STEVE WATSON
& PARTNERS

Job No 2008/237

SCANNED
16 FEB 2009
PITTWATER COUNCIL

Tuesday, 10 February 2009

RECEIVED
16 FEB 2009
PITTWATER COUNCIL

Pittwater Council,
PO Box 882
Mona Vale NSW 1660

Attention General Manager

RE Construction Certificate No 08/237/01
13 Waratah Street, Mona Vale

Please find attached a copy of Construction Certificate 08/237/01 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(b) and 81A(2) of the Environmental Planning and Assessment Act 1979

Please find attached a cheque in the amount of $30 00 payable for the registration of the Construction Certificate

Can you please forward SWP a receipt for the acknowledgment of the lodgement cheque

If you have any queries please do not hesitate to contact me on (02) 9283 6555

Regards,

Brad Collits
Steve Watson & Partners

S \Jobs\2008 Jobs\2008 237 Aldi Mona Vale fitout\CC01 Docs\20090209 CC01 attached letter Council doc

*Paid $30 16/2/2009
R/254467

BUILDING REGULATIONS CONSULTANTS AND CERTIFIERS
FIRE SAFETY ENGINEERS
LEVEL 5 432 KENT STREET SYDNEY NSW 2000
TEL +61 2 9283 6555 | FAX +61 2 9283 8500
www swpartners com au
ABN 48 102 366 576

STEVE WATSON
& PARTNERS

CONSTRUCTION CERTIFICATE

LEVEL 5 432 KENT STREET SYDNEY NSW 2000
TEL +61 2 9283 6555 FAX +61 2 9283 8500
sydney@swpartners.com.au
www.swpartners.com.au
ABN 48 102 366 576

Construction Certificate No. 08/237/01

I, Anthony Ljubicic, certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications verified by me as may be shown on that documentation) will comply with the requirements of this Regulation as are referred to in section 81A (5) of the Environmental Planning and Assessment Act 1979

Applicant	Name **ALDI Stores**			
	Address **1 Sargents Road**			
	Suburb **Minchinbury**	State **NSW**	Postcode	**2770**
Location of the Property	Address **13 Waratah Street**			
	Suburb **Mona Vale**	State **NSW**	Postcode	**2103**
	Real Property Description **Lot 100 DP 577898**			
Building description	**Relocation of water connection, construction of fire wall associated with substation and construction of lift pit in basement carpark**			
Building Code of Australia Classification	**Class 6 & 7a**			
Date of Receipt	Date Received **5th February 2009**			
Determination	**Approved**			
	Date of Determination **10th February 2009**			
Development Consent	Development Consent Number **N0246/08**		Council **Pittwater Council**	
	Date of Determination **29th September 2008**			

STEVE WATSON & PARTNERS
08/237/01
Construction Certificate
Anthony Ljubicic Reg # BPB0233

Anthony Ljubicic
Accreditation Body **BPB** Accreditation no **BPB0233** Date of Endorsement **Tuesday, 10 February 2009**

Design documentation approved for Construction Certificate 08/237/01 for early works at 13 Waratah Street, Mona Vale

Drawing No	Drawing Title	Revision	Date	Drawn by
A-02	Demolition Plan	A	17 11 08	Donaldson Worrad Architects
A-03	Car Park Plan	A	17 11 08	Donaldson Worrad Architects
A-04	Floor Plan	A	17 11 08	Donaldson Worrad Architects
A-15	Sections	A	17 11 08	Donaldson Worrad Architects
H04	Hydraulics Services Floor Plan	1	18 11 08	Hughes Trueman
S03	Level 1 Floor Plan	1	03 12 08	Hughes Trueman
S10	Lift Plans and Elevations	1	03 12 08	Hughes Trueman
S11	Lift Steelwork Details Sheet 1	1	03 12 08	Hughes Trueman

Documentation relied upon to issue Construction Certificate 08/237/01 for early works at 13 Waratah Street, Mona Vale

Item No	Description	Date
1	Application for Construction Certificate	05 02 09
2	Notice of Commencement Form	04 02 09
3	Existing and proposed fire safety schedule	-
4	Hydraulic design certificate from Hughes Trueman	27 01 09
5	Evidence of Long Service Levy Payment	04 02 09
6	Documentation required to satisfy relevant DA conditions as per attached DA checklist	-

STEVE WATSON & PARTNERS

08 / 237 / 01

Construction Certificate
Anthony Ljubicic Reg # BPB0233

APPLICATION FOR CONSTRUCTION CERTIFICATE

STEVE WATSON & PARTNERS

BUILDING PERMIT APPLICATIONS CONSULTANTS AND CERTIFIERS
HEAD OFFICE ENGINEERS

LEVEL 5 432 CENTRE STREET SYDNEY NSW 2000
TEL +61 2 9283 6551 FAX +61 2 9283 8500
sydney@swpartners.com.au
www.swpartners.com.au
ABN 48 002 366 276

PART 1 Application and Site Details

Applicant

It is important that we are able to contact you if we need more information.

Please give us as much detail as possible

Note that a Building Contractor cannot be the applicant for a Construction Certificate or an Occupation Certificate

Mr ☐ Mrs ☐ Miss ☐ Ms ☐ Other ☐

Surname (or Company) AUDI STORES

Given names (or ABN) 90 196 565 019

Address 1 SARSFIELDS RD MINCHINBURY

State NSW Post Code

Phone (02) 96759128 Fax (02) 96759199

Mobile E mail

Please ensure you sign the declaration in Part 3 of this application

Location of the Property

We need this to correctly identify the land

Address 13 WARATAH ST

MONA VALE Post Code 2103

Real Property Description LOT 100 DP577898

(eg Lot/DP/Section etc)

The real property description is mandatory these details are shown on your rate notices property deeds etc

PART 2 Work Description

Description of Work

Please describe briefly everything that you want approved.

Building Work

- RELOCATION OF WATER CONNECTION
- CONST OF RETAINING WALL & FIRE WALL ASSOCIATED WITH SUB STATION
- CONSTRUCTION OF LIFT PIT IN BASEMENT

Estimated Cost of Work *(inclusive of GST)*

$ $100,000 EARLY WORKS ($2,078,824 TOTAL)

RECEIVED
05 FEB 2009
STEVE WATSON & PARTNERS

Development Consent	Development Consent No N0246/08 Date of Determination 29/9/08
Building Code of Australia Classification	BCA Classification 6 & 7a
Principal Contractor's Details *Required for all projects*	Name PRIME ~~CONS~~ INTERIORS Address P.O BOX 815 LANE COVE 1595 Contact Number 9418 7707

PART 3 Declaration

ALL THE DETAILS SOUGHT IN THE CHECKLIST IN PART 5 MUST BE PROVIDED.

THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THIS APPLICATION FAILURE TO PROVIDE THE REQUIRED DOCUMENTATION OF AN ACCEPTABLE STANDARD WILL RESULT IN YOUR APPLICATION BEING RETURNED

Declaration *If the applicant is a company or strata title body corporate a director or authorised delegate must sign this declaration.*	I apply for approval to carry out the development or works described in this application I declare that all the information in the application and checklist is to the best of my knowledge, true and correct. I also understand that if the information is incomplete the application may be delayed or rejected or more information may be requested. I acknowledge that if the information provided is misleading any approval granted 'may be void' Signature Date 5/2/09

PART 4 Schedule to Application for a Construction Certificate

Please complete this schedule The information will be sent to the Australian Bureau of Statistics

All new buildings N/A EXIST BLDG

Please complete the following

- Number of storeys (including underground floors) 4
- Gross floor area of new building (m²)
- Gross site area (m²)

Residential buildings only

Please complete the following details on residential structures N/A

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings? Yes ☐ No ☐
- Will the new building(s) be attached to existing buildings? Yes ☐ No ☐
- Does the site contain a dual occupancy? (NB dual occupancy = two dwellings on the same site) Yes ☐ No ☐

Materials – residential buildings N/A

Please indicate the materials to be used in the construction of the new building(s)

Walls		Code	Roof		Code	Floor		Code	Frame		Code
Brick (double)	☐	11	Tiles	☐	10	Concrete or slate	☐	20	Timber	☐	40
Brick (veneer)	☐	12	Concrete or slate	☐	20	Timber	☐	40	Steel	☐	60
Concrete or stone	☐	20	Fibre cement	☐	30	Other	☐	80	Aluminium	☐	70
Fibre cement	☐	30	Steel	☐	60	Not specified	☐	90	Other	☐	80
Timber	☐	40	Aluminium	☐	70				Not specified	☐	90
Curtain glass	☐	50	Other	☐	80						
Steel	☐	60	Not specified	☐	90						
Aluminium	☐	70									
Other	☐	80									
Not specified	☐	90									

PART 5 Checklist

Where relevant have you provided/completed the following	Yes	Not Relevant
• 4 copies of plans, elevations and sections	☑	☐
• 4 copies of specifications	☑	☐
• List of any existing and proposed fire safety measures (Refer to the Fire Safety Schedule)	☑	☐
• Evidence of Home Building Act requirements satisfied	☐	☑
• Evidence that Long Service Levy has been paid	☑	☐
• Schedule to application for a construction certificate is completed	☑	-
• Owners consent	☐	✓
• Applicants signature	☑	

PART 6 Notes for Completing Application for a Construction Certificate

The following information must accompany applications for a Construction Certificate for Building Work

1 The ABS schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics

2. Copies of compliance certificates relied upon.

3 Four (4) copies of all plans and specifications must be submitted with your application Plans for the building must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:
   a) Show a plan of each floor section.
   b) Show a plan of each elevation
   c) Show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
   d) Indicate the height, design, construction and provisions for fire safety and fire resistance.

4 Where proposed building work involves any alteration or addition to, or rebuilding of an existing building the plan is to be coloured or otherwise marked to distinguish the prosed work to be approved.

5. Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or marked up to adequately distinguish the modifications

6. The specification is
   a) To describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
   b) State whether the materials proposed to be used are new or second hand and give particulars of any second hand materials used

7 Where the application involves an alternative solution to meet the Performance Requirements of the BCA, the application must also be accompanied by:
   a) Details of the Performance Requirements that the alternative solution is intended to meet, and
   Details of the assessment methods used to establish compliance with those Performance Requirements.

8. Evidence of any accredited component process or design sought to be relied upon.

9 Except in the case of any application for or in the respect of a class 1a or class 10 building
   a) A list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated
   b) If the application relates to a proposal to carry out any alteration or rebuilding of or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.

   The list must describe the extent, capability and basis of design of each of the measures concerned

10 The Development Consent conditions together with stamped approved DA drawings are to be provided for our assessment of the development and record purposes

11 Under section 109F(1)(b) of the *Environmental Planning and Assessment Act 1979* a Construction Certificate cannot be issued until any long service levy payable under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* (or where such a levy is payable by instalments the first instalment of the levy) has been paid. The local council may be authorised to accept payment.

12 In the case of an application for a Construction Certificate for residential building work (within the meaning of the Home Building Act 1989) attach the following
   a) In the case of work performed by a licensee under that Act:
      i) A statement detailing the licensees name and contract licence number and
      ii) documentary evidence that the licensee has complied with the applicable requirements of that Act* or
   b) in the case of work done by any other person
      i) a statement detailing the persons name and owner-builder permit number, or
      ii) a declaration signed by the owner of the land to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of owner-builder work in section 29 of that Act. *(If the building work is less than $12 000 provide a statement that states the proposed work is less than $12,000)*

   * A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.

FIRE SAFETY SCHEDULE

STEVE WATSON & PARTNERS

13 Waratah St, Mona Vale CC 08/237/01

Existing Fire Safety Schedule

Item No	Existing Measure	Standard of performance
1	Automatic fire suppression system	AS 2118 2 1995
2	Emergency lighting	AS 2293 1 & 2 – 1998
3	Exit signs	AS 2293 1 & 2 – 1998
4	Fire Doors	AS/NZS 1905 1 – 1997
5	Fire Hydrant systems	AS 2419 1 1996
6	Hose reel system	AS 2441 1988
7	Portable fire extinguishers	AS 2444 2001

Proposed Fire Safety Schedule

Nil alterations to essential fire safety measures as part of this CC

STEVE WATSON & PARTNERS

08 / 237 / 01

Construction Certificate
Anthony Ljubicic Reg # BPB023

LONG SERVICE

4 February 2009

ALDI STORES
LOCKED BAG 56
ST MARYS DC NSW 2760

Levy Receipt

Receipt No
00006666

Received from (Name of person or organisation paying for levy)

ALDI STORES

the amount of

$7,275 00

Payment details

Cheque	140199	$7 275 00	ALDI STORES (A LIMITED PARTNERSHIP)

being payment for Long Service Levy as detailed below

Levy Payment Form number	0001566
Council Department/Authority	PITTWATER COUNCIL
CC Number	08/237/01
Work address	13 WARATAH ST MONA VALE NSW 2103
Estimated value of work	$2 078 824 00
Levy payable (No exemption)	$7 275 00
Total levy paid	**$7,275 00**

Signature of authorised person)

STEVE WATSON & PARTNERS
08 / 237 / 01
Construction Certificate
Anthony Ljubicic Reg # BPB0233

Hughes [illegible]

Hughes Trueman Pty Ltd
ACN 003 [illegible]
ABN 53 [illegible]
Quality Assured to AS 9001

Level 3 90 Phillip Street
PO Box 163
Parramatta NSW 2150
Australia
T 02 9891 [illegible]
F 02 9891 5386
www.hughestrueman.com.au
parramatta@hughes-trueman.com.au

27th January, 2009

Steve Watson and partners
Level 5, 432 Kent Street,
SYDNEY NSW 2000

Facsimile 9283 8500

Attn Mr Brad Collits

Dear Sir,

HYDRAULIC SERVICES DESIGN CERTIFICATE
ALDI STORE – LEVEL 2, 13 WARATAH STREET, MONA VALE

This is to certify that the design of the sanitary drainage, fire hydrants and fire hose reel services for the above building -as shown on our drawings 06S016 MO –H 01/ 0,H 02/0, H 03/0, H 04/0, H 05/0, H 06/0, H 07/0 and FS 01/0 was carried out by a practicing hydraulic services consultant in accordance with

Sanitary Plumbing and Drainage to AS3500 2,

Hot and cold water systems to AS3500 1 and AS 3500 4-2003,

Building Code of Australia clauses E1 3, E1 4 , E1 5and E1 6

Fire Hose Reel system to AS2441,

Fire Hydrant system to AS2419 1,

Portable Fire Extinguishers to AS2444,

NSW Code of Practice – Plumbing and Drainage – 2006

Fire Sprinkler Service to AS 2118 1 1999

We advise that all tapware and shower heads are to incorporate flow control devices rated at 3AAA and water closets are dual flush

Accepted engineering practice

In carrying out the design we exercised the degree of skill, care and diligence normally exercised by consulting engineers in similar circumstances

This certificate does not relieve other parties of their responsibilities for the works

Yours faithfully,

HUGHES TRUEMAN

DESMOND CONDON
SENIOR HYDRAULIC DESIGNER

STEVE WATSON & PARTNERS
08/23//01
Construction Certificate
Anthony Ljubicic Reg # BPB[illegible]

p:\st_leonards\2006\06s016aldi region 1\06s016mo\documents\hydraulics\hyd design statement\090127 hyd design cert dcca doc

STEVE WATSON & PARTNERS

DEVELOPMENT CONSENT CHECKLIST REQUIREMENTS FOR CERTIFICATION

PROJECT 13 Waratah Street, Mona Vale	**SWP JOB NUMBER 2008/237**	**DA # NO246/08**
This checklist identifies the requirements necessary to permit Construction and Occupation Certificates		S96 #1 dated
(CC s and OC s) to be issued by SWP under Part 4a of the EP&A Act		S96 #2 dated
The checklist must be read in conjunction with the Development Consent and any S96 modifications		S96 #3 dated
The applicant must manage compliance with the Consent and provide the nominated deliverables at each stage		S96 #4 dated
Note that the conditions cannot be set aside except by a formal S96 application to Council		

SWP USE ONLY

Keep notes for items in progress
Identify what was received from whom in each box to close out requirement at each stage
Put a flag in the MIR columns if an inspection is needed
Otherwise columns can stay blank until items are received

DA #		Deliverables prior to CC	Deliverables prior to commencement of works	Deliverables during construction	Deliverables prior OC	Independent approval required if so who?	Notes	Statutory works CC	Status CC	Status NOC	Check MIR Compliance?	Statutory	Status OC	Check MIR OC?
A Prescribed Conditions														
A1	All works to be in accordance with the BCA													
A2	Critical stage inspections		SWP to undertake inspection				Note							
A3	Builders details signage		Adequate signage displaying PCA details principal contractor details and unauthorised entry to work site to be erected on site							Outstanding				
A4	Residential building work									Outstanding	Outstanding			
A5	Residential building work						Note							
A6	Hours of construction						Note							
B Matters to be incorporated into the development and maintained over the life of the development							Note							
B1	Delivery vehicles to site to be maximum 11m in length													
B2	Use of loading dock						Note							
B3	Sign to handrail				SWP to check signage to handrail has been provided								Outstanding	Outstanding
B4	Handrail to eastern side of pedestrian ramp into level 2	Handrail to be shown on CC plans			SWP to check handrail on site		MW advised of handrail on drawings in meeting 27/01/08 SWP check drawings with CC once received		Outstanding				Outstanding	Outstanding
B5	Delivery vehicle access						Note							
B6	Approval relates only to the new work nominated on the approved consent plans						Note							
B7	Odour or noise nuisance to the public						Note							
B8	Seating of patrons on the public footpath is subject to separate application						Note							
B9	Water conservation devices to be installed	Design certificate to be provided to SWP			Installation certificate to be provided to SWP		See certificate from HT dated 27th Jan 09		Complete				Outstanding	
B10	All plumbing and drainage fixtures are to be concealed and not exposed to public view	Confirmation of no new exposed plumbing and drainage fixtures					MW and DC confirmed in meeting 27/01/09 no new external plumbing and drainage fixtures		Complete					
B11	External glazing	Statement confirming reflectivity index to be submitted to SWP					Email from MW dated 27th Jan 08		Complete					

DA #	Issue	D liv rables prior to CC	Deli erables prior to mmencement of works	Deliverables during constructi n	D live ables prior OC	Independent appro l quired if so wh ?	Notes	Status early rk CC	Status CC	Status NOC	Check MIR C mm ?	St tu d ring	Statu OC	Ch ck MIR OC?
B12	Finished surface materials	be provided confirming matching colour and materials					Email from MW dated 27th Jan 08		Complete					
B13	Business identification signs	SWP to check sign sizes on CC plans consistent with sizes nominated in condition							Outstanding					
C Matters to be satisfied prior to the issue of a Construction Certificate														
C1	CC plans to be consistent with approved DA plans	A copy of the DA approved documents to be submitted to SWP					Copy of the drawings Transport Noise and Access Reports received		Complete					
C2	Sydney Water Quick Check	A copy of the stamped Sydney Water Quick Check plans to be submitted to SWP					Sydney Water Stamped DA plan DA 01 provided	Complete						
C3	Proposed demolition works	Notation to be made on drawings for demo works to be carried out in accordance with AS2601 1991					Check plan A1 02 for notation once received		Outstanding					
C4	Clause 94 of the EP&A Regulation Upgrade	Upgrade building to full conformity with fire and spread of fire requirements of the BCA Complete schedule of essential fire safety measures required to be installed and design certification to be submitted to SWP					Email sent to Willana 13/10/08 for Council clarification on exactly what parts of BCA to be upgraded SWP to undertake audit of the building complete [illegible]		Outstanding					
C5	Construction of food premises	Design certificate to be provided to SWP referencing the nominated standards and conditions C5 C17			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C6	Walls to be of solid construction	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C7	Floors with an epoxy resin finish						MW confirmed in meeting 27/01/09 floors are vynil and concrete finish no epoxy resin finish							
C8	Requirements of floors	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C9	Coving requirements	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C10	Fixtures fittings and equipment	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	

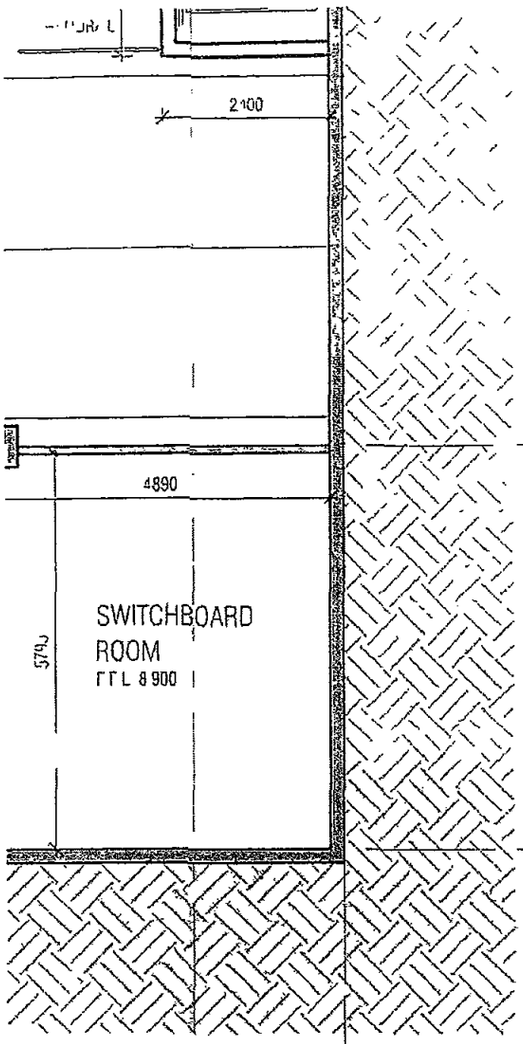
DA #	I u	D liverabl pri t CC	D li rabl s pri to mm m t f w rk	D liv bl d l g tru ti	D liverables p lor OC	Indep ndent app al q lred If so wh ?	Notes	Status early w rk CC	Status CC	Status NOC	Ch k MIR C mm ce?	Statu d ing	Statu OC	Che k MIR OC?
C11	Cupboards, cabinets and counter construction	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C12	Ceiling over food handling areas	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C13	Service pipes, conduits and electrical wiring	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C14	Shelving, cupboards and doors	To be included in design certificate under condition C5			Completion certificate to be provided to SWP referencing standards and Conditions C5 C17		Email from MW dated 27/01/09 confirming design to standards		Complete				Outstanding	
C15	Provision for storage of garbage containers	To be shown on CC plans					Confirm on CC drawings once received		Outstanding					
C16	External garbage/recycling storage areas	To be included in design certificate under condition C5			SWP to check impervious floors hose tap ventilated and proofed against vermin		Confirm on CC drawings once received		Outstanding				Outstanding	Outstanding
C17	Roomed garbage areas						N/A No internal garbage rooms external only							
C18	Accessibility report	Accessibility Report dated 3 June 08 to be provided Recommendations of the Accessibility Report to be incorporated into the into the CC documentation			Sign off from Access Consultant to be provided		Report received Confirm on CC drawings once received		Outstanding				Outstanding	
D Matters to be satisfied prior to the commencement of works and maintained during works														
D1	DA approved plans to be kept on site at all times						Note							
D2	Location of toilet facilities						Note							
D3	Type A/B hoarding to be erected		Hoardings to be erected SWP to inspect							Outstanding				
D4	Road Opening Permit						Note							
D5	No skip bins or materials are to be stored on Councils Road Reserve						Note							
D6	No works are to be carried out in Council s Road Reserve without the written approval of the Council						Note							
D7	Site Management Sign		A clearly legible Site Management Sign to be erected incorporating details as specified in condition D7 SWP to inspect							Outstanding	Outstanding			
E Matters to be satisfied prior to the issue of Occupation Certificate														
Note	Damage to Council assests				Council to inspect Council assests and provide written satisfaction								Outstanding	

DA #	Issue	Deliverables prior to CC	Deliverables prior to commencement of work	Deliverables during trade	Deliverable prior OC	Independent approval required if with ?	Notes	Statutory rk CC	Statu CC	Statu NOC	Check MIR C mm e?	Status d l g	Statu OC	Ch k MIR OC?
E1	Occupation certificate must be obtained before the building is occupied						Note							
E2	Food premises				1 Completed and signed Food Premises Occupation Certificate Fit out form to be completed and provided to Council and SWP 2 Council Health Officer to undertake inspection of food premises 3 Written advice from Council Health Officer confirming no objection to the issue of the OC to be obtained and forwarded to SWP								Outstanding	
E3	Sydney Water trade waste agreement				Evidence of trade waste agreement to be submitted to SWP								Outstanding	
E4	Mechanical exhaust ventilation systems				Certification from a **Mechanical Engineer** to be submitted to SWP								Outstanding	
E5	NSW Food Authority				Evidence food business has been notified with NSW Food Authority to be forwarded to SWP								Outstanding	
E6	Street numbers are to be affixed to the building prior to occupation				SWP to inspect								Outstanding	

Satisfaction of DA Conditions

		Prior to CC	Prior to OC
Checked by	*sign and dated*		
Verified by	*sign and dated*		

C2



SYD E/V A,IR
APPROVED

1 Pos[illegible]
2 Co[illegible] of [illegible]
3 It is the owner [illegible] that all proposed buildings will drain to Sydney Water's sewer
4 Any Plumbing and or Drainage Work to be carried out in accordance with the Sydney Water Act 1994 AS 3500 and the NSW Code of practice
5 Gullies Inspection Shafts and Boundary traps shall not be placed under any Room Balcony Verandah Floor or other cover unless otherwise approved by Sydney Water
6 Property No 3461509

Cooks Cas[illegible]
Quick Check Age[illegible]
SYDNEY WATER
Cooks 21/1/09

APPROVED [illegible]

1 5

Project	Drawing
ALDI STORE BUNGAN COURT MONA VALE	LEVEL 1 FLOOR PLAN
JOB NO 2007 21 G \05_projects\2007\21\graf\dwg\plo	SCALE 1 100 @ A1 DRAWN ML CHECKED APPROVED
APRIL 2008 DA SUBMISSION	**DA-01**

STEVE WATSON & PARTNERS
08 / 23 / 01
/B
Construction Certificate
Anthony Ljubicic Reg # BPB0233

QUICK CHECK

Application Lodgement Summary

Sydney WATER

Reference Number 2468099

Date Requested Wed January 21 2009

Agent	Cooks Castle Hill, 2 Victoria Avenue Castle Hill
Applicant	HUGHES TRUEMAN, PO BOX 163 PARRAMATTA 2124
Property/Asset	13-17 Waratah St, Mona Vale 2103 (Belfeat Pty Limited) PNum 3461509 225 mm VC Sewer Main - (2792432)
Product	Building Plan Approval Application

Charge	**Product Cost**	**GST**	**Total**
Building Plan Approval Application Fee	$25 00	$0 00	$25 00

Property Special Conditions

Boundary Trap Required	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Connection Type	Gravity

The above listed conditions apply to the first property identified If more than one property is identified, you will need to contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 9828 8543 to clarify the property special conditions You must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

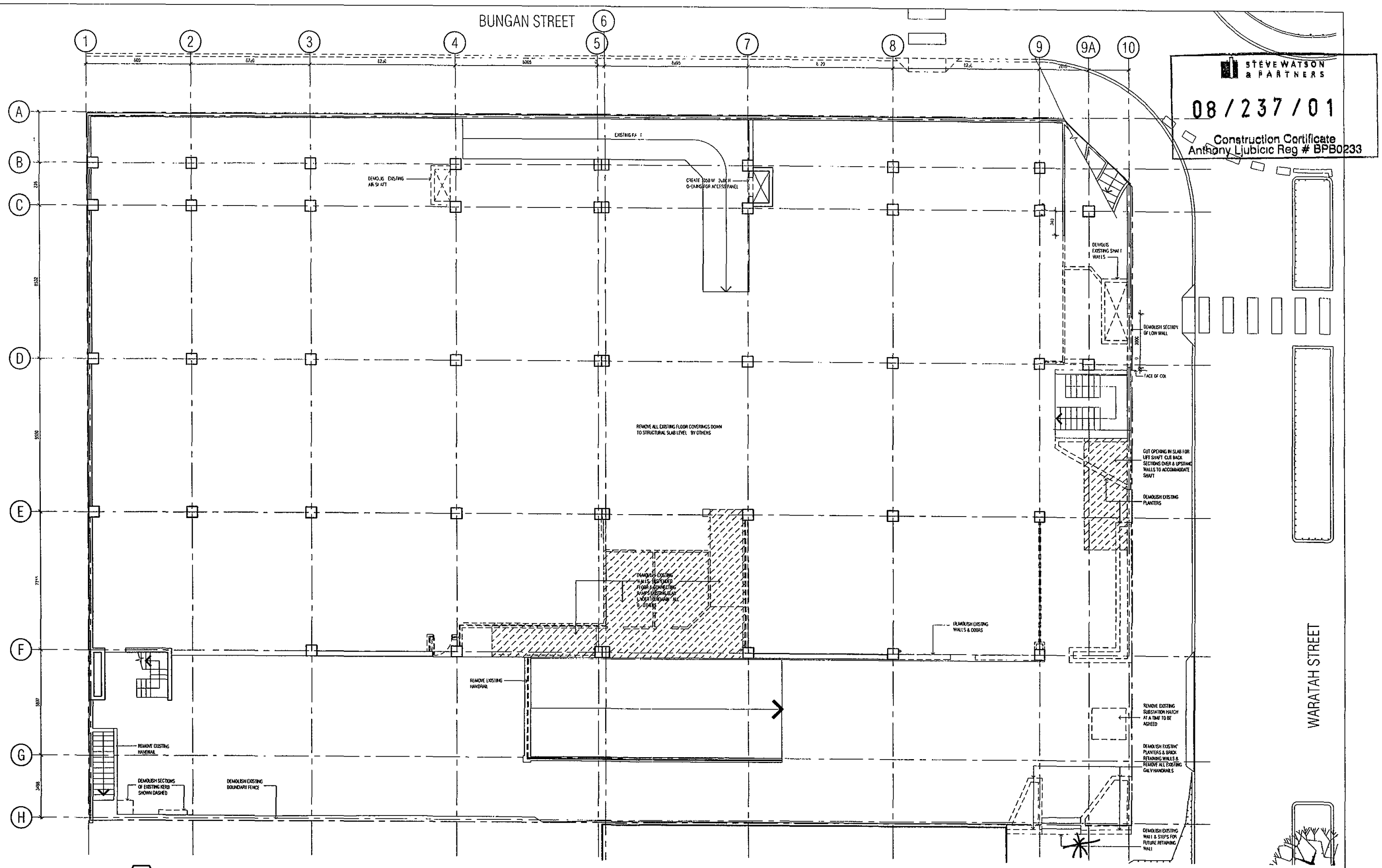
A water meter is required to be fitted to the property during construction You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

Steven,
We can be reimbursed for the now.
Regards
Des

STEVE WATSON & PARTNERS
08 / 237 / 01
Construction Certificate
Anthony Liubicic Reg # BPB0222

HUGHES TRUEMAN PTY LTD
Level 3, 90 Phillip Street
Parramatta NSW 2150
Telephone (02) 9891 5044

21/01/09



1 LEVEL 2 DEMOLITION PLAN
1 100 (A1 FORMAT)
1 200 (A3 FORMAT)

0 1 5 10

WORKS OUTSIDE PROPERTY BOUNDARY
NOT PART OF THIS APPROVAL

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Revision		Date
A	ISSUED FOR TENDER	17 11 08

Consultant

Quantity Surveyor: PACE KIRKLAND
Town Planning: WILLIANA & Associates
Traffic: COLSTON BUDD HUNT & KAFES
Structural/Civil/Hydraulic: HUGHES TRUEMAN
BCA Consultants: STEVE WATSON & PARTNERS
Electrical Engineering: WEBB AUSTRALIA
Mechanical Engineering: ERBAS & Associates

Client: ALDI

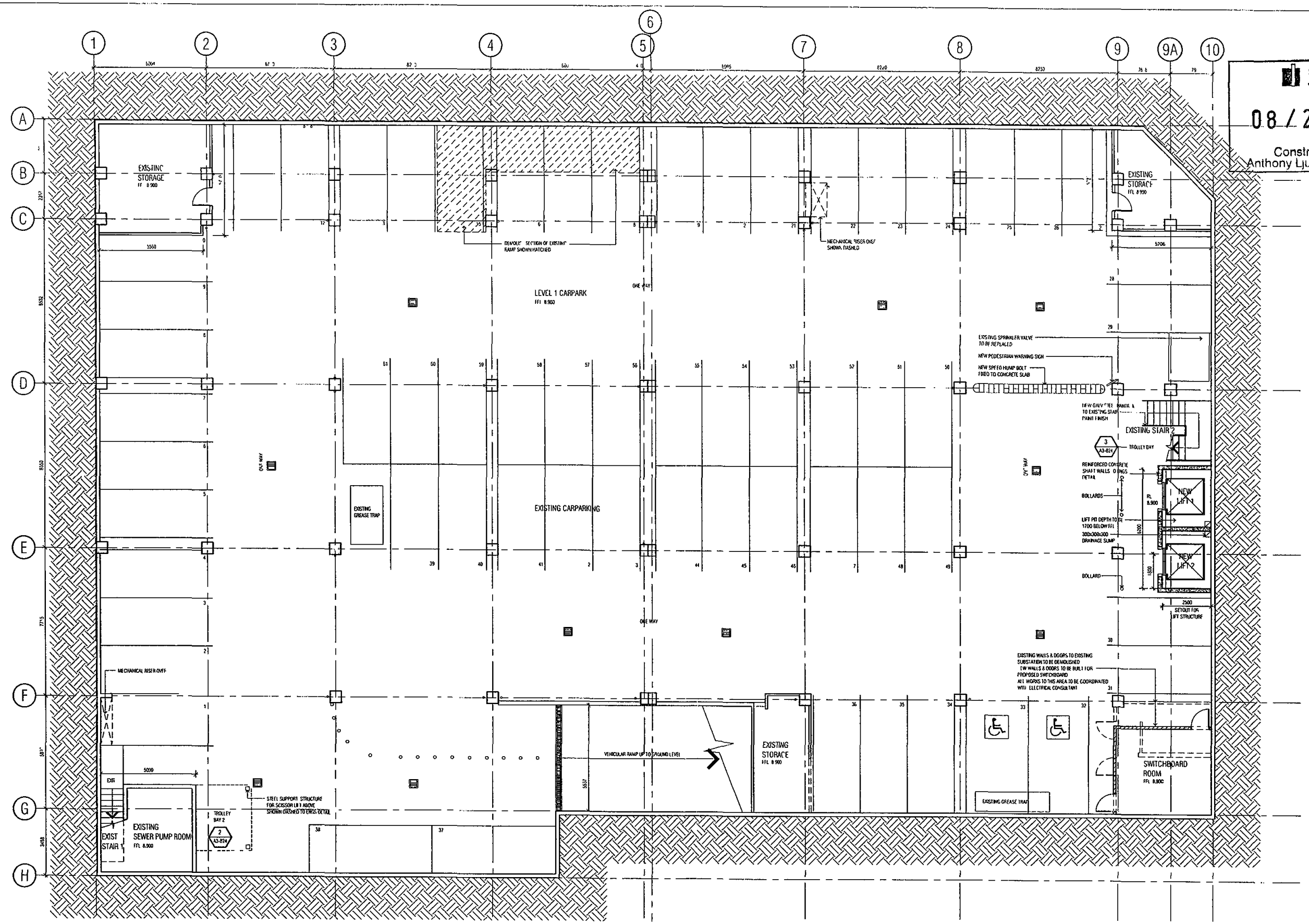
Architect: donaldson wood
Level 2, 303 Pacific Highway, St Leonards NSW 2065
p (02) 9907 8276 f (02) 9907 8215

Project: ALDI STORE
BUNGAN COURT
MONA VALE
JOB NO 2007 21
G:\05_projects\2007\21\grafdwg\plot

Drawing: DEMOLITION PLAN

SCALE 1 100 @ A1
DRAWN KW
CHECKED
APPROVED

NOVEMBER 2008
FOR TENDER
A-02 /A



1 CAR PARK PLAN
1 100 (A1 FORMAT)
1 200 (A3 FORMAT)

0 1 5 10 m

STEVE WATSON & PARTNERS

08/237/01

Construction Certificate
Anthony Ljubicic Reg # BPB0233

Revision		Date
A	ISSUED FOR TENDER	17 11 08

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Consultant

Quantity Surveyor: PAGE KIRKLAND
Town Planning: WILLIANS & Associates
Traffic: COLSTON BUDD HUNT & KAFES
Structural/Civil/Hydraulic: HUGHES TRUEMAN
BCA Consultants: STEVE WATSON & PARTNERS
Electrical Engineering: WEBB AUSTRALIA
Mechanical Engineering: ERBAS & Associates

Client: ALDI

Architect: donaldson working
units 80 120 d l ve brookvale 2100
p 02 9907 8278 f 02 9907 8315

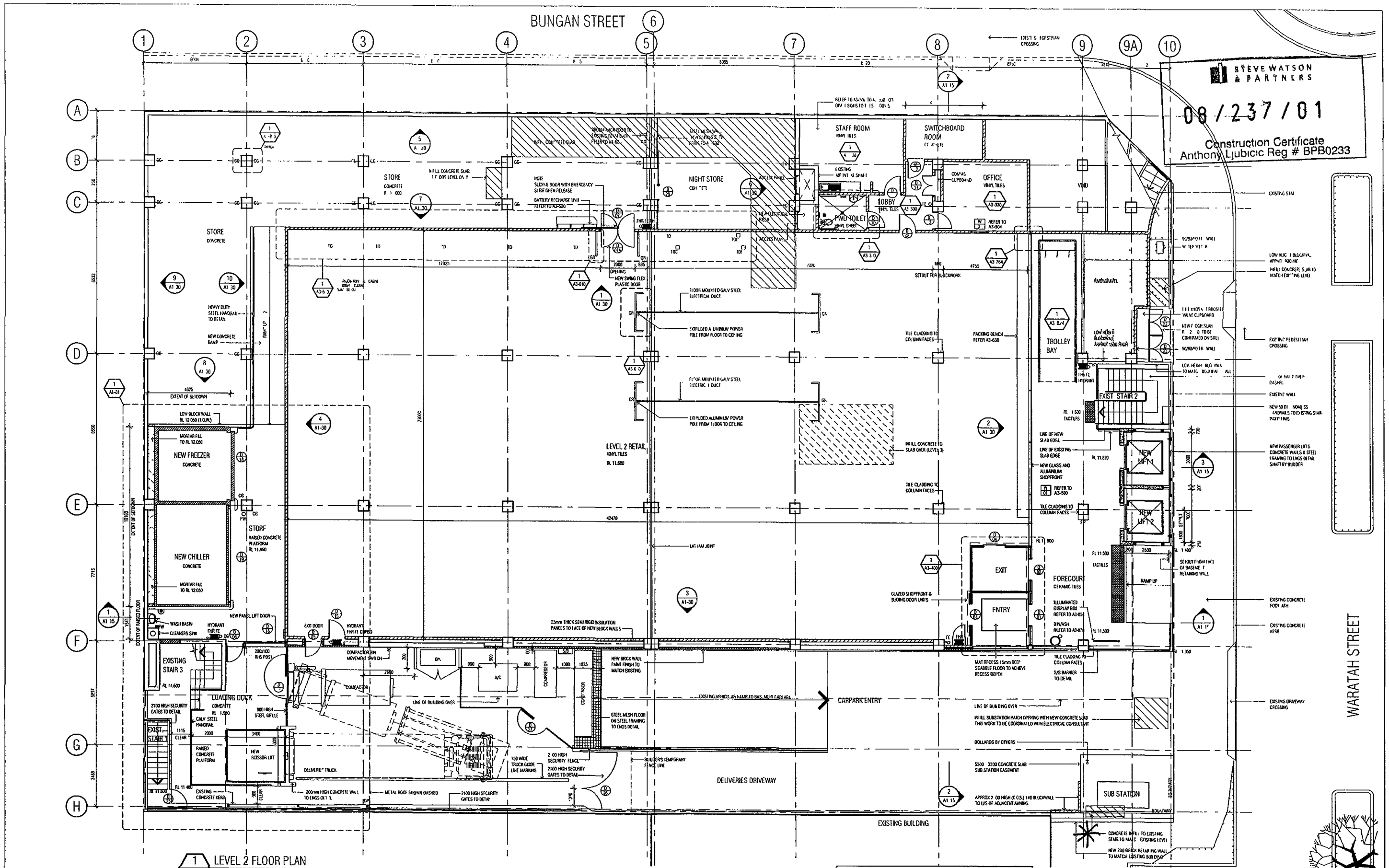
Project: ALDI STORE
BUNCAN COURT
MONA VALE

JOB NO 2007 21
G:\0_projects\2007\2121g al\dwg\plot

Drawing: CAR PARK PLAN

SCALE 1 100 @ A1
DRAWN KW
CHECKED
APPROVED

NOVEMBER 2008
FOR TENDER
A 03 /A



1 LEVEL 2 FLOOR PLAN
1:100 (A1 FORMAT)
1:200 (A3 FORMAT)

Revision		Date
A	ISSUED FOR TENDER	17.11.08

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Consultant

Quantity Surveyor
PAGE KIRKLAND

Structural/Civil/Hydraulic
HUGHES TRUEMAN

Electrical Engineering
WEBB AUSTRALIA

Town Planning
WILLANA & Associates

BCA Consultants
STEVE WATSON & PARTNERS

Mechanical Engineering
ERBAS & Associates

Traffic
COLSTON BUDD HUNT & KAFES

Client
ALDI

Architect
donaldson warren
tel 9929 8000 email@dw.com.au
p 02 9927 8771 f 02 9927 8315

Project
ALDI STORE
BUNGAN COURT
MONA VALE

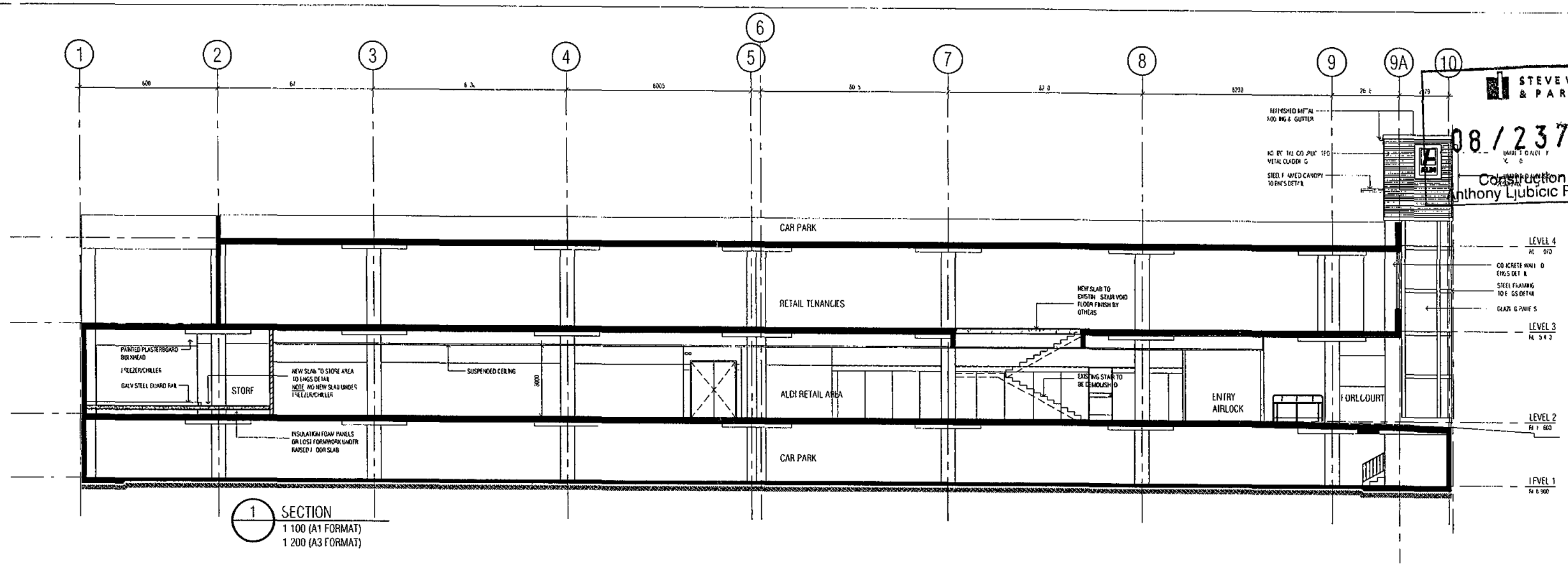
JOB NO 2007.21
G:\05_projects\2007\21\g afldwg\plot

Drawing
FLOOR PLAN

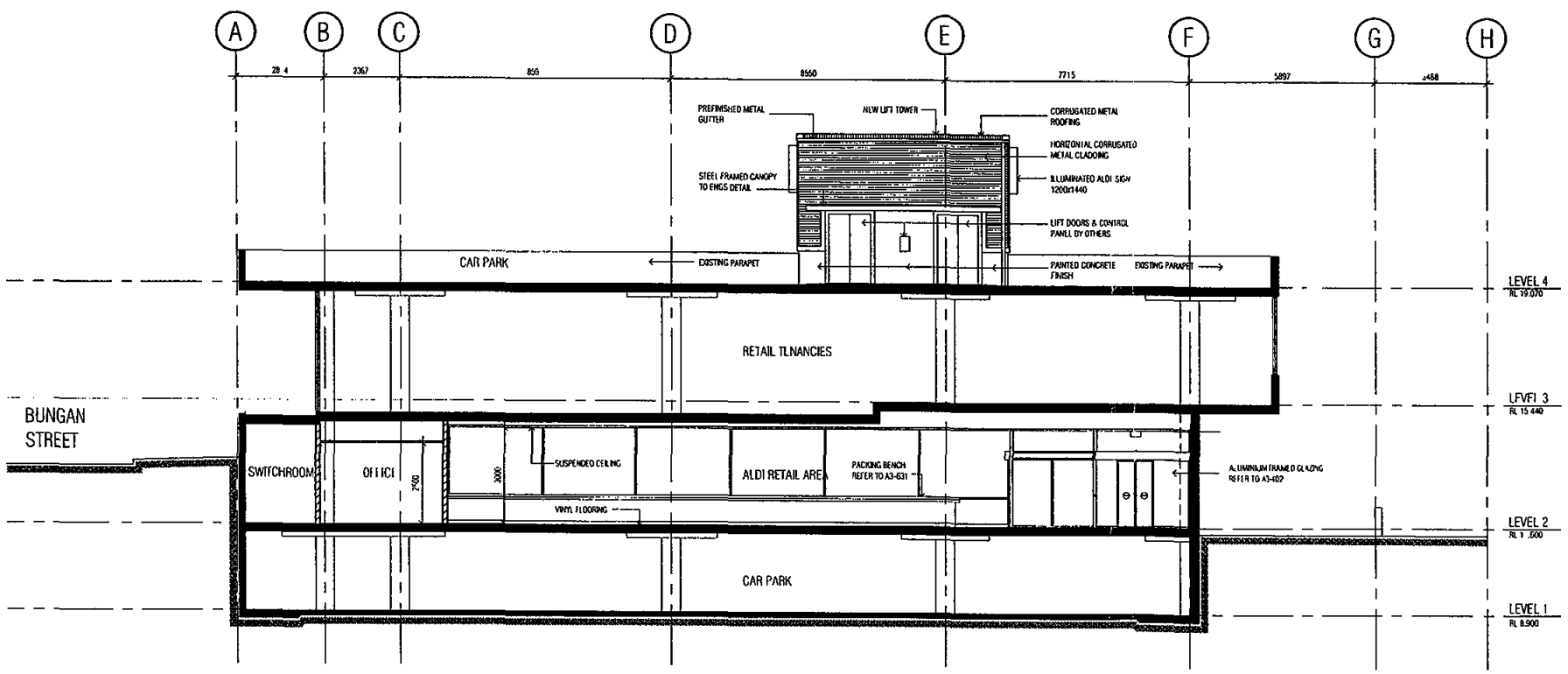
SCALE 1:100 @ A1
DRAWN ML
CHECKED
APPROVED

NOVEMBER 2008
FOR TENDER

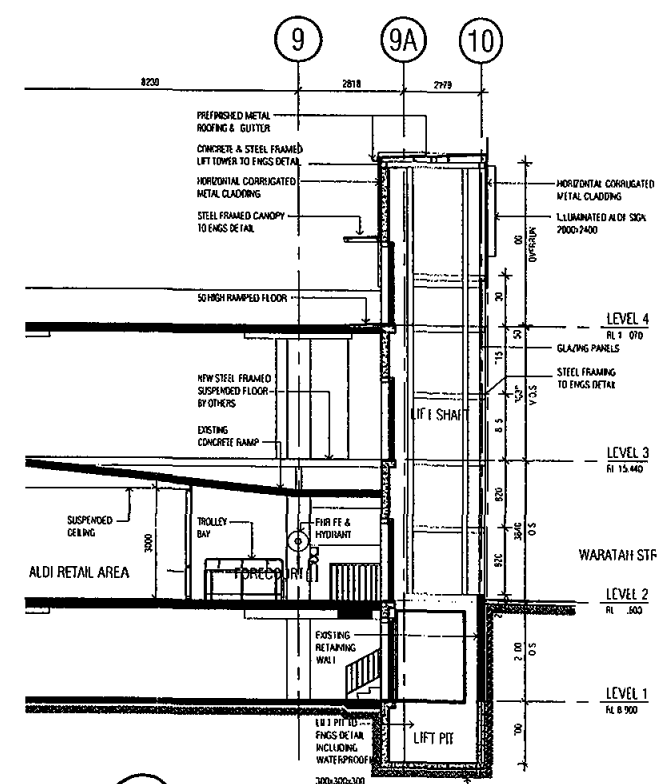
A-04 /A



1 SECTION
1 100 (A1 FORMAT)
1 200 (A3 FORMAT)



2 SECTION
1 100 (A1 FORMAT)
1 200 (A3 FORMAT)



3 SECTION
1 100 (A1 FORMAT)
1 200 (A3 FORMAT)

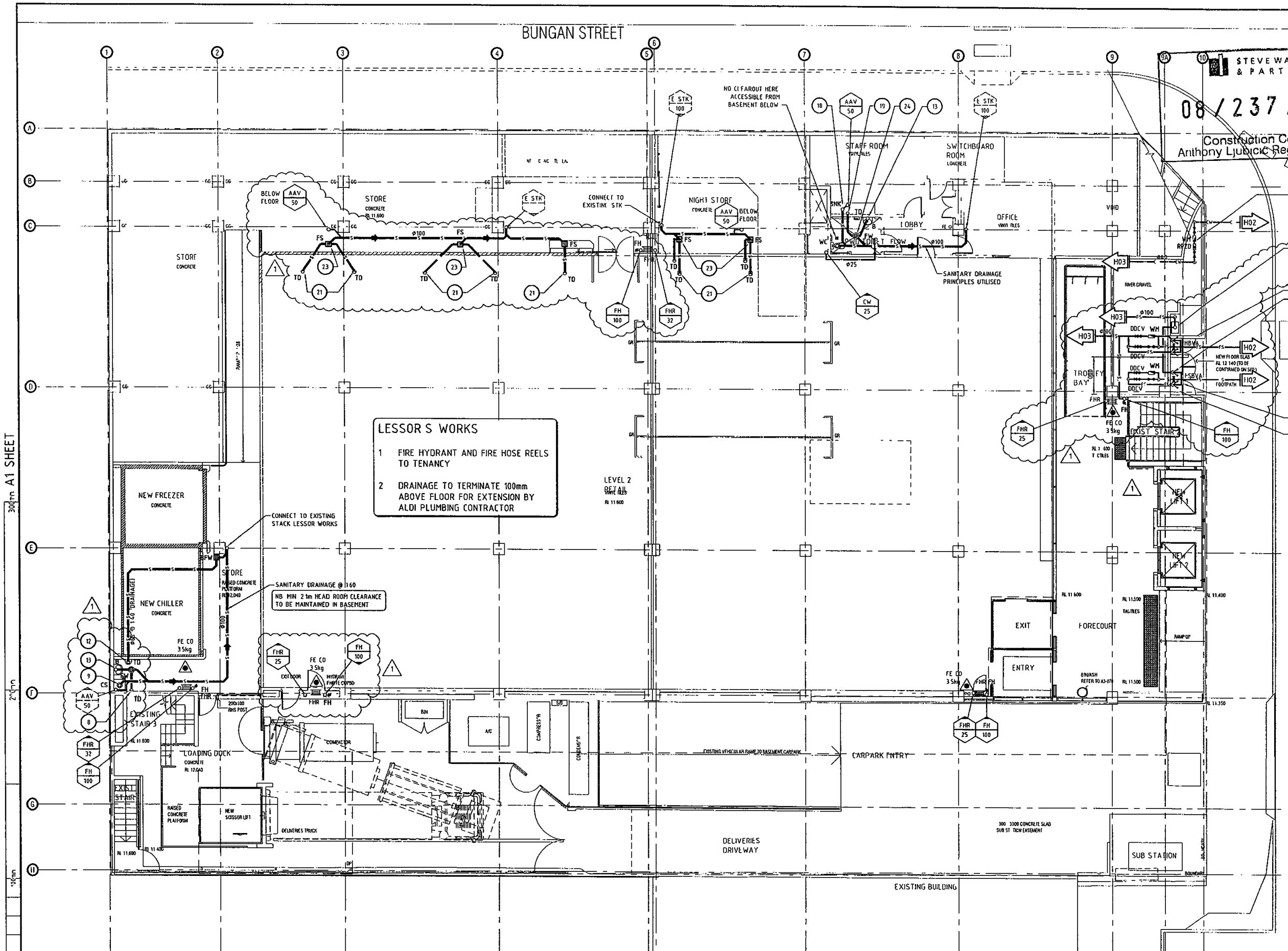
0 1 5 10 m

STEVE WATSON & PARTNERS

08/237/01

Construction Certificate
Anthony Ljubicic Reg # BPB0233

	Revision	Date	Consultant			Client	Architect	Project	Drawing
Do not scale from drawings. Verify all dimensions on site prior to commencing work. This drawing should be read in conjunction with all relevant contracts, specifications, drawings and reports. Copyright is vested in Donaldson Worred Pty Ltd	A ISSUED FOR TENDER	17 11 08	Quantity Surveyor: PAGE KIRKLAND Structural/Civil/Hydraulic: HUGHES TRUEMAN Electrical Engineering: WEBB AUSTRALIA Town Planning: WILLANA & Associates BCA Consultants: STEVE WATSON & PARTNERS Mechanical Engineering: ERBAS & Associates Traffic: COLSTON BUDD HUNT & KAFES			ALDI	donaldson worred unit 33 80 dal st bro kvale qld 00 p 08 9207 9779 f 08 9207 23 5	ALDI STORE BUNGAN COURT MONA VALE JOB NO 2007 21 G:\0_projects\2007\21\grafldwg\plot	SECTIONS SCALE 1 100 @ A1 DRAWN KW CHECKED APPROVED NOVEMBER 2008 FOR TENDER A-15 /A



Re	Amendment / Revision	Date	Drawn	Designed & Checked by	Verified by	Issued
1	BOOSTER CUPBOARDS REVISED PIPE WORK TO FH &FHR ADDED	18/11/08	PC	DJC	AA	GP
	FH PIPE WORK DELETED NOTE RE SPRINKLER JACKING PUMP ADDED					
0	TENDER ISSUE	17/11/08	MM	DJC	AA	GP

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Plan Scale 1:100 @ A1

North

Hughes
Consulting Engineers Planners & Managers
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Level 2 63 Pitt Street Sydney NSW 2000
Tel +61 2 9 9263 3000 Fax +61 2 9 9263 3505 Email sydney@hughes.com.au
Also at St Leonards Parramatta Canberra Wagga Wagga

Project: ALDI MONA VALE
BUNGAN COURT
MONA VALE

Client: ALDI STORE

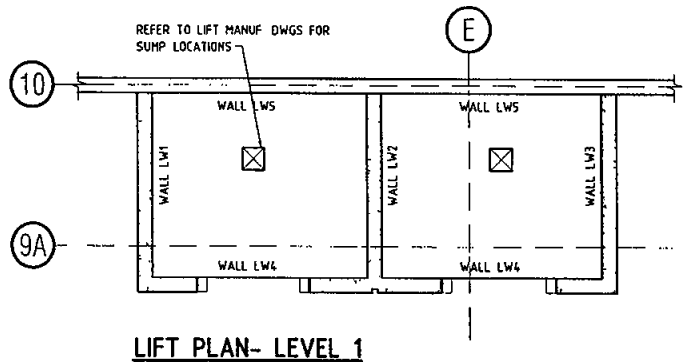
Architect: DONALDSON WORRAD

Drawing: HYDRAULIC SERVICES
FLOOR PLAN

Drawing No: 06S016MO-H04

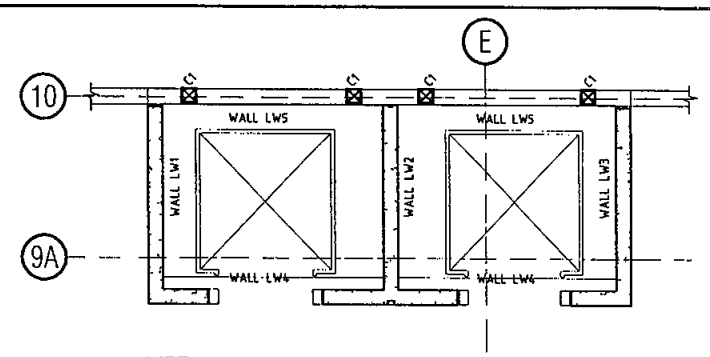
Sheet 4 of 6

Issue 1



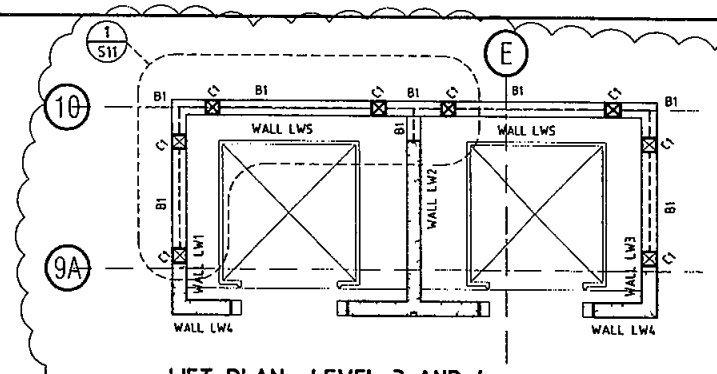
LIFT PLAN- LEVEL 1

SCALE 1:50



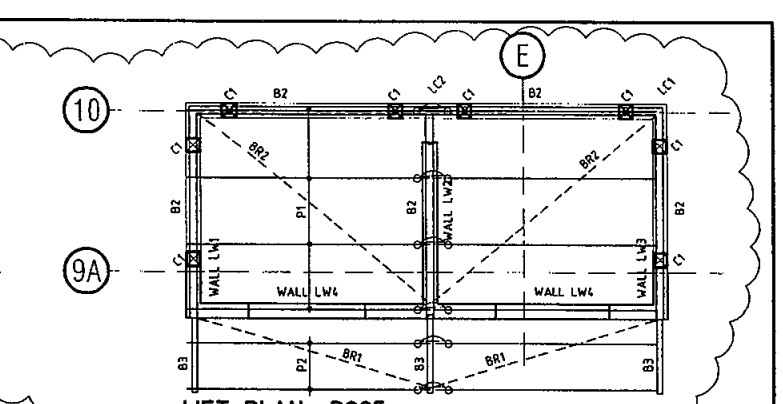
LIFT PLAN- LEVEL 2

SCALE 1:50



LIFT PLAN- LEVEL 3 AND 4

SCALE 1:50



LIFT PLAN- ROOF

SCALE 1:50

MEMBER SCHEDULE

COLUMNS
C1 200x200 9 SHS

BEAMS
B1 200 UC 46
B2 150 PFC
B3 150 PFC

ALL STEELWORK TO BE HOT DIPPED GALVANISED

PURLINS
P1 C15015 AT 1200 MAX CTS
P2 C15015 AT 1200 MAX CTS

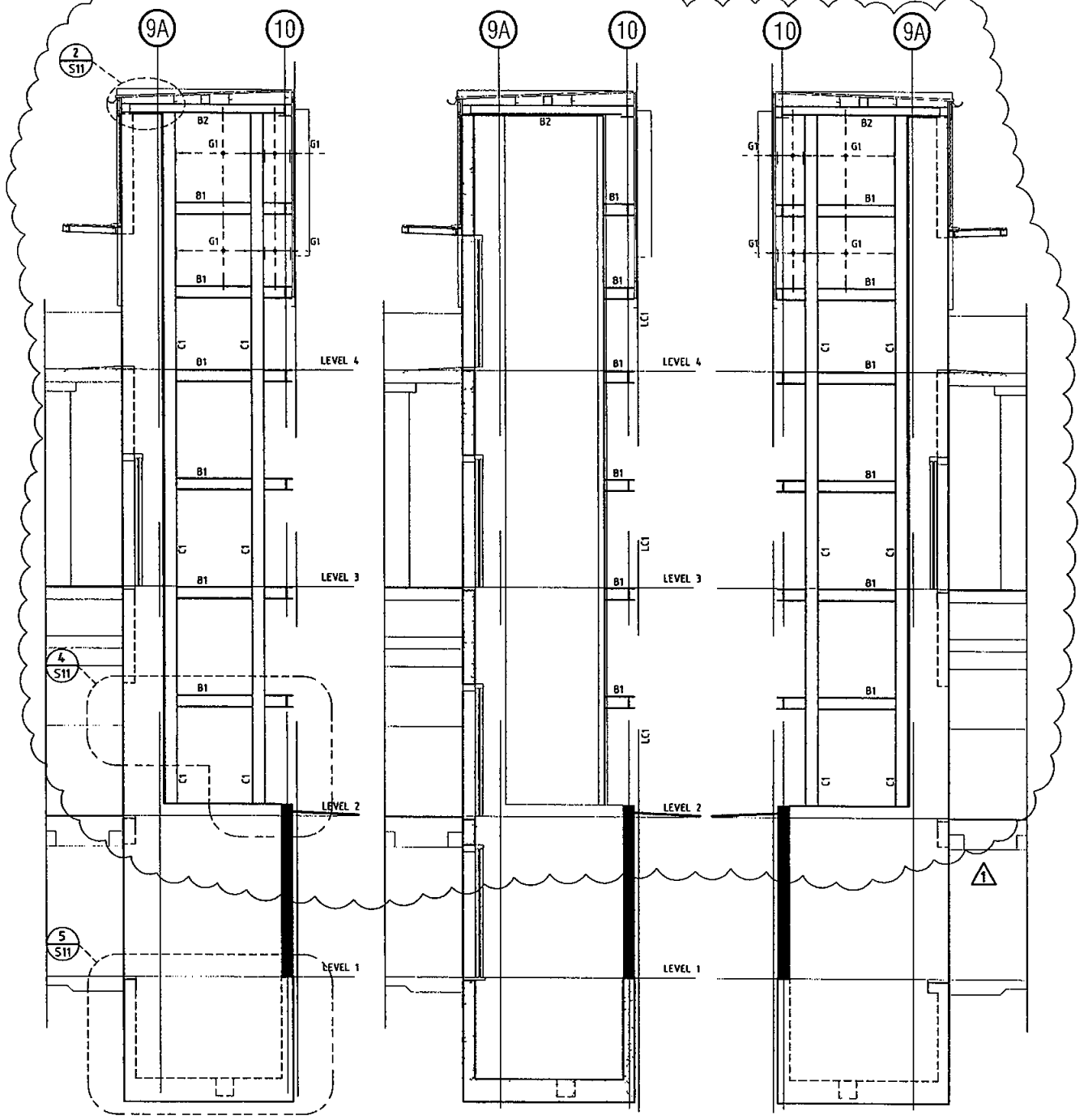
GIRTS
G1 C15015 AT 1200 MAX CTS
PROVIDE C15015 TRIMMERS TOP & BTM OF EACH SIGN PANEL

BRACING
BR1 32mm x 1 6 BUILDERS STRAP
BR2 88 9 x 5 0 CHS
REFER TO ARCHITECTURAL DETAILS FOR GLAZING FIXING

STEVE WATSON & PARTNERS

08/237/01

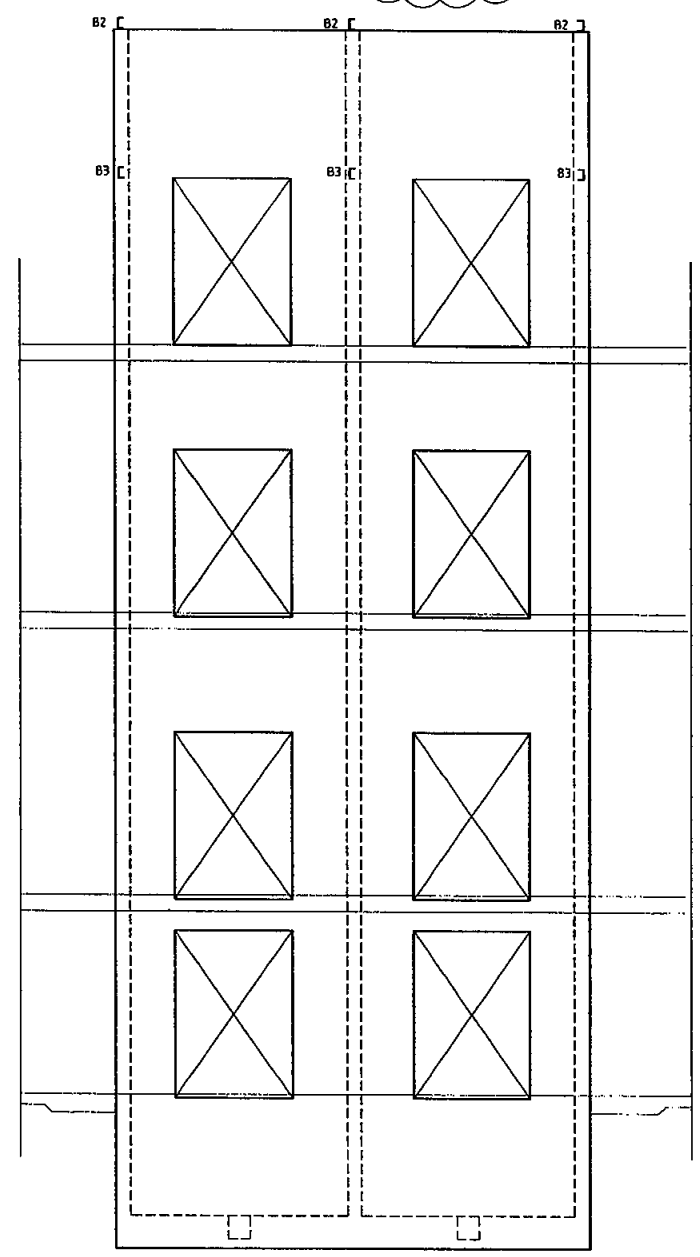
Construction Certificate
Anthony Ljubicic Reg # BPB0233



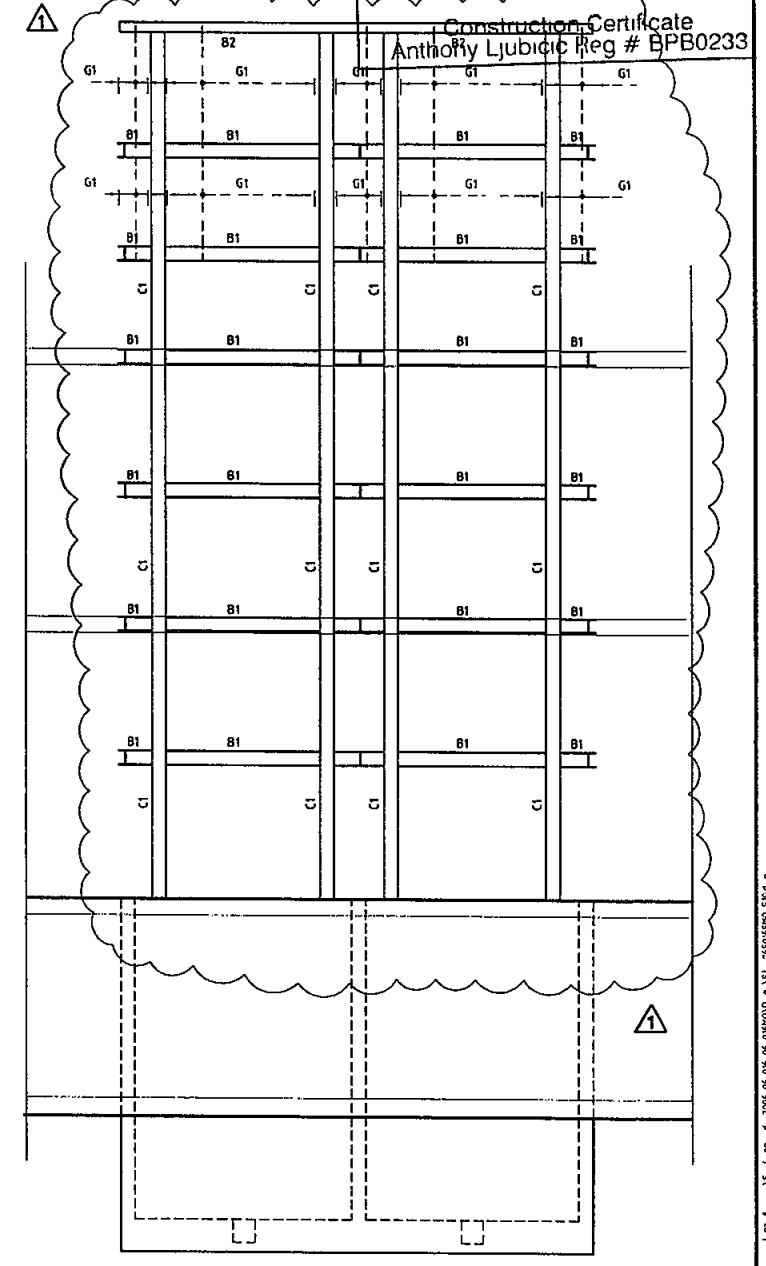
ELEVATION WALL LW1

ELEVATION WALL LW2

ELEVATION WALL LW3



ELEVATION WALL LW4



ELEVATION WALL LW5

1	RE ISSUED FOR TENDER	03/12/08	PGN	SRW	X	
0	ISSUED FOR TENDER	17/11/08	PGN	SRW	X	
R	Amendment / Revision	Date	Drawn / Completed by	Designed & Checked by	Verified by X Not required	Issue (Authorised)

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0 5 0 1 2 3
Plan Scale 1:50 @ A1

North

ALDI

Hughes
Consulting Engineers Planners & Managers
Level 2 60 Pitt Street PO Box 751 ST LEONARDS NSW 2065
Tel +61 2 9439 2633 Fax +61 2 9439 3805 Email sydney@hughestrueman.com
Branches
Sydney
Parramatta
Canberra
Wagga Wagga

Project
ALDI STORE
BUNGAN COURT
MONA VALE

Drawing Title
LIFT PLANS AND ELEVATIONS

Client
ALDI STORES

Job No

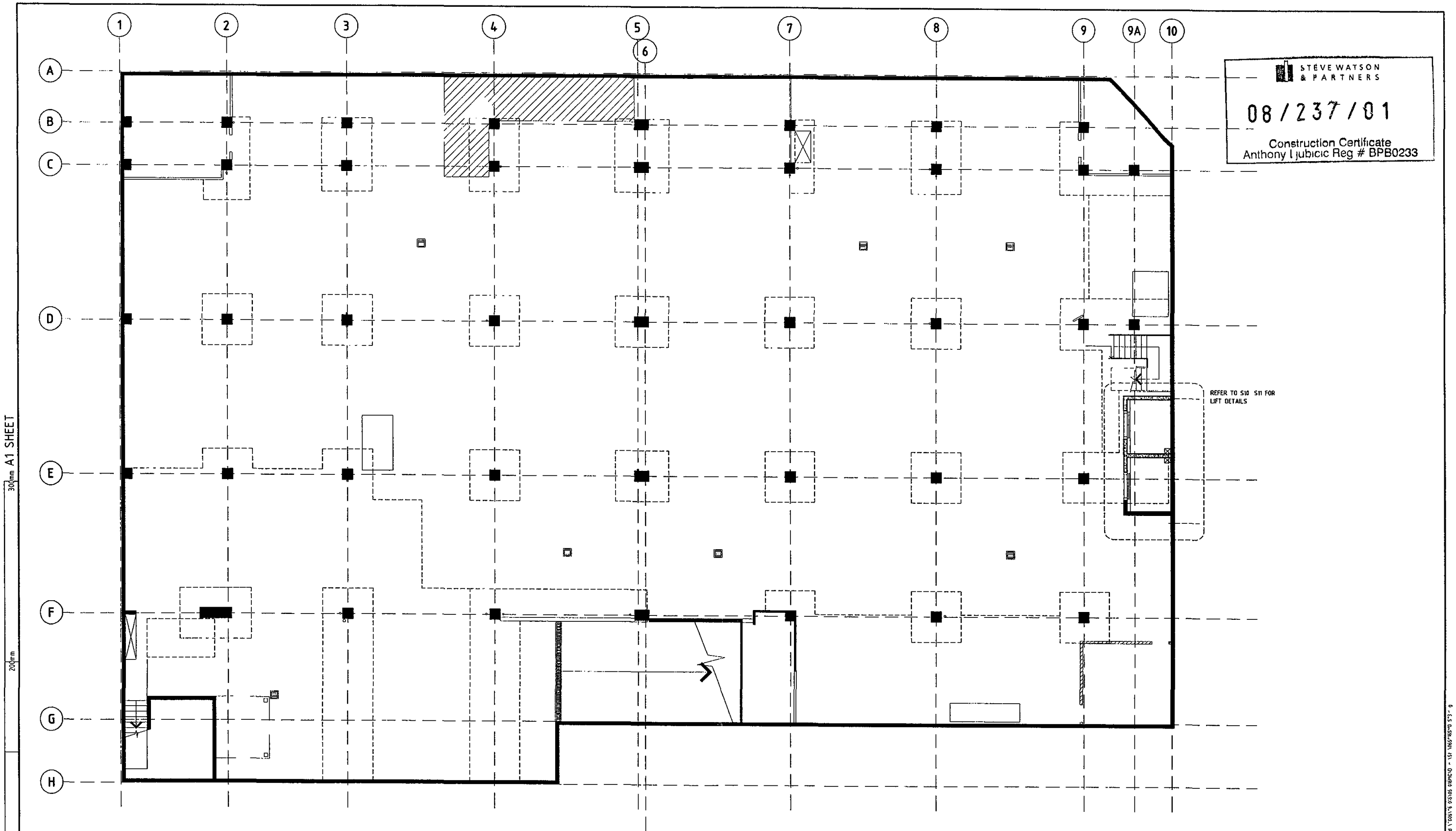
Architect / Project Manager
DONALDSON WORRADO

Drawing No
06S016MO-S10

Sheet 10 of 11

Revision 1

A1 SHEET
300mm
200mm
50mm



STEVE WATSON & PARTNERS

08/237/01

Construction Certificate
Anthony Ljubicic Reg # BPB0233

A1 SHEET

R	Amendment / Reason For Issue	Date	Drawn Compiled by	Designed & Checked by	Verified by X Nixon	Authorised (!)
1	RE ISSUED FOR TENDER	03/12/08	PGN	SRW	X	
0	ISSUED FOR TENDER	17/11/08	PGN	SRW	X	

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2 1 0 2 4 6
Plan Scale 1:100

North

ALDI

Hughes
Consulting Engineers Planners & Managers
ABN 53 831 529 091
Level 2 60 Pacific Highway (PO Box 151) St Leonards NSW 2065
T +61 2 9439 2033 F +61 2 9438 5055 Email: mail@hughes.com.au
Branches: St Leonards, Parramatta, Canberra, Wagga Wagga

Project: ALDI STORE BUNGAN COURT MONA VALE

Client: ALDI STORES

Architect/Project Manager: DONALDSON WORRAD

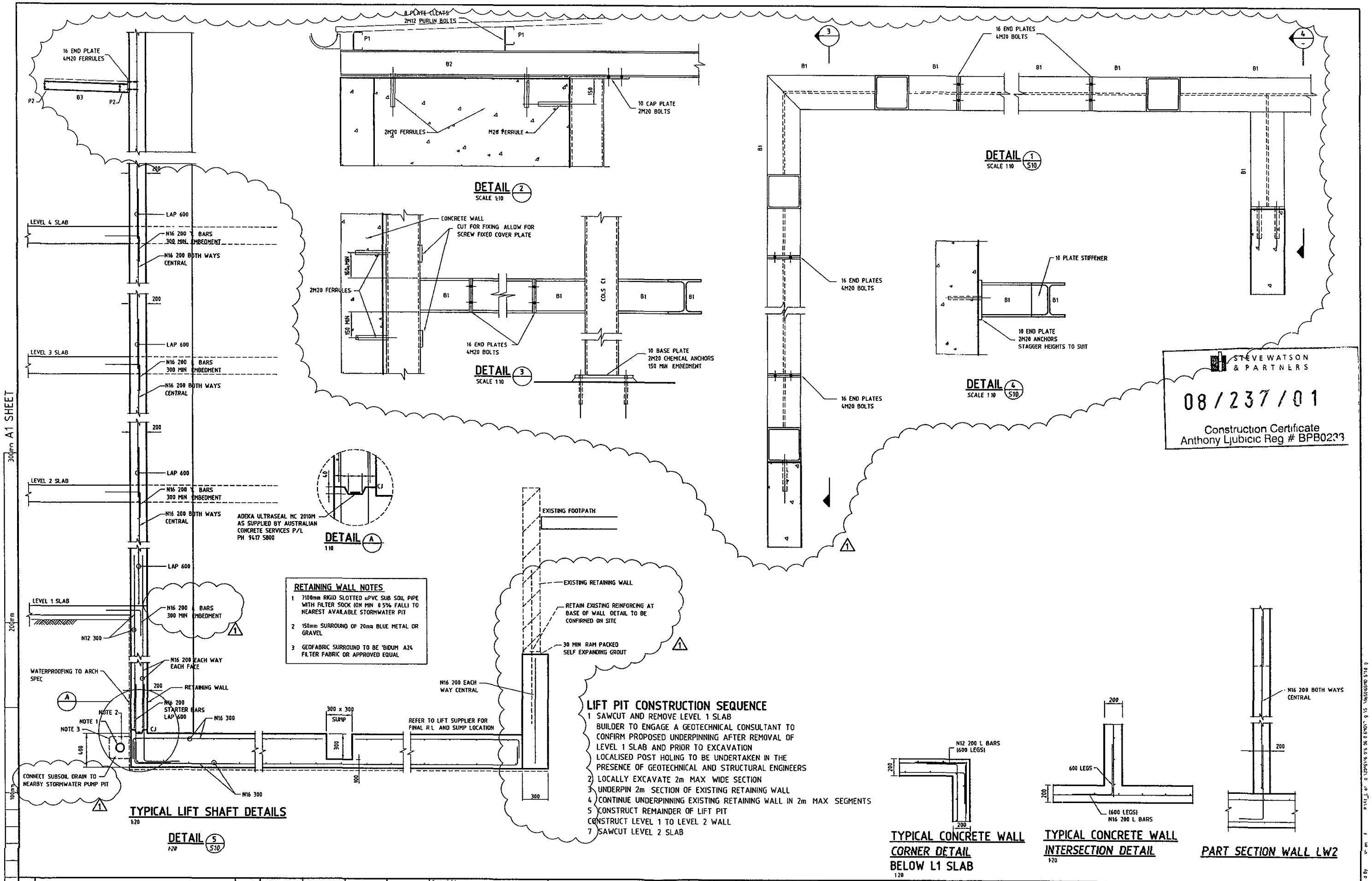
Drawing: LEVEL 1 FLOOR PLAN

Job No

Drawing No: 06S016MO-S03

Sheet: 03 of 11

Rev: 1



RETAINING WALL NOTES

1. 100mm RIGID SLOTTED uPVC SUB SOIL PIPE WITH FILTER SOCK (ON MIN 0.5% FALL) TO NEAREST AVAILABLE STORMWATER PIT
2. 150mm SURROUND OF 20mm BLUE METAL OR GRAVEL
3. GEOFABRIC SURROUND TO BE 'BIDUM A24' FILTER FABRIC OR APPROVED EQUAL

LIFT PIT CONSTRUCTION SEQUENCE

1. SAWCUT AND REMOVE LEVEL 1 SLAB
   BUILDER TO ENGAGE A GEOTECHNICAL CONSULTANT TO CONFIRM PROPOSED UNDERPINNING AFTER REMOVAL OF LEVEL 1 SLAB AND PRIOR TO EXCAVATION
   LOCALISED POST HOLING TO BE UNDERTAKEN IN THE PRESENCE OF GEOTECHNICAL AND STRUCTURAL ENGINEERS
2. LOCALLY EXCAVATE 2m MAX WIDE SECTION
3. UNDERPIN 2m SECTION OF EXISTING RETAINING WALL
4. CONTINUE UNDERPINNING EXISTING RETAINING WALL IN 2m MAX SEGMENTS
5. CONSTRUCT REMAINDER OF LIFT PIT
6. CONSTRUCT LEVEL 1 TO LEVEL 2 WALL
7. SAWCUT LEVEL 2 SLAB

TYPICAL CONCRETE WALL
CORNER DETAIL
BELOW L1 SLAB
1:20

TYPICAL CONCRETE WALL
INTERSECTION DETAIL
1:20

PART SECTION WALL LW2

1	RE ISSUED FOR TENDER	03/17/08	PGN	SRW	X	
0	ISSUED FOR TENDER	17/11/08	PGN	SRW	X	
R	Amendment / Revision	Date	Drawn Compiled by	Designed & Checked by	Verified by X Not required	Issue Authorised

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01 0 02 04 06
Detail Scale 1:10

North

ALDI

Hughes
Consulting Engineers Planners & Managers
ABN 53 831 529 09
L 12 60 Pitt St PO Box 5 ST LEONARDS NSW 2065
T +61 2 9 39 263 F +61 2 9 38 05 1 on (Bhugh True an om)
8 Lynch St Leonards
P matt
Ca be a
Wagga Wagga

Project: ALDI STORE
BUNGAN COURT
MONA VALE

Drawing Title: LIFT STEELWORK DETAILS
SHEET 1

Client: ALDI STORES
Job No:
Architect/Project Manager: DONALDSON WORRAD

Drawing No: 06S016MO-S11
Issue: 0
Sheet: 11 of 11
Revision: 1