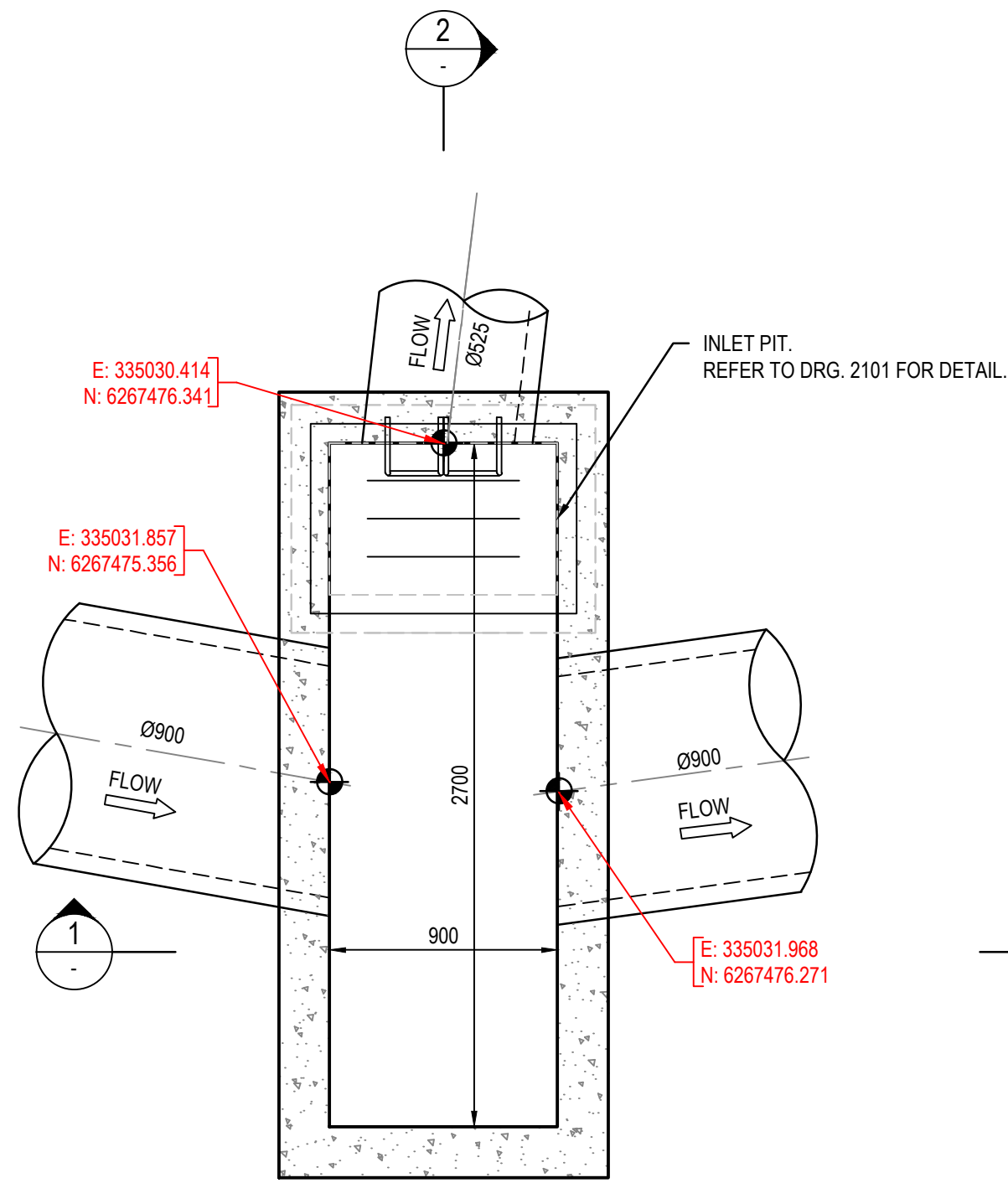


Drawn	GJJ	Date	16/06/2020
Checked	MLL	Date	16/06/2020
Designed	MLL	Date	16/06/2020
Verified	RFA	Date	16/06/2020
Approved	RFA	Date	16/06/2020

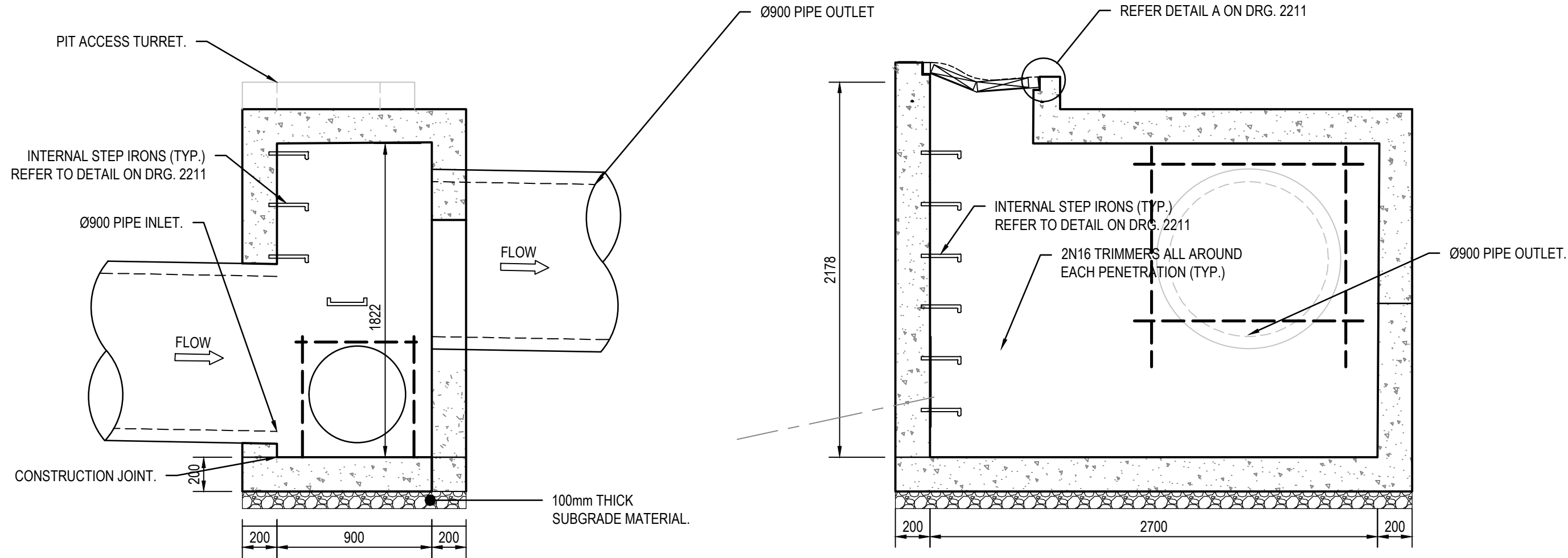
Client	LENLEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	STORMWATER DRAINAGE PIT DETAILS
SHEET 02	

Status				FOR CONSTRUCTION			
DATUM		DATE		Scale		Size	
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Drawing Number						Revision	
256773_CDA_CC2_000_2212						4	

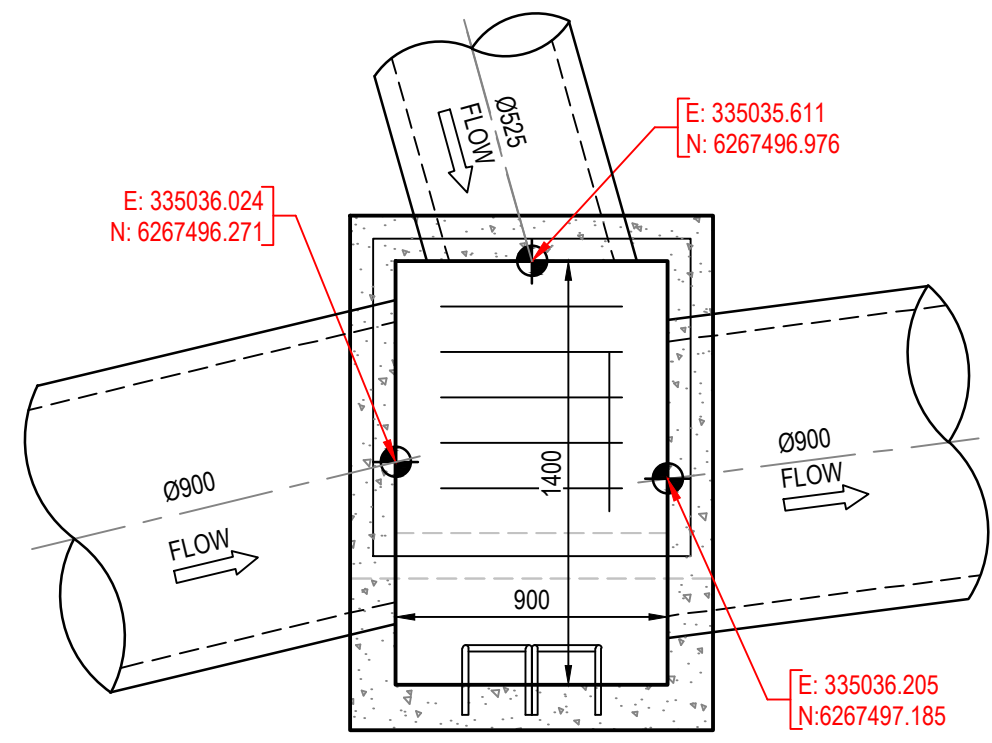




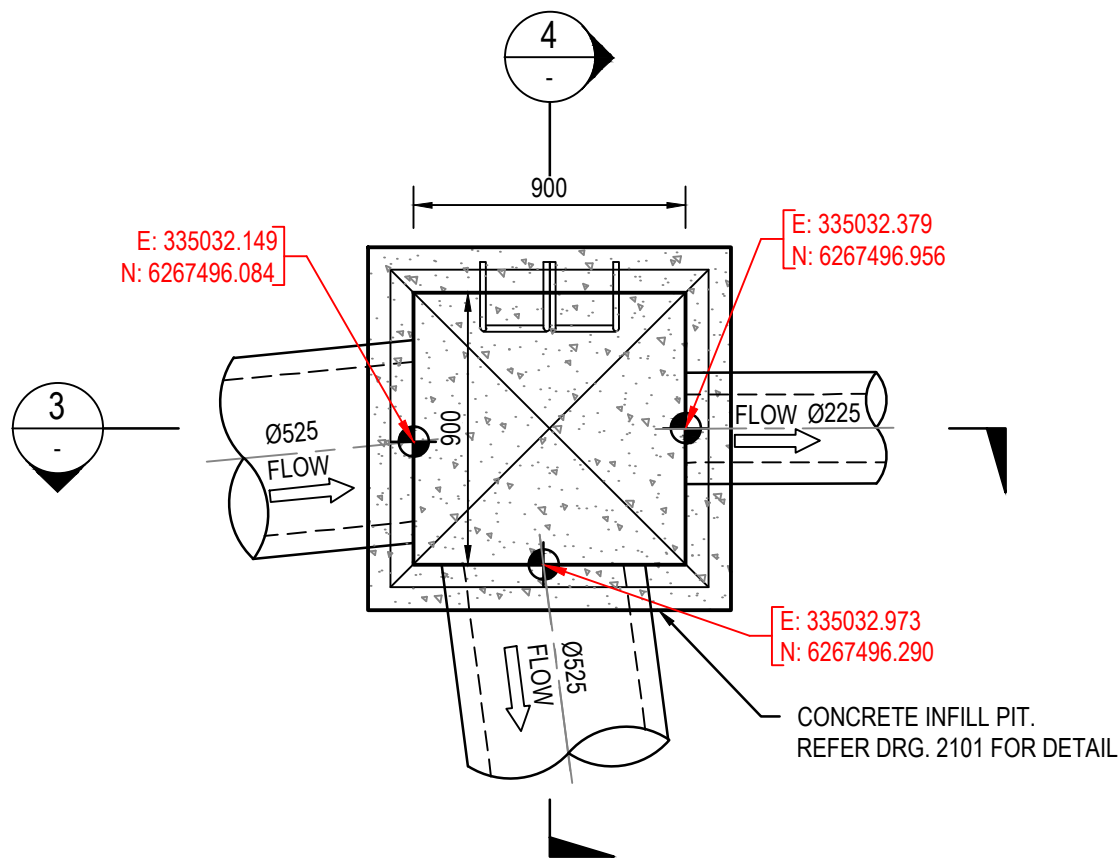
PIT A01/3  
SCALE 1:25



SECTION 1  
SCALE 1:25



PIT A01/2  
SCALE 1:25



PIT WQ/1  
SCALE 1:25



Rev.	Date	Description	Des.	Verif.	Appd.
6	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
5	21/06/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
4	28/05/2021	ISSUED FOR CONSTRUCTION	JHL	JHL	JHL
3	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
1	16/06/2020	ISSUED FOR CLIENT REVIEW	MLL	RFA	RFA

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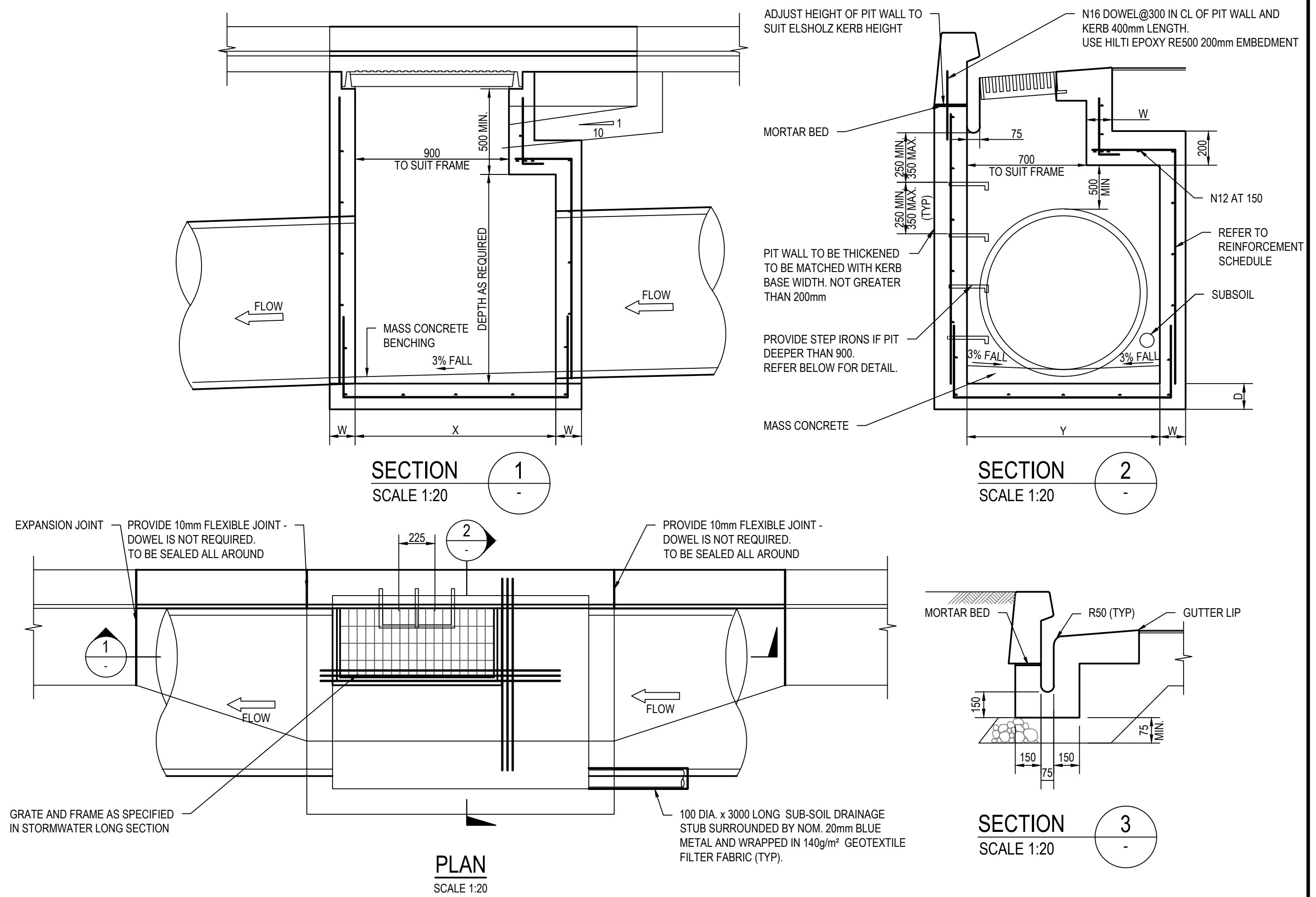
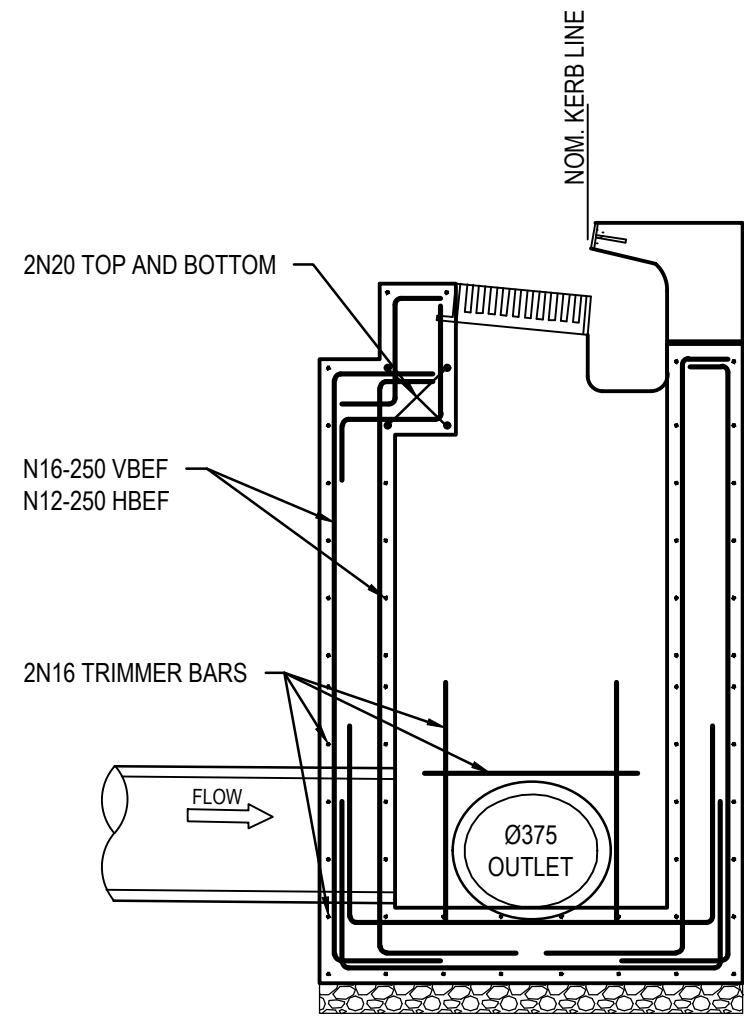
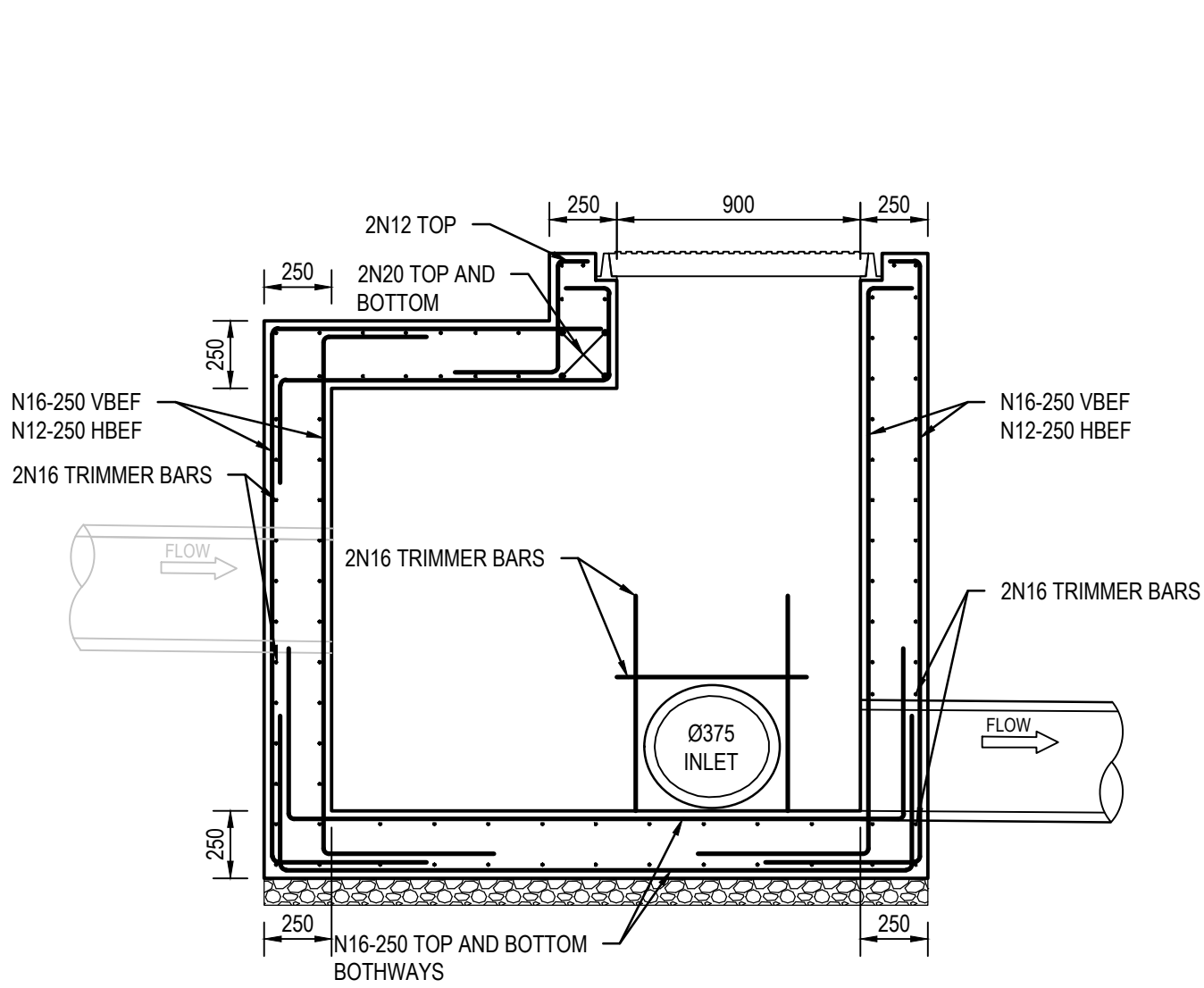
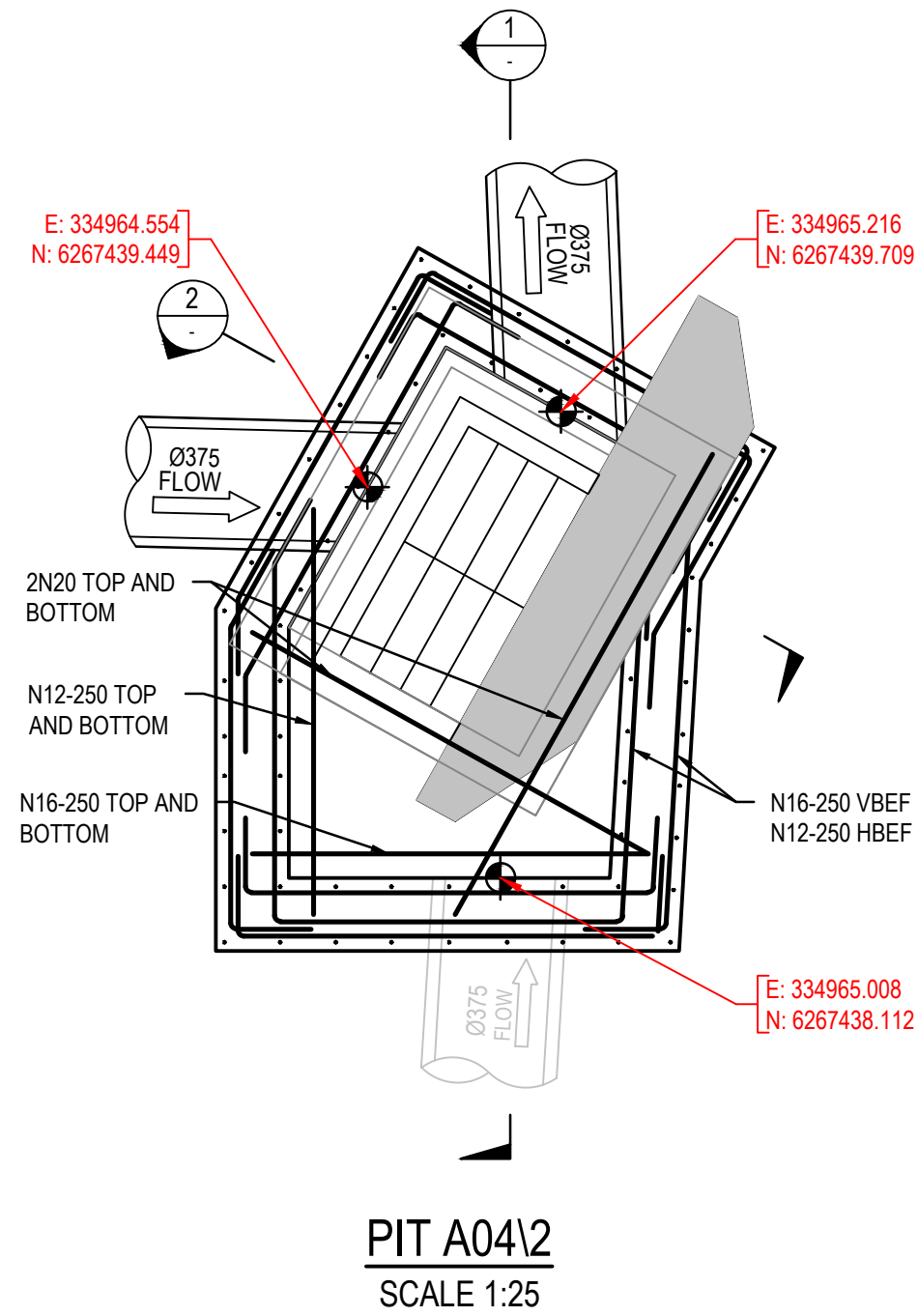
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Drawn	GJJ	Date	16/06/2020
Checked	MLL	Date	16/06/2020
Designed	MLL	Date	16/06/2020
Verified	RFA	Date	16/06/2020
Approved	RFA	Date	16/06/2020

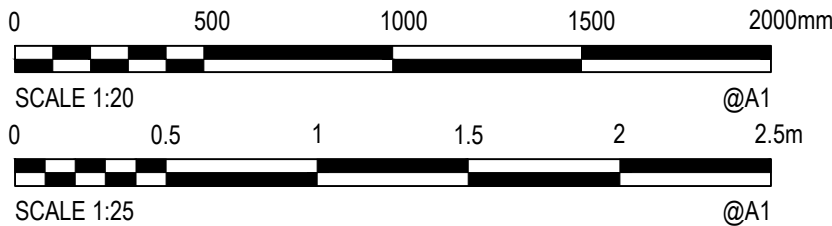
Client	LENDEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	STORMWATER DRAINAGE PIT DETAILS
Sheet	SHEET 03

Status		FOR CONSTRUCTION	
DATUM	DATE	Scale	Size
A.H.D	16/06/2020	1:25	A1
Drawing Number			Revision
256773_CDA_CC2_000_2213			6





PIT TYPE 'A' - NON STANDARD KERB INLET PIT



Rev.	Date	Description	Des.	Verif.	Appd.
3	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
2	14/04/2021	ISSUED FOR CONSTRUCTION	JHL	RFA	RFA
1	04/03/2021	ISSUED FOR CONSTRUCTION	JHL	RFA	RFA

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Drawn	GJJ	Date	16/06/2020
Checked	MLL	Date	16/06/2020
Designed	MLL	Date	16/06/2020
Verified	RFA	Date	16/06/2020
Approved	RFA	Date	16/06/2020

Client	LENDELEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 3
Title	STORMWATER DRAINAGE PIT DETAILS
SHEET 04	

Status		FOR CONSTRUCTION	
DATUM	DATE	Scale	Size
A.H.D	16/06/2020	AS SHOWN	A1
Drawing Number			Revision
256773_CDA_CC2_000_2214			3



The site plan illustrates the layout of the 207 Forest Way Retirement Village Precinct. It features several key areas and infrastructure elements:

- EXISTING ESTATE TO BE RETAINED:** A large area at the top left, outlined in blue, representing the existing estate to be retained.
- EXISTING BUSH LAND:** A large area at the top right, outlined in blue, representing existing bush land.
- 207 FOREST WAY RETIREMENT VILLAGE PRECINCT:** The central area of the plan, outlined in blue, representing the retirement village precinct.
- 207 FOREST WAY RETIREMENT VILLAGE PRECINCT:** A smaller area at the bottom right, outlined in blue, representing the retirement village precinct.
- EXISTING ESTATE TO BE RETAINED:** A large area at the top left, outlined in blue, representing the existing estate to be retained.
- EXISTING BUSH LAND:** A large area at the top right, outlined in blue, representing existing bush land.
- 207 FOREST WAY RETIREMENT VILLAGE PRECINCT:** The central area of the plan, outlined in blue, representing the retirement village precinct.
- 207 FOREST WAY RETIREMENT VILLAGE PRECINCT:** A smaller area at the bottom right, outlined in blue, representing the retirement village precinct.

The plan also includes various catchment areas labeled with codes and hectares (ha):

- A0119: 3.818ha
- A0118: 0.015ha
- A1114: 0.0170ha
- A0117: 0.0146ha
- A0116: 0.0419ha
- A1112: 0.0090ha
- A1111: 0.0090ha
- A0911: 0.0124ha
- A0812: 0.0320ha
- A0611: 0.0270ha
- A1011: 0.0102ha
- A0112: 0.0196ha
- A0111: 0.0172ha
- A1011: 0.0127ha
- A1011: 0.0416ha
- A04102: 0.63ha
- A0213: 0.0152ha
- A0212: 0.0191ha
- A0118: 0.0165ha
- A0110: 0.0127ha
- A0119: 0.0083ha
- A0117: 0.0268ha
- A0116: 0.0128ha
- A1211: 0.0250ha
- A0115: 0.0289ha
- A0114: 0.0111ha

Other labels include:

- GLENAEON DRIVE (EXISTING)
- GLENAEON DRIVE
- 207 FOREST WAY
- 207 FOREST WAY
- SEWER PUMP STATION (EXISTING)
- EXISTING BUSH LAND 0.2959ha
- CATCHMENT DRAIN TO EXISTING OSD SYSTEM AND POND A0812 0.6839

**LEGEND**

- EXTERNAL CATCHMENT AREA
- PROPOSED CATCHMENT AREA
- FLOW DIRECTION
- CATCHMENT LABEL

10	18/10/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
9	22/07/2021	ISSUED FOR CONSTRUCTION	PL	PL	SS
8	1/07/2021	ISSUED FOR CONSTRUCTION	DKK	RFA	RFA
7	21/06/2021	ISSUED FOR CONSTRUCTION	DKK	RFA	RFA
6	11/06/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
5	14/04/2021	ISSUED FOR CONSTRUCTION	JBC	RFA	RFA
4	11/11/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
3	30/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
2	15/10/2020	ISSUED FOR CONSTRUCTION	MLL	RFA	RFA
Rev.	Date	Description	Des.	Verif.	Appd.



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Drawn	Date
GJI	16/06/2020
Checked	Date
MLL	18/10/2021
Designed	Date
MLL	18/10/2021
Verified	Date
RFA	18/10/2021
Approved	
RFA	18/10/2021

Client	LENDELEASE
Project	GLENAEON RETIREMENT LIVING PRECINCT 207 FOREST WAY CIVIL WORKS - RENEWAL CONSTRUCTION CERTIFICATE 2
Title	STORMWATER CATCHMENT PLANS

Status			
<b>FOR CONSTRUCTION</b>			
DATUM	DATE	Scale	Size
A.H.D	18/10/2021.	AS SHOWN	A1
Drawing Number			Revision
256773_CDA_CC2_000_2301			10



