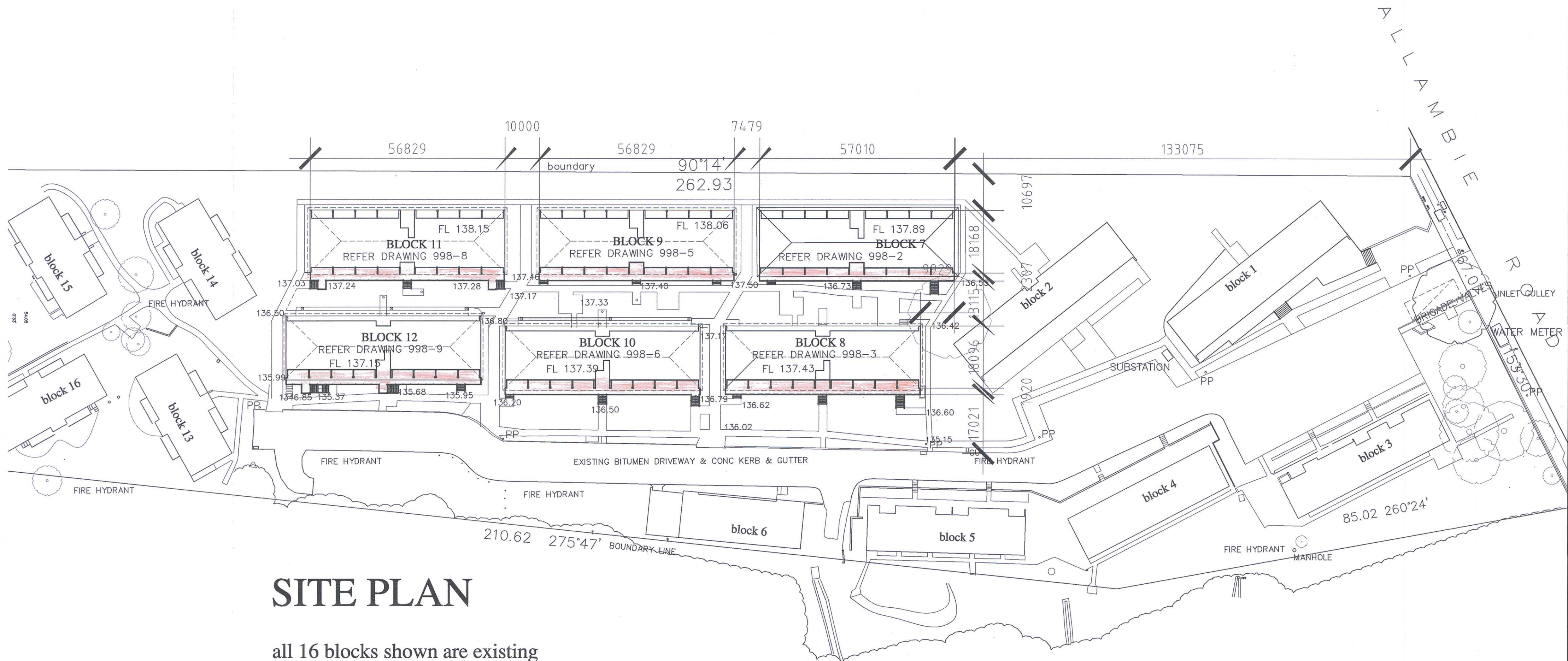


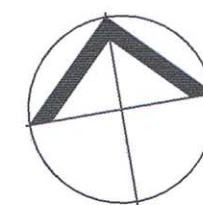


SITE PLAN

all 16 blocks shown are existing
all RLs shown are averaged

WESTERN PART OF SITE NOT RELEVANT TO
THIS APPLICATION HAS BEEN TRUNCATED

north



SITE PLAN

183 Allambie Road Allambie Heights
for The Fred Hutley Village

LINKLATER ASSOCIATES Pty Ltd building design consultants abn 60 003 778 738
160 Chandos Street, Crows Nest 2065 0414.466.442.

email alanlinklater@hotmail.com

SCALE: 1 : 500

DATE: 23.4.2018

DRAWING: 998.1

LOT 2610 DP 752038

AREA 18179.9 (by survey)

BLOCK 9
refer SHEET 998-5A

BLOCK 7

BLOCK 8
refer SHEET 998-3A

BLOCK 7

**183 Allambie Road Allambie Heights
for The Fred Hutley Village**

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160 Chandos Street, Crows Nest 2065 0414.466.442.
email alanlinklater@hotmail.com
SCALE: 1 : 100 DATE: 10.7.2019

DRAWING: **998. 2A**

symbols

- tactile panels 
- new paths 
- new decking 

NOTE

All pathways and planting to be
as shown on Landscape plans
998.L1 to L7

north



existing concrete path remains

line of building

demolish existing concrete driveway
& replace with new conc path and plantings

new privacy screens
between units

paint floor

face of existing building unchanged

new privacy screens
between units

new screens to inside gutter line

MODWOOD decking on timber framing

demolish exist stair

timber stair

new timber stair

50cc% stainless steel rail on 90x90 timber posts

new timber stair

50cc% stainless steel rail on 90x90 timber posts

new timber stair

new concrete path

new concrete path

new concrete path

demolish exist concrete path

exist concrete path

demolish exist concrete path
and form new concrete path

new outdoor seating area
ref drawing 998.3A (Block 8)

for concrete path details to Blocks 7 and 9 refer to drawings of each block

refer SHEET 998-5A

refer SHEET 998-2A

ramp path

new concrete path



drain pit

line of building

refer SHEET 998-6A

face of existing building unchanged

ail on 90x90 steel posts

demolish exist stair and path

exist tree

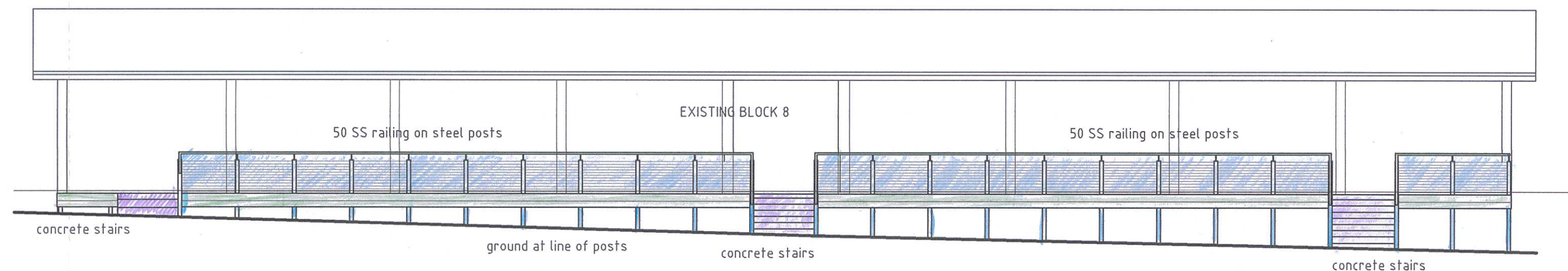
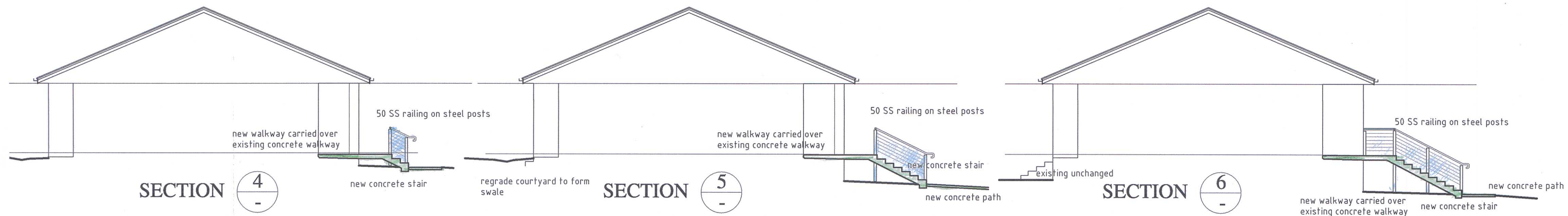
exist drain pit

demolish exist concrete path and step
and provide new concrete path
splayed to grade to street

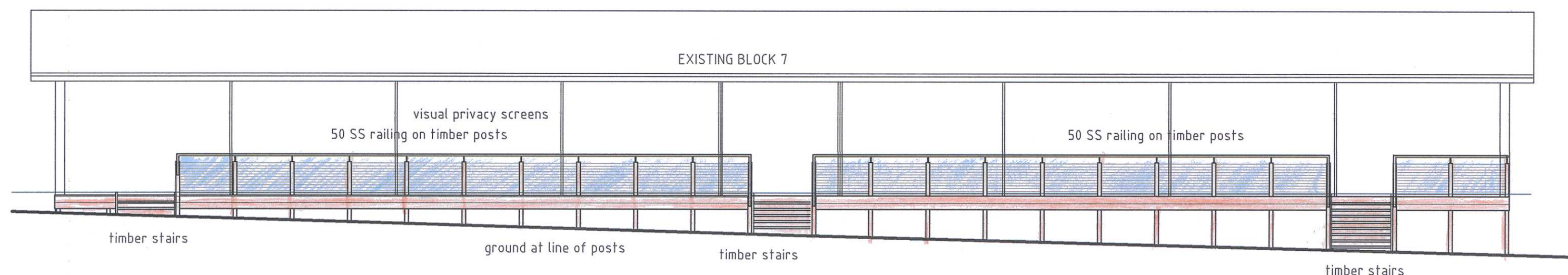
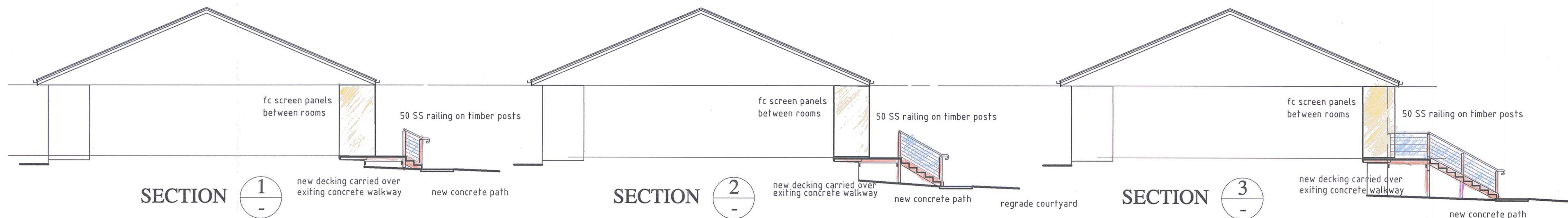
pavers

All pathways and planting to be
as shown on Landscape drawings
998.L1 to L6

DRAWING: 998. 3A



BLOCK 8 ELEVATION SOUTH



BLOCK 7 ELEVATION SOUTH

ELEVATIONS

BLOCKS 7 and 8

183 Allambie Road Allambie Heights
for The Fred Hutley Village

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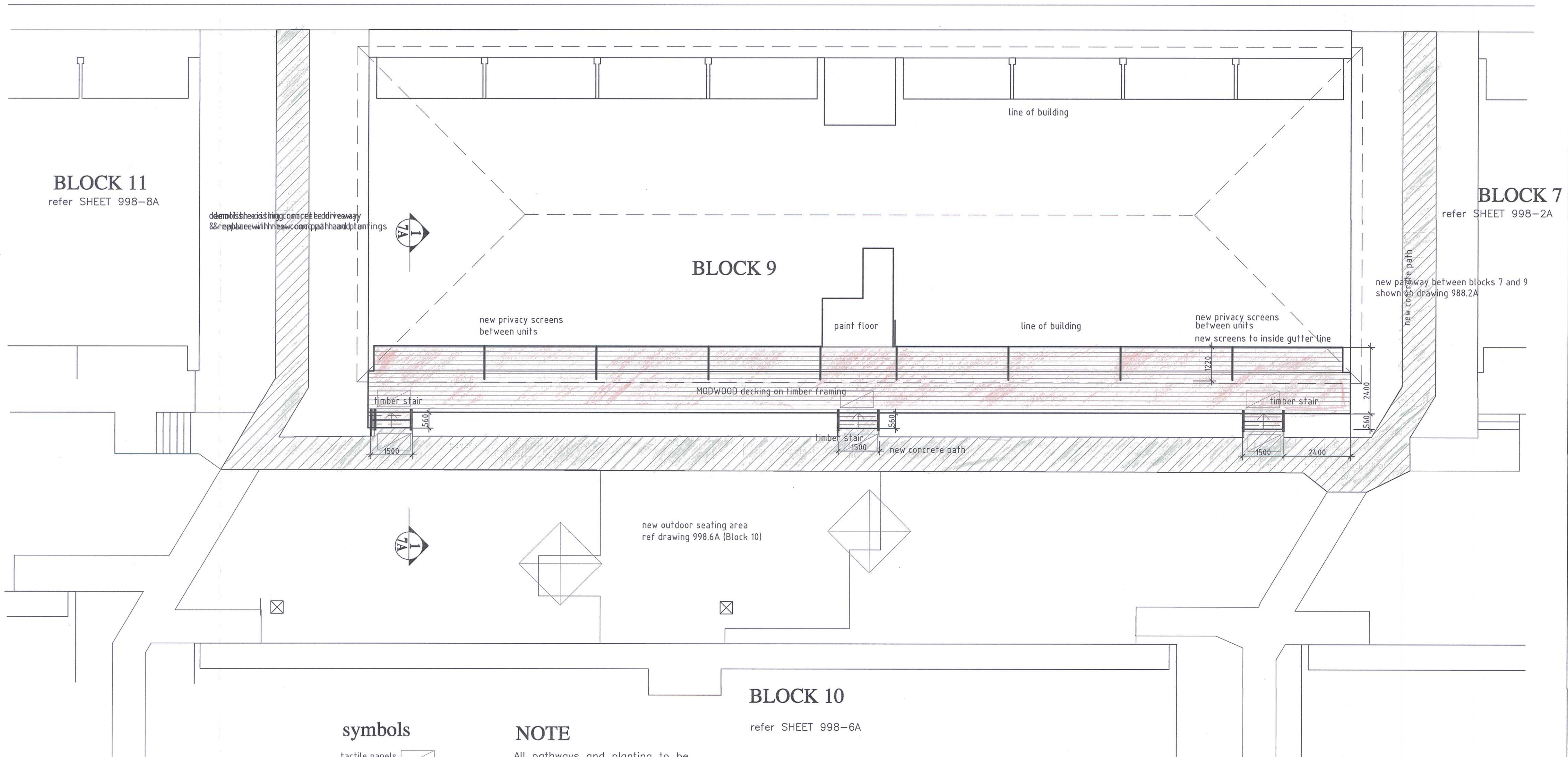
160 Chandos Street, Crows Nest 2065 0414.466.442.

email alanlinklater@hotmail.com

SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. 4A



BLOCK 11
refer SHEET 998-8A

BLOCK 7
refer SHEET 998-2A

BLOCK 9

BLOCK 10
refer SHEET 998-6A

symbols

- tactile panels 
- new paths 
- new decking 

NOTE

All pathways and planting to be
as shown on Landscape plans
998.L1 to L7



BLOCK 9

**183 Allambie Road Allambie Heights
for The Fred Hutley Village**

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email alanlinklater@hotmail.com
SCALE: 1 : 100 DATE: 10.7.2019

DRAWING: **998. 5A**

BLOCK 11
refer SHEET 998-8A

BLOCK 9
refer SHEET 998-5A

BLOCK 7
refer SHEET 998-2A

BLOCK 12
refer SHEET 998-9A

BLOCK 8
refer SHEET 998-3A

BLOCK 10

BLOCK 10

NOTE

All pathways and planting to be as shown on Landscape plans 998.L1 to L6

north



**183 Allambie Road Allambie Heights
for The Fred Hutley Village**

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email alanlinklater@hotmail.com

SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: **998. 6A**

for concrete path details to Blocks 7 and 9 refer to drawings of each block

for concrete path details to Blocks 7 and 9 refer to drawings of each block

for concrete path detail refer to Block 9 drg 998-5A

new concrete paving slabs on concrete base slab

exist clothesline replaced

remove timber bollards

new pathway between blocks 8 and 7
shown on drawing 988.3A

remove timber bollards

regrade land to fall to new swale

exist clothesline replaced

regrade land to fall to new swale

drain pit

drainage swale turfed

100ØUPVC drain @ min 1% grade

drain pit

drain pit

concrete landing

regrade land to fall to new swale

existing concrete pathway

line of building

symbols

tactile panels

new paths

new walkway
tiled

pavers

face of existing building unchanged

paint floor

face of existing building unchanged

selected paving tiles on concrete walkway

50cc% stainless steel rail on 90x90 steel posts

50cc% stainless steel rail on 90x90 steel posts

demolish exist stair and path
and provide new concrete path and stair

new concrete stair tiled on treads

demolish exist stair & path

demolish exist stair & path

remove existing concrete path

new concrete path

new concrete path

new concrete path

existing concrete path

existing concrete path

power pole

relocated exist seat and slab

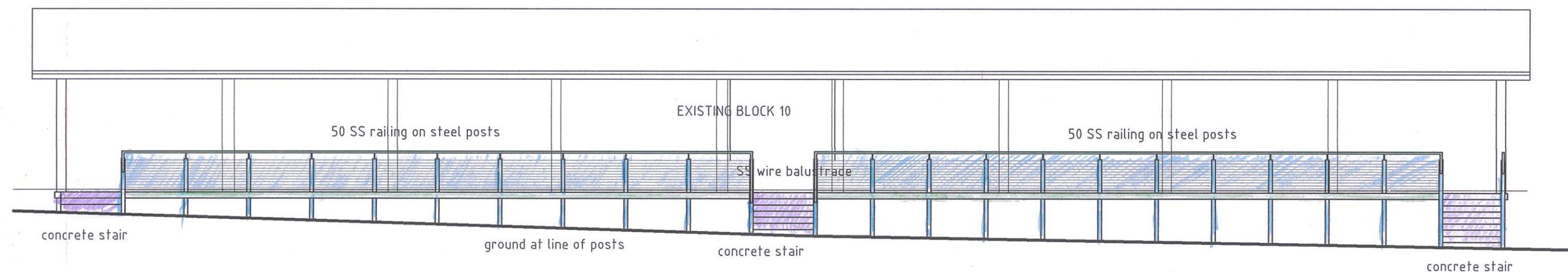
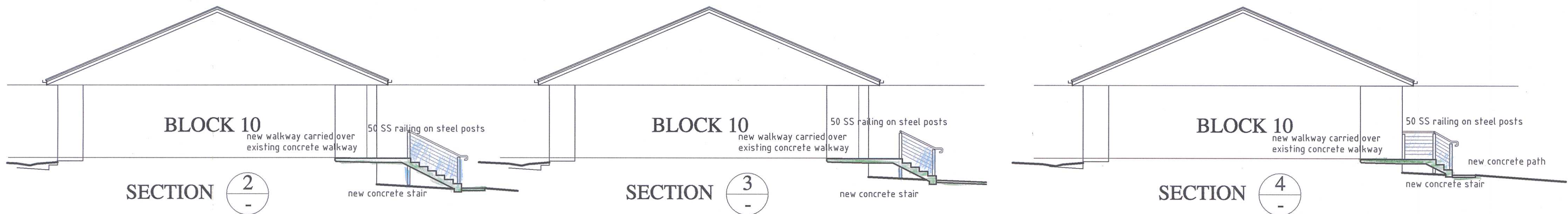
line of road kerb and gutter

demolish exist concrete path and step
and provide new concrete path
splayed to grade to street

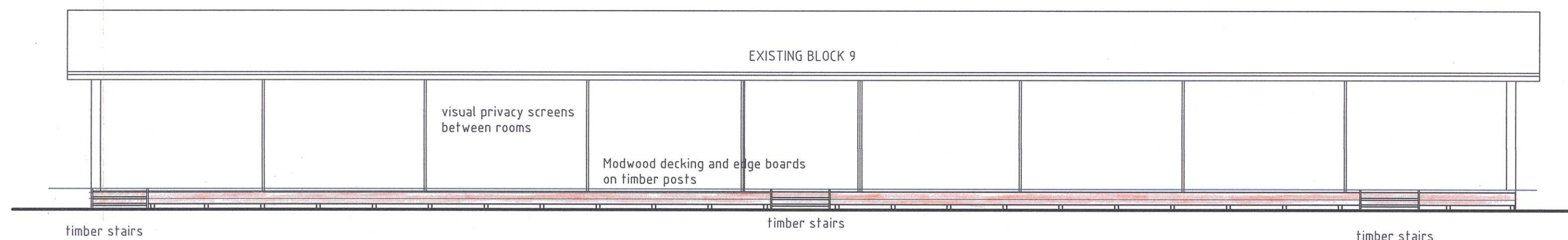
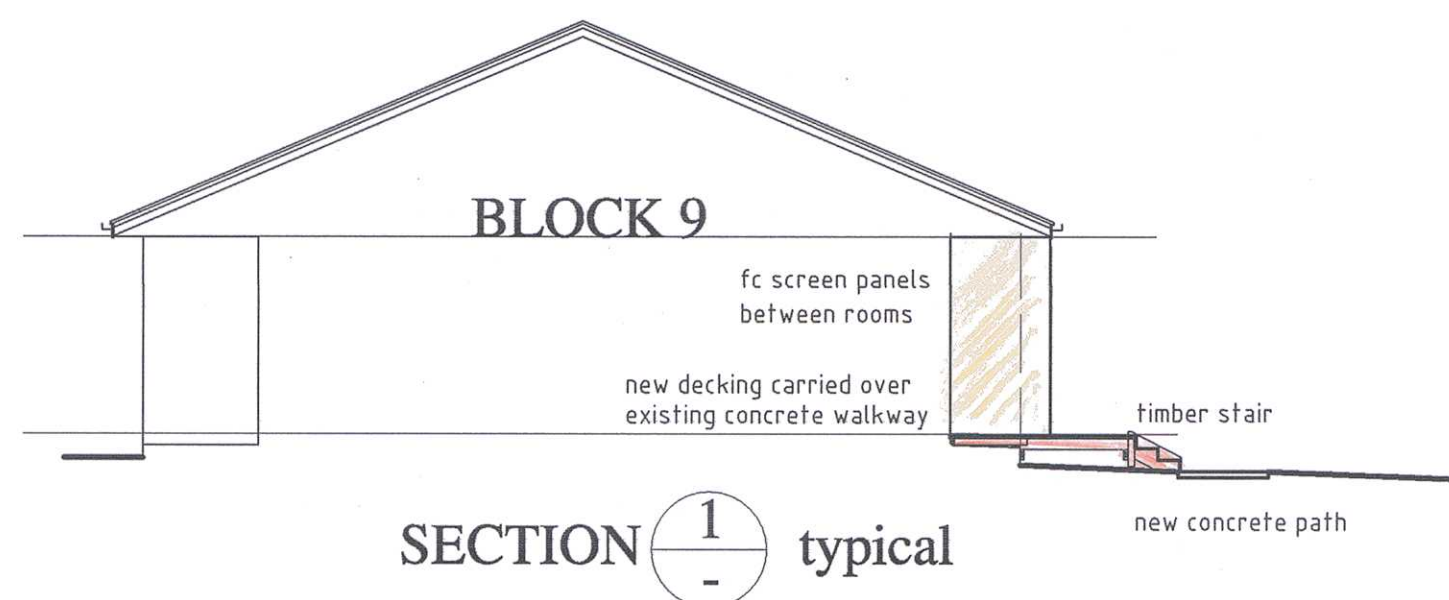
existing ramped crossing remains

existing concrete driveway

existing ramped crossing remains



BLOCK 10 ELEVATION SOUTH



BLOCK 9 ELEVATION SOUTH

BLOCKS 9 and 10

183 Allambie Road Allambie Heights
for The Fred Hutley Village

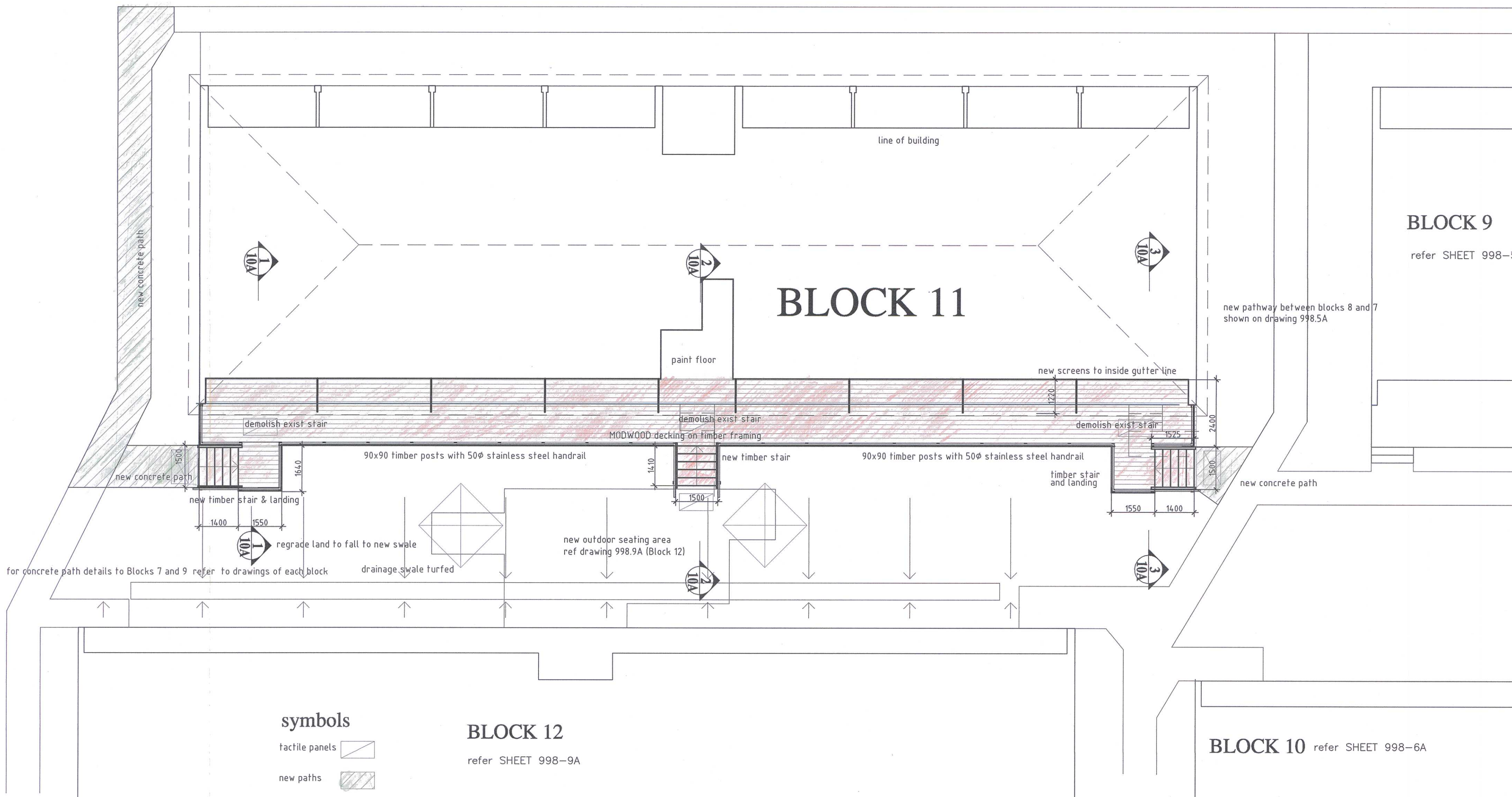
LINKLATER ASSOCIATES Pty Ltd building design consultants abn 60 003 778 738
160 Chandos Street, Crows Nest 2065 0414.466.442.

email alanlinklater@hotmail.com

SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. 7A



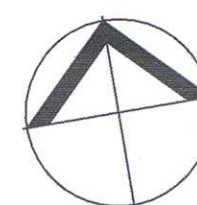
symbols

- tactile panels
- new paths
- new decking

NOTE

All pathways and planting to be as shown on Landscape plans 998.L1 to L7

north



BLOCK 11

183 Allambie Road Allambie Heights
for The Fred Hutley Village

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SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. 8A

BLOCK 11 refer SHEET 998-8A

BLOCK 12

BLOCK 10 refer SHEET 998-7A

new pathway between blocks 9 and 7 shown on drawing 988.6A

regrade land to fall to new swale

exist clothesline replaced

new concrete paving slabs on concrete base slab

exist tree

exist clothesline replaced

100ØUPVC drain @ min 1% grade connect to exist SW line

drain pit

drainage swale tiled

100ØUPVC drain @ min 1% grade

drain pit

100ØUPVC drain @ min 1% grade connect to exist SW line

exist pit

existing concrete pathway

make good slab edge where required

line of building

paint floor

existing palms

selected paving tiles on concrete walkway

demolish exist stair

existing concrete driveway

90x90 steel posts with 50Ø stainless steel handrail

concrete landing

concrete stair with tiled treads

concrete landing

new concrete path

existing seal relocated

demolish exist concrete path and step and provide new concrete steps

existing concrete driveway

concrete landing

stair dimensions

symbols

- tactile panels
- new paths

tactile panels

new paths

new walkway
fired

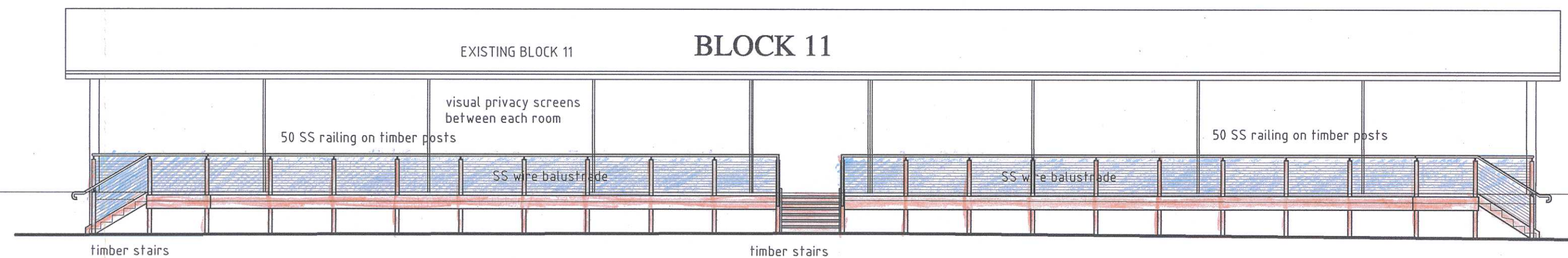
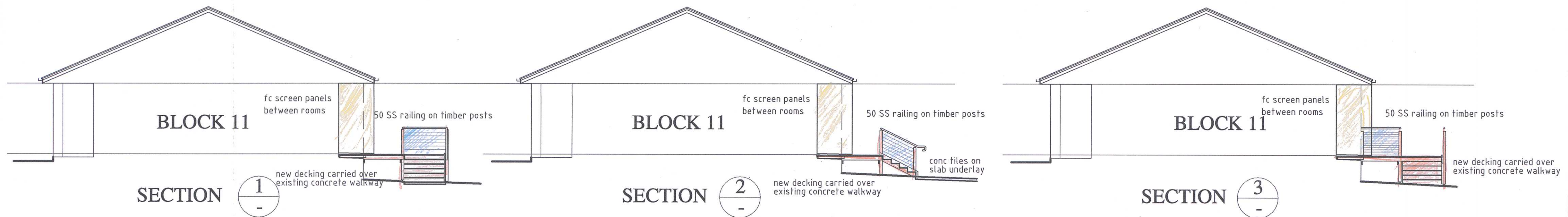
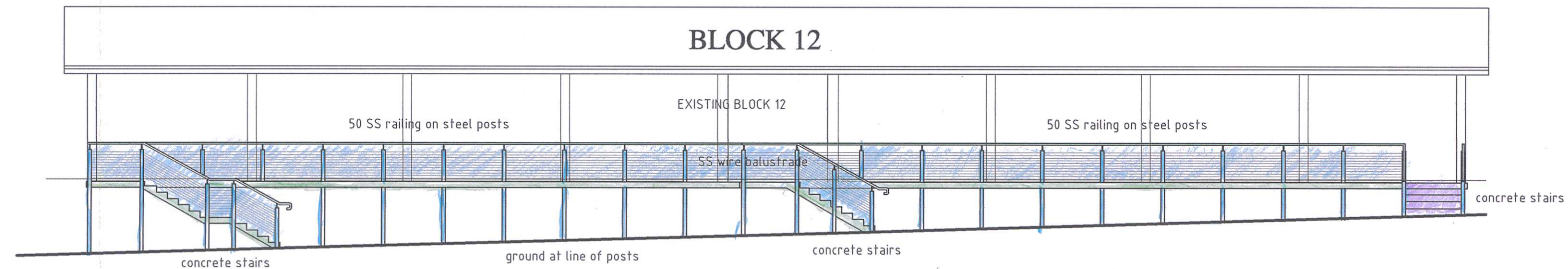
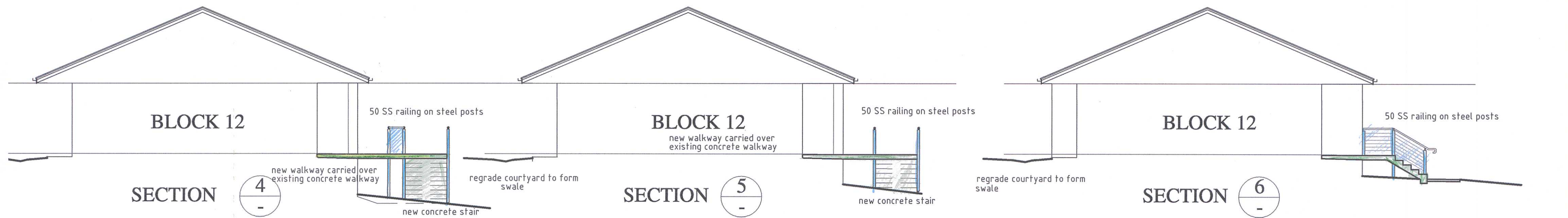
pavers

All pathways and planting to be
as shown on Landscape plans
998.L1 to L7

183 Allambie Road Allambie Heights for The Fred Hutley Village

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email alanlinklater@hotmail.com
SCALE: 1 : 100 DATE: 10.7.2019 DRAWING: 998. 9A

DRAWING: 998. 9A



BLOCKS 11 and 12

183 Allambie Road Allambie Heights
 for The Fred Hutley Village

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 email alanlinklater@hotmail.com

SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. 10A

BLOCK 9
refer SHEET 998-5A

BLOCK 10
refer SHEET 998-6A

BLOCK 7
refer SHEET 998-2A

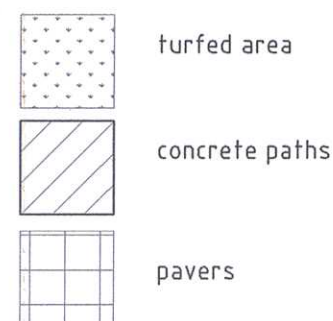
BLOCK 8
refer SHEET 998-3A
and SHEET 998-L2

LANDSCAPE PLAN BLOCK 7

183 Allambie Road Allambie Heights
for The Fred Hutley Village

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160 Chandos Street, Crows Nest 2065 0414.466.442.
email alanlinklater@hotmail.com
SCALE: 1 : 100 DATE: 10.7.2019 DRAWING: 998. L1

symbols



plant details

plant types	botanical name	common name	No.	code	pot size
	Viburnum odoratissimum	sweet viburnum	32	VO	200
	Correa Alba	white correa	1	CA	200
	Lomandra longifolia	tanika	14	LL	150
	Agapanthus orientalis	african lily	8	AO	150
	Cotoneaster horizontalis	prostrate cotoneaster	3	CH	150

note

plants are noted as code symbols only relative to each planting area
all planting areas to be mulched as noted on drawing 998.L7 and with brick edging

NOTE

All pathways and planting to be as shown on Landscape 998.L1 to L7

north



demolish existing concrete driveway
& replace with new conc path and plantings

new concrete path

turfed area

line of building

4 VO

timber stair

14 VO

brick-on-flat edging to garden areas
with mulch to planting zone

timber stair

brick-on-flat edging to garden areas
with mulch to planting zone

12 VO

timber stair

2 VO
1 CA
8 LL
4 AO
3 CH

demolish exist concrete path
and form new concrete path

new concrete path

ramp path

turfed area
graded down to path

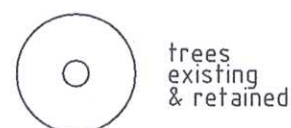
new concrete path

6 LL
4 AO

exist concrete path

for concrete path details to Blocks 7 and 9 refer to drawings of each block

new outdoor seating area
ref drawing 998.3A (Block 8)
and drawing 998.L2 (Block 8)



trees
existing
& retained

refer SHEET 998-5A

refer SHEET 998-2A
and SHEET 998-L1 (BLOCK 7)

for concrete path details to Blocks 7 and 9 refer to drawings of each block

ramp path

~~exist clothesline replaced~~

new concrete path

- exist conc steps

existing concrete pathway

drain from pit connects to
existing stormwater line at corner

existing concrete pathway

2 GB
2 RO
10 LL

	plant types	botanical name	common name	No.	code	pot size
	shrubs	Viburnum odoratissimum	sweet viburnum	30	VO	200
		Grevillea banksii x	robyn gordon	3	GRG	200
		Westringea Fruticosa	coastal rosemary	2	WF	150
		Grevillea buxifolia	grey spider flower	2	GB	200
		Rosmarinus officinalis	rosemary	2	RO	200
	ground covers	Lomandra longifolia	tanika	28	LL	150
		Agapanthus orientalis	african lily	16	AO	150
		Cotoneaster horizontalis	prostrafe cotoneaster	6	CH	150

demolish existing concrete driveway
& replace with new conc path and plantings

refer SHEET 998-6A

refer SHEET 998-2A

existing concrete pathway

3 VO
14 LL
3 GRG
2 WF
6 CH

1 VO
4 LL
14 VO

demolish exist stair and path	and provide new concrete path
-------------------------------	-------------------------------

exist conifer

4 A0

4 A0

4 A0

new concrete path

exist tree

existing concrete path

exist power pole ☐

exist drain pit

 exist fire hydrant

demolish exist concrete path and step
and provide new concrete path
splayed to grade to street

existing ramped crossing remains

existing kerb and gutter

cut kerb and form inset for steps
demolish exist concrete path and step
and provide new concrete steps

plants are noted as code symbols only relative to

all planting areas to be mulched as noted on drawing 998.L7
and with brick edging each planting area

All pathways and planting to be as shown on Landscape drawings 998.L1 to L7

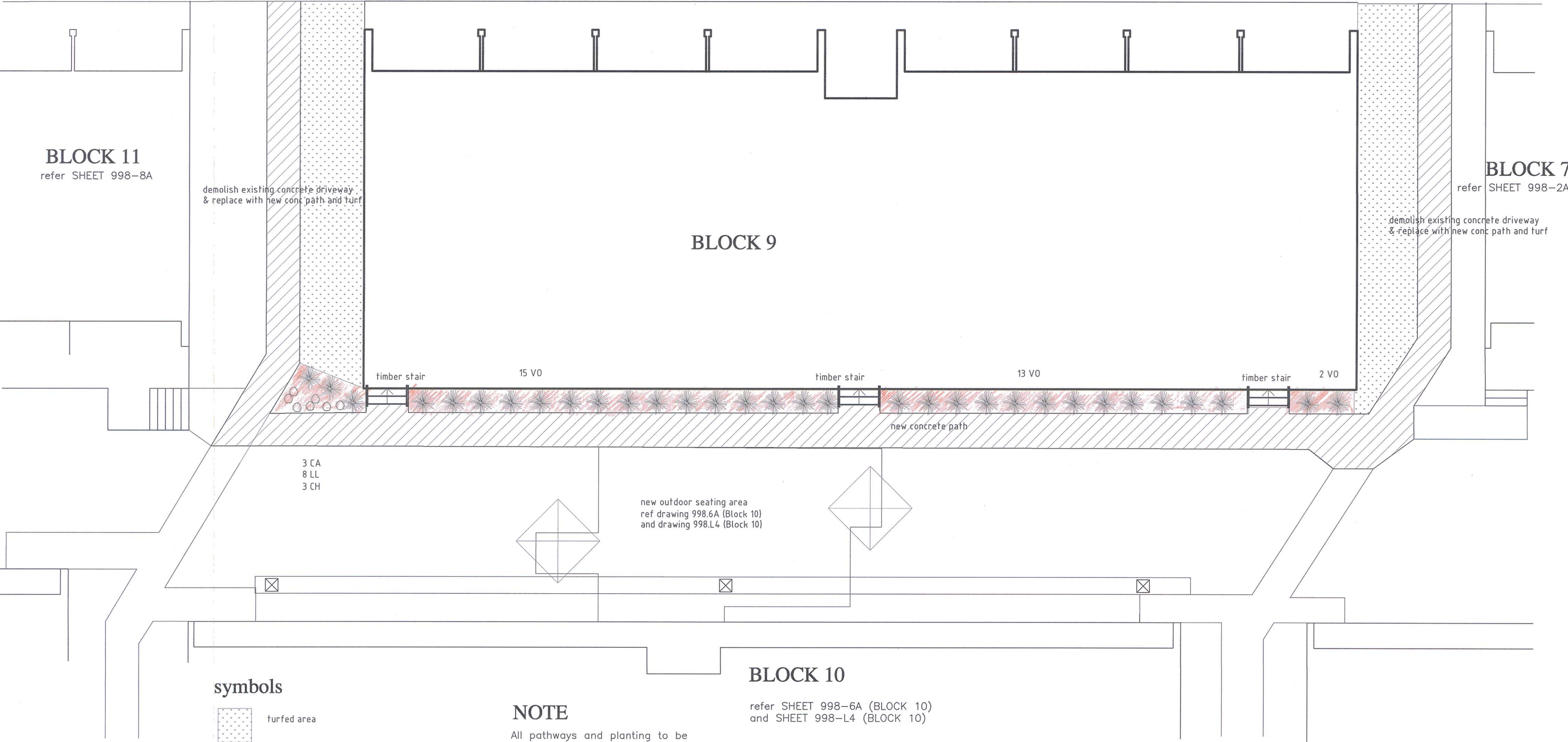
183 Allambie Road Allambie Heights for The Fred Hutley Village

LINKLATER ASSOCIATES Pty Ltd building design consultants abn 60 003 778 738
160 Chandos Street, Crows Nest 2065 0414.466.442.

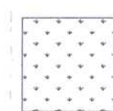
SCALE: 1 : 100 DATE: 10.7.2019

DRAWING: 998. L2

LANDSCAPE PLAN



symbols

-  turfed area
-  concrete paths

note

plants are noted as code symbols only relative to each planting area

all planting areas to be mulched as noted on drawing 998.L7 and with brick edging

NOTE

All pathways and planting to be as shown on Landscape 998.L1 to L7

plant details

plant types	botanical name	common name	No.	code	pot size
	Viburnum odoratissimum	sweet viburnum	30	V0	200
	Correa Alba	white correa	3	CA	200
	Lomandra longifolia	tanika	8	LL	150
	Cotoneaster horizontalis	prostrate cotoneaster	3	CH	150

BLOCK 10

refer SHEET 998-6A (BLOCK 10) and SHEET 998-L4 (BLOCK 10)

north



BLOCK 9

**183 Allambie Road Allambie Heights
for The Fred Hutley Village**

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160 Chandos Street, Crows Nest 2065 0414.466.442.
email alanlinklater@hotmail.com
SCALE: 1 : 100 DATE: 10.7.2019

DRAWING: **998. L3**

BLOCK 11
refer SHEET 998-8A

BLOCK 9
refer SHEET 998-5A

BLOCK 7
refer SHEET 998-2A

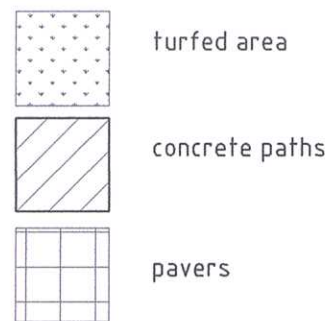
BLOCK 12
refer SHEET 998-9A
and SHEET 998-L6

BLOCK 8
refer SHEET 998-3A
and SHEET 998-L2

BLOCK 10

refer SHEET 998-6A for building works

symbols



plant types	botanical name	common name	No.	code	pot size
shrubs	Viburnum odoratissimum	sweet viburnum	30	VO	200
	Grevillea banksii x	robyn gordon	30	GRG	200
ground covers	Lomandra longifolia	tanika	24	LL	150
	Agapanthus orientalis	african lily	18	AO	150
	Cotoneaster horizontalis		3	CH	150
trees existing & retained					

note

plants are noted as code symbols only relative to each planting area

all planting areas to be mulched as noted on drawing 998.L7 and with brick edging

NOTE

All pathways and planting to be as shown on Landscape 998.L1 to L7

north



demolish exist concrete path and step and provide new concrete path splayed to grade to street

BLOCK 10

LANDSCAPE PLAN

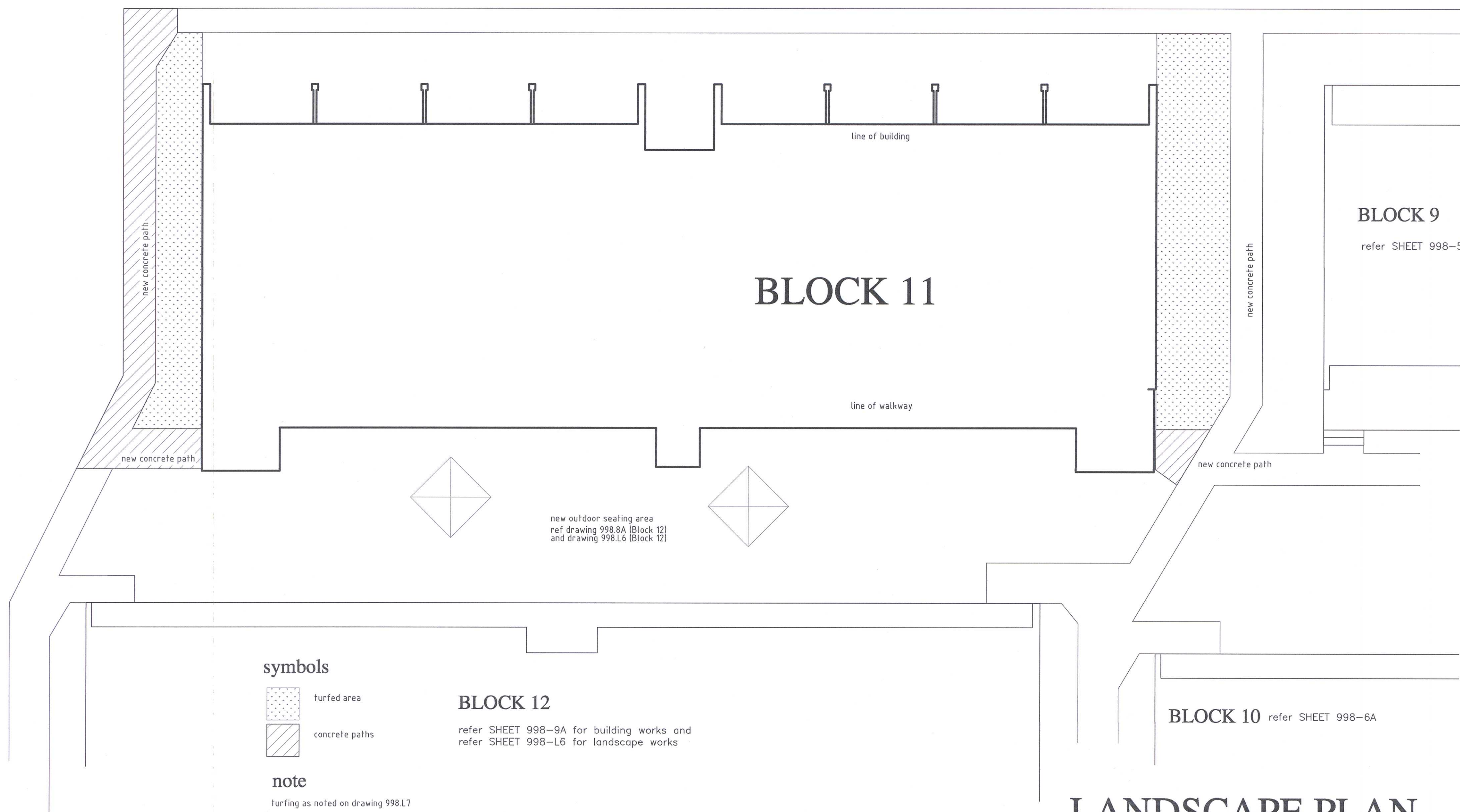
183 Allambie Road Allambie Heights
for The Fred Hutley Village

LINKLATER ASSOCIATES Pty Ltd building design consultants abn 60 003 778 738
160 Chandos Street, Crows Nest 2065 0414.466.442.
email alanlinklater@hotmail.com

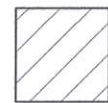
SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. L4



symbols

-  turf area
-  concrete paths

note

turfing as noted on drawing 998.L7

BLOCK 12

refer SHEET 998-9A for building works and
refer SHEET 998-L6 for landscape works

BLOCK 10 refer SHEET 998-6A



LANDSCAPE PLAN
BLOCK 11

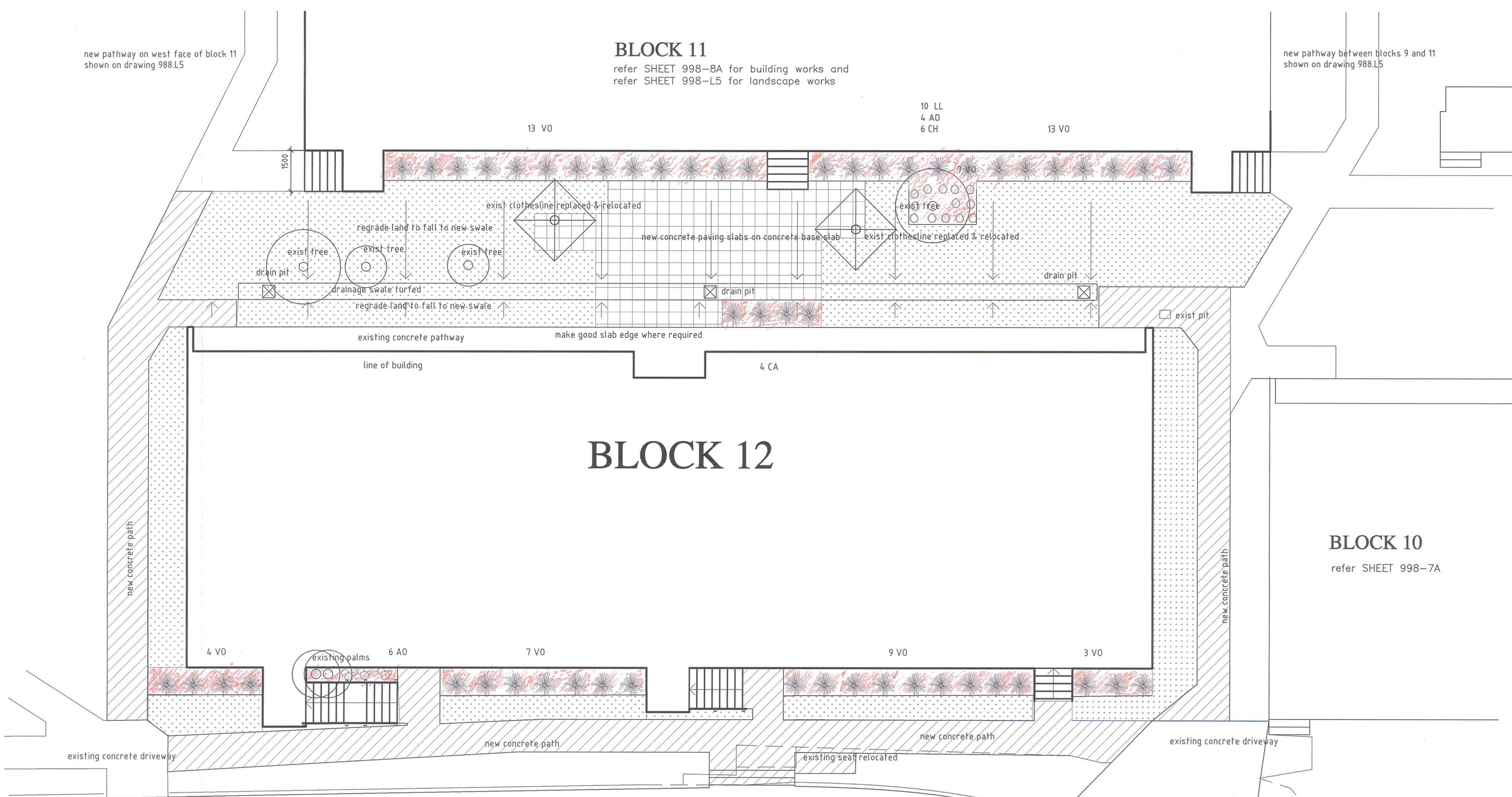
183 Allambie Road Allambie Heights
for The Fred Hutley Village

new pathway on west face of block 11
shown on drawing 988.L5

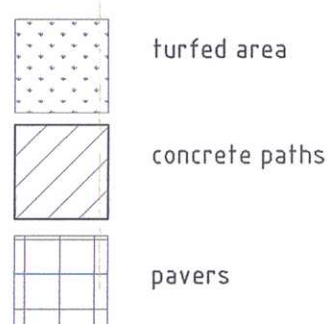
BLOCK 11

refer SHEET 998-8A for building works and
refer SHEET 998-L5 for landscape works

new pathway between blocks 9 and 11
shown on drawing 988.L5



symbols



plant details

plant types	botanical name	common name	No.	code	pot size
	<i>Viburnum odoratissimum</i>	sweet viburnum	49	VO	200
	<i>Correa Alba</i>	white correa	4	CA	200
	<i>Lomandra longifolia</i>	tanika	10	LL	150
	<i>Agapanthus orientalis</i>	african lily	4	AO	150
	<i>Cotoneaster horizontalis</i>	prostrate cotoneaster	6	CH	150



note

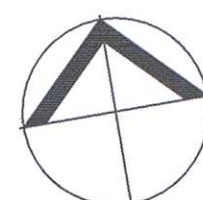
plants are noted as code symbols only relative to
each planting area

all planting areas to be mulched as noted on drawing 998.L7
and with brick edging

demolish exist concrete path and step
and provide new concrete steps

LANDSCAPE PLAN

north



BLOCK 12

183 Allambie Road Allambie Heights
for The Fred Hutley Village

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160 Chandos Street, Crows Nest 2065 0414.466.442.

email alanlinklater@hotmail.com

SCALE: 1 : 100

DATE: 10.7.2019

DRAWING: 998. L6

Landscape Notes

SITE PREPARATION

This specifcation shall cover the work and materials to be used in this project. These notes shall be read in conjunction with the drawings. All minor earthworks are to be carried out by the Landscape Contractor leaving the area ready for final finishes. Provide adequate watering points throughout the site to enable the Landscape Contractor to maintain the planted areas during the maintenance period. Weeds are to be sprayed with 'Roundup" and used strictly in accordance with the makers directions. Do not disturb weeds until they are dead. Existing trees noted for retention are to be protected during construction. Tree protectors are to be 1800 high chainwire mesh on star pickets. Branches to be removed to permit works shall be properly cut back according to current acceptable horticultural practice.

SOIL PREPARATION

GARDEN AREAS:
Where plants are to be provided, excavate to a depth of 300 below finished ground levels. Rip an additional 150 deep and apply 300 grams/ sq m gypsum cultivated into the subgrade. Provide 250 depth of topsoil with 100mm depth of imported topsoil(such as organic garden mix from Australian Native Landscapes or equivalent) mixed into the top 100mm depth.

TURFED AREAS:
To turfed areas, excavate to a depth of 120 below finished ground levels. Rip a further 150 depth and apply gypsum as noted above. Provide 100 depth of topsoil (such as Nitro-top from Australian Native Landscapes or equal) and mix into the existing topsoil

EDGING

110 wide brick edging is to be provided where shown to garden beds
Bricks to be the same as for previous blocks and are to be bedded on 75 mortar bed with mortar filling to joints between bricks, finishing flush with faces of bricks.

PLANTING

Plants shall be as noted on drawings. Install plants in a healthy state, free from insects and diseases and root system well established. Planting is not to be carried out into dry soil or harsh weather conditions. Root systems must be moist before planting and shall be removed from their pots with minimal disturbance. Install plants at the same depth as they were in their pots allowing for a local dishing around stems to assist watering. Do not mound soil around plant stems. Firm down soil around root ball and thoroughly soak after planting. On completion, cultivate and rake the area, leaving it clean and tidy, removing old pots. Fertilise with a slow-release agent such as 'Nuticote' or 'Osmocote' which is to mixed in with the topsoil before planting. Apply at the rate specified by the makers according to pot size and plant type.

MULCHING

Mulch shall be applied to all planting beds and around trees. Mulch to be fresh leaf litter and eucalyptus wood chips. Mulch to be spread after raking and smoothing of planted surfaces and shall be applied 100 thick, taking care not to mix mulch and soil.

planting notes:

TURFING

turf to be rolls of Sir Walter buffalo, with narrow spaces between strips filled with topsoil and watered thoroughly.

GENERALLY

landscaping to be maintained for 12 months from completion and is to include :
watering weekly for 2 months then fortnightly for 8 months.
weeds removed and topsoil replacement to weedholes.
mowing of turf each 2 weeks in spring and each 4 weeks in winter
fertilise 2 weeks after planting and again at 6 months.
replace defective or failed plant material.
prune as required to develop shape and size.
Remove all surplus landscape material from the site, sweeping paved areas.
Remove all nametags and maintain plants for the duration of the maintenance period.

LANDSCAPE NOTES

183 Allambie Road Allambie Heights
for The Fred Hutley Village

LINKLATER ASSOCIATES Pty Ltd building design consultants abn 60 003 778 738
160 Chandos Street, Crows Nest 2065 0414.466.442.
email alanlinklater@hotmail.com
SCALE: nil DATE: 10.7.2019

DRAWING: 998. L7

FRED HUTLEY VILLAGE

BLOCKS 7 - 12 ADDITIONS

183 ALLAMBIE RD, ALLAMBIE HEIGHTS, NSW. 2100

(DP 752038 - LOT 2610)

PROPOSED FIRE HYDRANT INSTALLATION

LOCATION PLAN



DRAWING SCHEDULE

DRAWING NUMBER	DRAWING TITLE	SCALE
HS - 100	COVER SHEET, LOCATION PLAN, AERIAL PHOTO, DRAWING SCHEDULE, LEGEND AND GENERAL NOTES	NA
HS - 101	PART SITE PLAN - SHEET 1 of 2	1:250
HS - 102	PART SITE PLAN - SHEET 2 of 2	1:250

AERIAL PHOTO



LEGEND

	TOWN WATER MAIN - EXISTING	AHD	AUSTRALIAN HEIGHT DATUM
	INCOMING WATER MAIN - PROPOSED	BP	BLOCK PLAN
	HYDRANT FIRE MAIN - PROPOSED	CICL	CAST IRON CEMENT LINED
	DCV BACK-FLOW ASSEMBLY	€	CENTRELINE
	HYDRANT BOOSTER ASSEMBLY	COS	CHECK ON SITE
	DUAL HYDRANT PILLAR ASSEMBLY	DCV	DUAL CHECK VALVE
	STREET/PATH HYDRANT IN TOWN MAIN	DFH	DUAL FIRE HYDRANT
	SPOT LEVEL (RL) APPROXIMATE	e	EXISTING
	SHUT VALVE	FFL	FINISHED FLOOR LEVEL
	NON-RETURN VALVE	FGL	FINISHED GROUND LEVEL
		GMS	GALVANISED MILD STEEL
		H	HYDRANT (IN STREET/PATH MAIN)
		HT	HOSE TAP
		NA	NOT APPLICABLE
		RL	REDUCED LEVEL
		SSM	STATE SURVEY MARK
		SWC	SYDNEY WATER CORPORATION
		SV	SHUT VALVE
		TBC	TO BE CONFIRMED
		TBP	TANKER BOOSTER PORT(S)
		TSP	TANKER SUCTION PORT(S)
		UNO	UNLESS NOTED OTHERWISE

GENERAL NOTES

GENERAL REQUIREMENTS

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH; THE HYDRAULIC SPECIFICATION, AND OBSERVATION FOR EXISTING SITE CONDITIONS AND CONSTRAINTS.
- WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF AS2419.1:2005 & AS/NZS3500:2003.
- THESE DRAWINGS ARE PROVIDED AS A GUIDE TO SATISFYING SPECIFIED REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE DESIGNS ARE COMPLETE AND WORKABLE.
- DIMENSIONS AND LEVELS, WHERE SHOWN, ARE PROVIDED AS A GUIDE ONLY AND MUST BE CHECKED ON SITE.
- INQUIRE AND OBTAIN ALL RECORDS FOR UNDERGROUND SERVICES LOCATED ON AND ADJACENT THE PROPERTY.
- INCLUDE ALL NECESSARY LIAISON AND PAYMENTS TO UTILITY PROVIDERS WHEN DEALING WITH SUPPLY CONNECTIONS FOR SITE ESTABLISHMENT.
- INCLUDE TO UNDERTAKE AN UNDERGROUND SEARCH FOR PRIVATE SERVICES ALONG THE ENTIRE HYDRANT SERVICE ROUTE, AND COORDINATE NEW WORKS WITH EXISTING SERVICES AS FOUND NECESSARY.

- ALL BACKFILL TO BE COMPACTED TO A MINIMUM OF 95% MODIFIED DRY DENSITY.
- ALL WORKS TO BE PERFORMED BY SUITABLY COMPETENT & QUALIFIED TRADE'S PERSONS UNDER THE DIRECT SUPERVISION OF THE LICENSEE.
- ALL MATERIALS SHALL BE SUPPLIED NEW AND INSTALLED IN ACCORDANCE WITH AS/NZS3500.1:2003.
- THE ENTIRE MATERIALS INSTALLATION IS TO BE CONGRUENT WITH 'PROTECTION FROM BUSHFIRE' REQUIREMENTS IN ACCORDANCE WITH AS/NZS3500.1 CLAUSE 5.23.

INCOMING MAIN WATER SUPPLY

- LIAISE WITH 'SYDNEY WATER CORPORATION' AND 'NORTHERN BEACHES COUNCIL' TO ARRANGE FOOTPATH OPENING AND A Ø100 'TEE & VALVE' CONNECTION ONTO THE Ø150MM MAIN IN ALLAMBIE ROAD. AND, PAY ALL DEPOSITS, FEES AND RESTORATION COSTS REQUIRED BY THE AUTHORITIES.
- THE INCOMING BURIED MAIN SHALL BE CONSTRUCTION IN 'TYPE - B' COPPER TUBE AND FITTINGS HAVING 5% SILVER SOLDERED JOINTS.
- THE INCOMING SUPPLY IS TO BE FITTED WITH AN 'SWC' APPROVED 'DOUBLE CHECK VALVE' ASSEMBLY SITUATED ABOVE GROUND AND BEFORE THE HYDRANT BOOSTER ASSEMBLY.

- ABOVE GROUND PIPEWORK IS TO BE FABRICATED IN GMS MATERIALS AND FITTED WITH AN ELECTROLYTIC DISCONNECTION COUPLING AT POINT OF ATTACHMENT TO THE BURIED COPPER, PER AS/NZS3500.1:2003 CLAUSE 5.14.2.

FIRE HYDRANT MAIN

- A Ø100MM HYDRANT BOOSTER ASSEMBLY IS TO BE FITTED AFTER THE 'DCV' AT ENTRY TO SITE AND ALONGSIDE THE MAIN VEHICLE ENTRANCE OFF ALLAMBIE ROAD, AS SHOWN ON THE DRAWINGS.
- ALL ABOVE GROUND MATERIALS ARE TO BE FABRICATED IN 'GMS'.
- BURIED MATERIALS SHALL BE SELECTED AFTER TENDER AND BASED ECONOMIES PRESENTED IN THAT PROCESS. HOWEVER, IT IS ENVISAGED THAT Ø125 [DN100 EQUIVALENT] SERIES 1 PN16 HDPE PIPE TO AS/NZS4130 WITH ELECTRO-FUSION FITTINGS WILL BE FAVORED.
- ALL PILLAR HYDRANTS ARE TO BE LOCATED SUCH THAT THEY ARE 10M MINIMUM FROM THE BUILDING(S) THEY PROTECT, WITH EACH PILLAR HAVING DUAL LANDING VALVES WITH STORTZ COUPLINGS AND CAPS AND HAVING LOCK-SHIELD COVERS FITTED WITH 003 LOCKS TO PREVENT UNAUTHORISED USE.

DEVELOPMENT APPLICATION ISSUE - PRELIMINARY

0.0 1.0 2.0 3.0 4.0 5.0m
SCALE 1:100 ON ORIGINAL



Revisions
Work in Progress

Hydraulic Consultant

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Client

FRED HUTLEY VILLAGE
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS, NSW. 2100

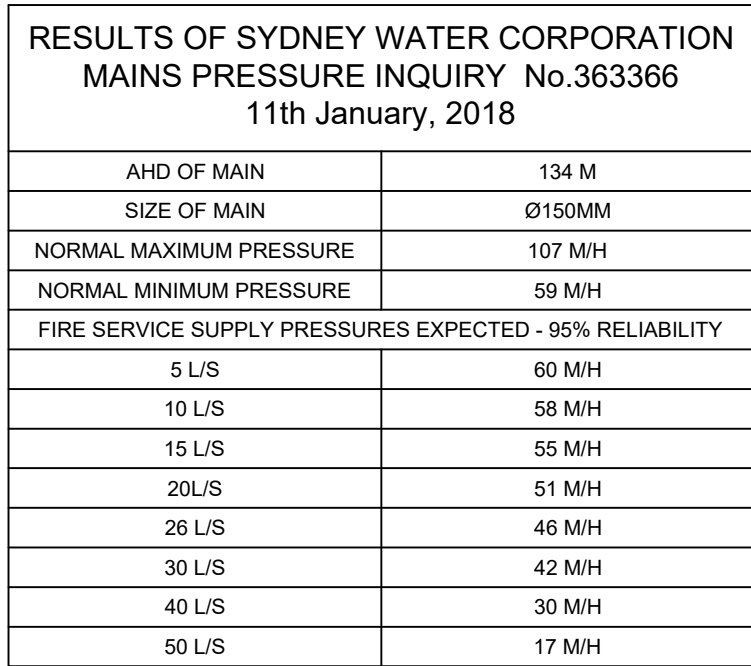
Project

FRED HUTLEY VILLAGE
BLOCKS 7 - 12 ADDITIONS
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS, NSW. 2100

Drawing Title

**PROPOSED FIRE HYDRANT
INSTALLATION**
COVER SHEET, LOCATION PLAN, AERIAL
PHOTO, DRAWING SCHEDULE, LEGEND &
GENERAL NOTES

Date	Scale
14th January 2018	As Shown
Sketch No.	Rev No.
HS - 100	Preliminary



✓

7

132.94



SSM 23030

Activity	Group A (% TEE)	Group B (% TEE)	Group C (% TEE)
Rest	~15	~15	~15
Light	~25	~25	~25
Moderate	~35	~35	~35
Heavy	~45	~55	~40

Ø150

100

TO TOP-DRESS & RE-TURF TRENCHES
THROUGH GRASSED AREAS, TYPICAL.

0.0 1.0 2.0 3.0 4.0 5.0m
SCALE 1:100 ON ORIGINAL

Revisions
Work in Progress

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Client

**FRED HUTLEY
VILLAGE**
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS. NSW. 2100

Project

FRED HUTLEY VILLAGE
BLOCKS 7 - 12 ADDITIONS
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS. NSW. 2100

Drawing Title

PROPOSED FIRE HYDRANT
INSTALLATION
PART SITE PLAN
SHEET 1 of 2

Date
14th January 2018

Sketch No.
HS - 101

Scale

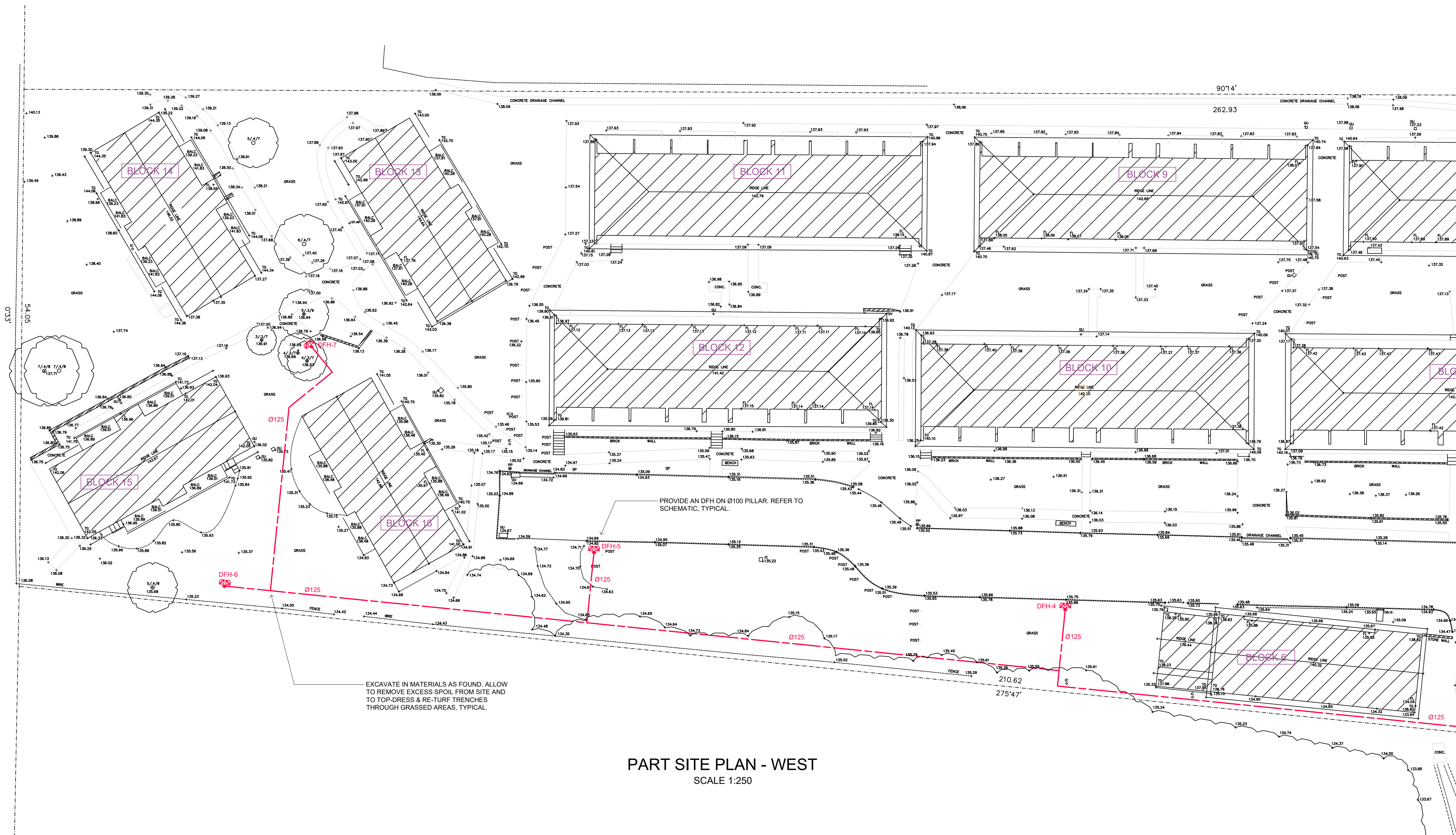
As Shown

Rev No.

Preli

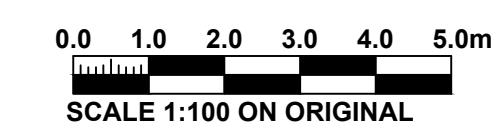
Primary

PART SITE PLAN - EAST
SCALE 1:250



PART SITE PLAN - WEST
SCALE 1:250

DEVELOPMENT APPLICATION ISSUE - PRELIMINARY



Revisions
Work in Progress

Hydraulic Consultant

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Client

FRED HUTLEY VILLAGE
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS, NSW. 2100

Project

FRED HUTLEY VILLAGE
BLOCKS 7 - 12 ADDITIONS
183 ALLAMBIE ROAD,
ALLAMBIE HEIGHTS, NSW. 2100

Drawing Title

**PROPOSED FIRE HYDRANT
INSTALLATION
PART SITE PLAN
SHEET 2 of 2**

Date 14th January 2018
Sketch No. HS - 102
Scale As Shown
Rev No. Preliminary

SIGN TO INCLUDE 'NOTICE OF TEST & WORKING PRESSURES', BEING: 1700kPa & 1200kPa RESPECTIVELY FOR TYPE 'B' COPPER (OR OTHER SUBJECT TO FINAL MATERIALS SELECTION).

BLOCK PLAN (A2 SIZE)

HYDRANT BOOSTER

FIRE HYDRANT

REFER TO AS2419.1 FOR BLOCK PLAN + SIGN PARTICULARS

TSP & DFH Ø65 LANDING VALVES COMPLETE WITH STORTZ COUPLING + CAP, AND LOCKED VALVE COVER WITH 003 KEYING, TYPICAL x 4 TOTAL.

A BACK-PRESSURE SHUT VALVE TO BE PROVIDED IN RISER IF A HYDRANT IS SITUATED MORE THAN 5M ABOVE TBP.

ALL INLINE VALVES (ABOVE GROUND) FITTED WITH 003 LOCKS + LABELS TO AS2419.1.

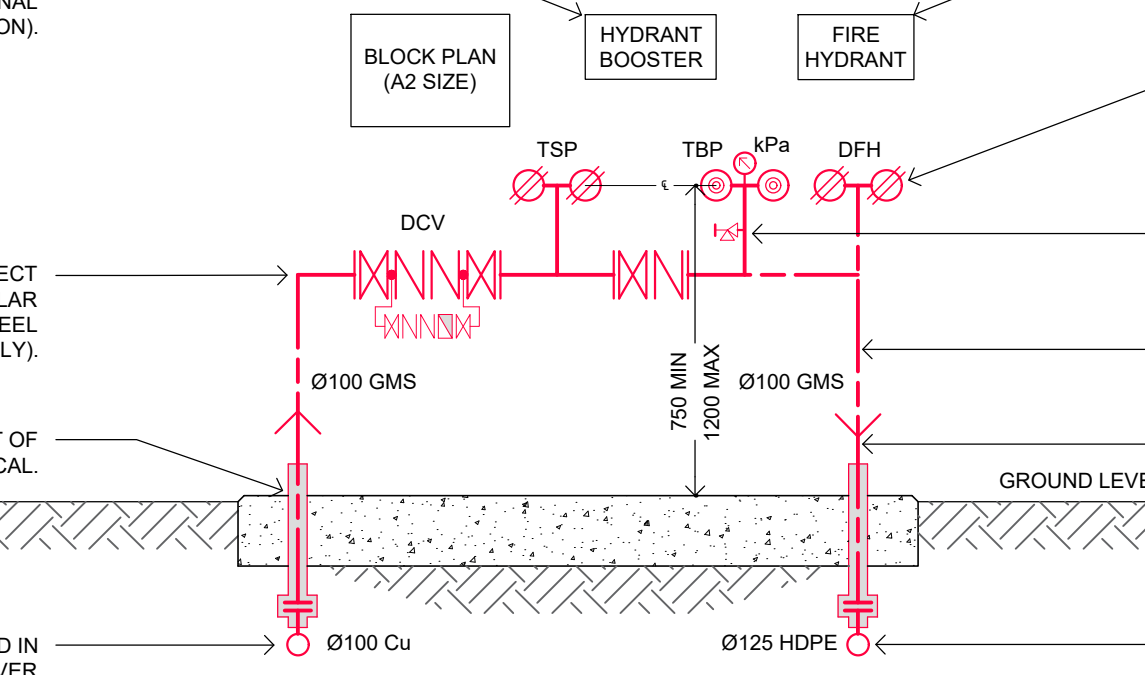
ABOVE GROUND PIPEWORK FABRICATED IN GMS & EITHER BRACKETED TO WALL OR SURROUNDED IN MASS CONCRETE BELOW GROUND. RED ENAMEL PAINT FINISH.

OUTGOING BURIED MAIN FABRICATED IN MATERIALS AS SPECIFIED. Ø125 HDPE SHOWN [EQUIVALENT TO DN100].

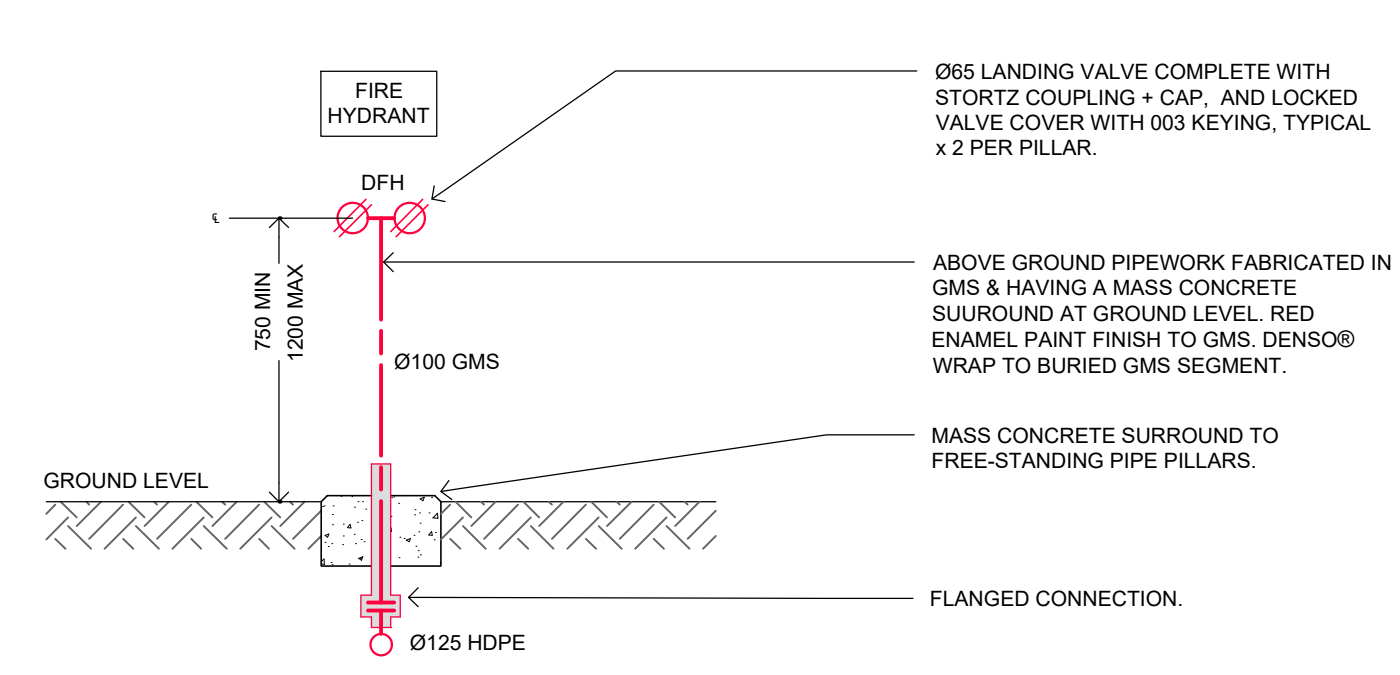
DCV ASSEMBLY + LOW FLOW DETECT METER TO SWC REQUIREMENTS (SIMILAR TO TYCOO' MODEL 'DC03' + HAVING WHEEL OPERATED TURN VALVES ONLY).

DENSO® WRAP ENTIRE SEGMENT OF BURIED GMS RISER, TYPICAL.

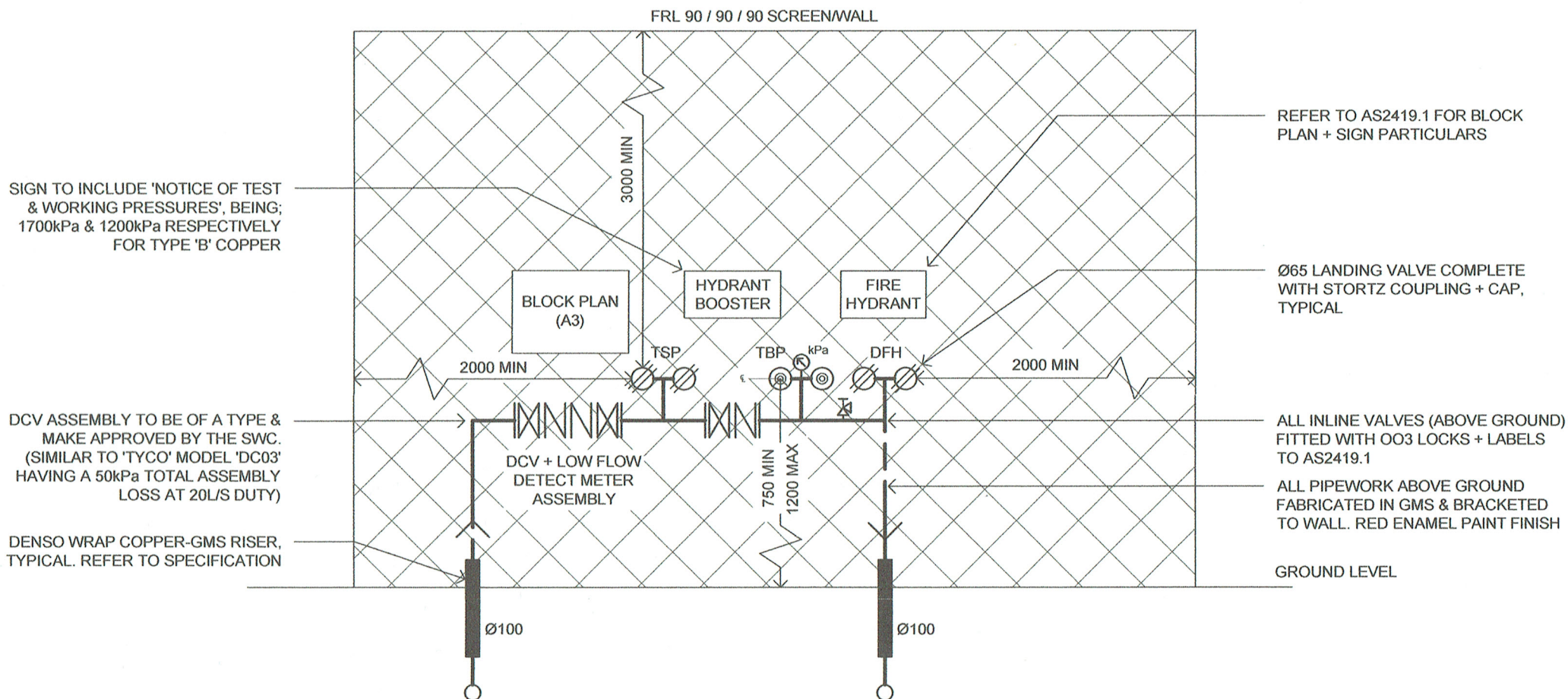
INCOMING BURIED MAIN FABRICATED IN TYPE 'B' COPPER WITH 5% SILVER SOLDERED JOINTS, AND HAVING AN ELECTROLYTIC DISCONNECTING COUPLING AT FLANGE PAIR.



SCHEMATIC - DCV + HYDRANT BOOSTER ASSEMBLY + DFH
[TO BE LOCATED 10M FROM RESTRICTED FEATURES AS PER AS2419.1-2005]
SCALE N.T.S



SCHEMATIC - EXTERNAL DUAL FIRE HYDRANT
[TO BE LOCATED 10M FROM RESTRICTED FEATURES AS PER AS2149.1-2005]
SCALE N.T.S



SCHEMATIC - DCV + HYDRANT BOOSTER ASSEMBLY + DFH