

DA
TO BE ADVISED

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31	SHADOW DIAGRAMS - JUNE 21

TOTAL FLOOR AREAS

STUDIO, GROUND FLOOR		
ALFRESCO (STUDIO)		19.36
LIVING (STUDIO)		55.00
MACHINERY STORGAE (STUDIO)		50.79
		125.15 m²
MAIN DWELLING, GROUND FLOOR		
ALFRESCO		21.48
GARAGE		52.74
LIVING		321.43
VERANDAH		30.14
		425.79 m²
		550.94 m²

BAL 29 BUSHFIRE REQUIREMENTS

THE BUILDER USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2018 (CLAUSE 3.8) AND NASH STANDARD STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS 2014.

- PROVIDE FOIL FACED BLANKET INSULATION TO COLORBOND SHEET ROOFING
- PROVIDE MERBAU TIMBER EXTERNAL DOOR JAMBS IN LIEU OF STANDARD.
- PROVIDE BAL 29 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING DOORS IN LIEU OF STANDARD. (NO ALLOWANCE HAS BEEN MADE TO SCREEN EXTERNAL DOORS)
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO THE OPERABLE WINDOW SASHES ONLY
- PROVIDE SEAL TO GARAGE DOOR
- PROVIDE NINE 88x88mm MERBAU POST TO THE FRONT PATIO IN LIEU OF TREATED PINE.
- PROVIDE COPPER WATER PIPES FROM WATER TANK TO HOUSE
- PROVIDE A BAL RATED DRAINAGE VENT WITH FLASHING KIT AS REQUIRED.
- PROVIDE MESH TO DUCTED EXHAUST FAN VENTS AND DUCTED RANGEHOOD VENTS WHERE APPLICABLE.
- PROVIDE JAMES HARDIES SCYON 89x38 AXENT TRIMS TO THE WINDOWS INSTALLED TO WEATHERBOARD WALLS IN LIEU OF STANDARD TO COMPLY WITH BUSHFIRE REQUIREMENTS.

AS & NCC COMPLIANCE

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 AND APPLICABLE AUSTRALIAN STANDARDS AT TIME OF APPROVAL.
- SLAB IN ACCORDANCE WITH AS 2870. REFER TO ENGINEERS DETAILS FOR ALL SLAB DETAILS.
 - BRICK CONTROL JOINTS PROVIDED IN ACCORDANCE WITH NCC 2022.
 - ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018.
 - INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND ALL APPLICABLE AUSTRALIAN STANDARDS.
 - TERMITE PROTECTION IN ACCORDANCE WITH AS 3660 AND NCC 2022.
 - GLAZING IN ACCORDANCE WITH AS 1288 AND NCC 2022.
 - SMOKE ALARMS IN ACCORDANCE WITH AS 3786 AND NCC 2022.
 - INTERNAL WATERPROOFING IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.2.
 - EXTERNAL WATERPROOFING IN ACCORDANCE WITH AS 3740 AND AS 4654.
 - WET AREA FLOORS TO FALL TO FLOOR WASTES AT MIN. 1:80 AND MAX. 1:50 GRADE (IF APPLICABLE).
 - CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC 2019.
 - BUILDING SEALING IN ACCORDANCE WITH NCC 2022.
 - SERVICES IN ACCORDANCE WITH NCC 2022.
 - EARTHWORKS IN ACCORDANCE WITH AS 3798-2007.
 - EXTERNAL WALL WRAP (SARKING) IN ACCORDANCE WITH NCC 2022 (IF APPLICABLE).
 - EXHAUST FANS DUCTED TO OUTSIDE AIR (IF APPLICABLE).

SITE SPECIFIC CONTROLS

CONTROL	DETAILS
ACID SULPHATE SOIL	NO
BIODIVERSITY	YES
BUILDING ENVELOPE	NO
BUSHFIRE	BAL-29
CLASSIFIED ROAD	NO
DESIGN WIND CLASSIFICATION	N3 (EXPOSED)
ESTATE/DEVELOPER GUIDELINES	NO
HERITAGE	NO
LANDSLIP HAZARD	NO
MINE SUBSIDENCE	NO
MINIMUM FLOOR LEVEL	NO
NOISE ATTENUATION	NO
SALINE SOIL	NO
SITE CLASSIFICATION	P-M
SNOW LOAD	NO
WITHIN 1km CALM SALT WATER	NO
WITHIN 50km BREAKING SURF	8.60km
ZONING	DEFERRED MATTER

BUILDING CONTROLS & COMPLIANCE

CONTROL	REQUIRED	PROPOSED
SETBACKS		
NO APPLICABLE CONTROLS		
BULK & SCALE		
SITE AREA	13,800m²	
LANDSCAPE		
NO APPLICABLE CONTROLS		
EARTHWORKS		
FILL DEPTH	MAX. 1,000mm	0mm
ACCESS & AMENITY		
NO APPLICABLE CONTROLS		

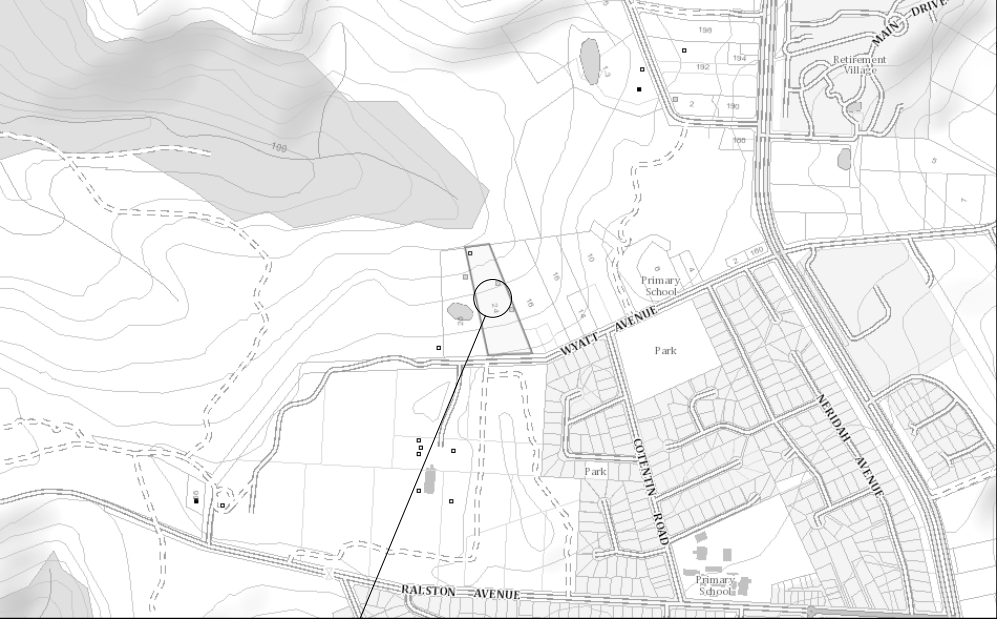
3D PERSPECTIVE



NOTE TO OWNER

THESE PLANS MAY FEATURE WORKS THAT ARE EXCLUDED FROM THE SCOPE OF WORKS WITH THE BUILDER, BUT THEY HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT OF THE BUILDING PROJECT. EXAMPLES OF SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS, SOLAR PANEL SPACING AND SITE DRAINAGE. PLEASE REFER TO YOUR SCOPE OF WORKS AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS OF INCLUDED WORKS. SOME DETAILS ARE INDICATIVE ONLY FOR EXAMPLE FLOORING, TILING, BRICKWORK AND CLADDING (EXPANSION JOINTS, ORIENTATION AND LAYOUT) AND ARE SUBJECT TO CHANGE.

LOCATION MAP



LOT 2568
#24 WYATT AVENUE

PROVIDE FLATBACK
GUTTER UPGRADE

SUSTAINABILITY (GROUND FLOOR)

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

BASIX AREAS

CONDITIONED AREA	319.19 m²
UNCONDITIONED AREA	24.48 m²

WATER RATINGS

SHOWER HEADS	3 STAR (> 7.5 BUT <= 9 L/MIN)
TOILET SUITES	4 STAR
KITCHEN TAPS	4 STAR
BATHROOM TAPS	5 STAR

WATER HARVESTING AND USAGE

TOTAL ROOF AREA	614.77 m²
MIN. WATER TANK CAPACITY	10000 L
MIN. ROOF AREA DIRECTED TO TANK(S)	615.02 m²
WATER TANK(S) CONNECTED TO	AT LEAST ONE OUTDOOR TAP ALL TOILETS WASHING MACHINE
GARDEN/LAWN AREA	500 m²

RECYCLED WATER

RETICULATED RECYCLED WATER	N/A
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ENERGY COMMITMENTS

HOT WATER SYSTEM	ELECTRIC HEAT PUMP (325L) 26-30 RECS
HEATING SYSTEM	3-PHASE REVERSE CYCLE AIR CONDITIONING COP EER 3.5 - 4.0
COOLING SYSTEM	3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

AT LEAST ONE BATHROOM:
DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT
KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER)

N/A

NATURAL LIGHTING

NATURAL LIGHTING TO	KITCHEN 6 x BATHROOM(S)/TOILET(S)
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ALTERNATIVE ENERGY

PHOTOVOLTAIC SYSTEM	MIN. 10.56KW PEAK
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OTHER

GAS COOKTOP, ELECTRIC OVEN
FIXED OUTDOOR CLOTHESLINE BY OWNER
NO FIXED INDOOR CLOTHESLINE

INSULATION

ROOF	MIN. 60mm FOIL FACED BLANKET UNDER ROOFING
CEILING	R4.1 BATTS (EXCL. GARAGE) R6.0 BATTS TO GRANNY FLAT
EXT. WALLS	R2.0 BATTS (EXCL. GARAGE) WALL WRAP TO ENTIRE HOUSE
INT. WALLS	R2.0 BATTS TO INTERNAL WALLS OF GARAGE & GRANNY FLAT BATHROOM
FLOOR	NO ADDITIONAL INSULATION

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S)	3045mm
FRAMES AND TRUSSES	STEEL
ROOF PITCH (U.N.O.)	26.0° / 29° / 20°
ELECTRICITY SUPPLY	3-PHASE
GAS SUPPLY	BOTTLED LPG
ROOF MATERIAL	SHEET METAL
ROOF COLOUR	MEDIUM
WIND DRIVEN ROOF VENTILATORS	2
WALL MATERIAL	CLADDING HEBEL VENEER
WALL COLOUR	N/A
SLAB CLASSIFICATION	M

SUSTAINABILITY (STUDIO)

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

WATER RATINGS

SHOWER HEADS	3 STAR (> 7.5 BUT <= 9 L/MIN)
TOILET SUITES	3 STAR
KITCHEN TAPS	3 STAR
BATHROOM TAPS	3 STAR

ENERGY COMMITMENTS

HOT WATER SYSTEM	ELECTRIC HEAT PUMP (325L) 26-30 RECS
HEATING SYSTEM	SPLIT SYSTEM AIR CONDITIONING TO GAMES ROOM, COP 3.5 - 4.0
COOLING SYSTEM	SPLIT SYSTEM AIR CONDITIONING TO LOUNGE, EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

AT LEAST ONE BATHROOM:
NO MECHANICAL VENTILATION TO BATHROOM

PRIMARY FLUORESCENT/LED LIGHTING (INCL. COVER)

N/A

NATURAL LIGHTING

NATURAL LIGHTING TO	KITCHEN 1 x BATHROOM(S)/TOILET(S)
---------------------	--------------------------------------

ALTERNATIVE ENERGY

PHOTOVOLTAIC SYSTEM	N/A
---------------------	-----

OTHER

FIXED OUTDOOR CLOTHESLINE BY OWNER
NO FIXED INDOOR CLOTHESLINE
MIN. 1200mm CEILING FANS WITHOUT LIGHTS TO GRANNY FLAT KITCHEN/
LOUNGE

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

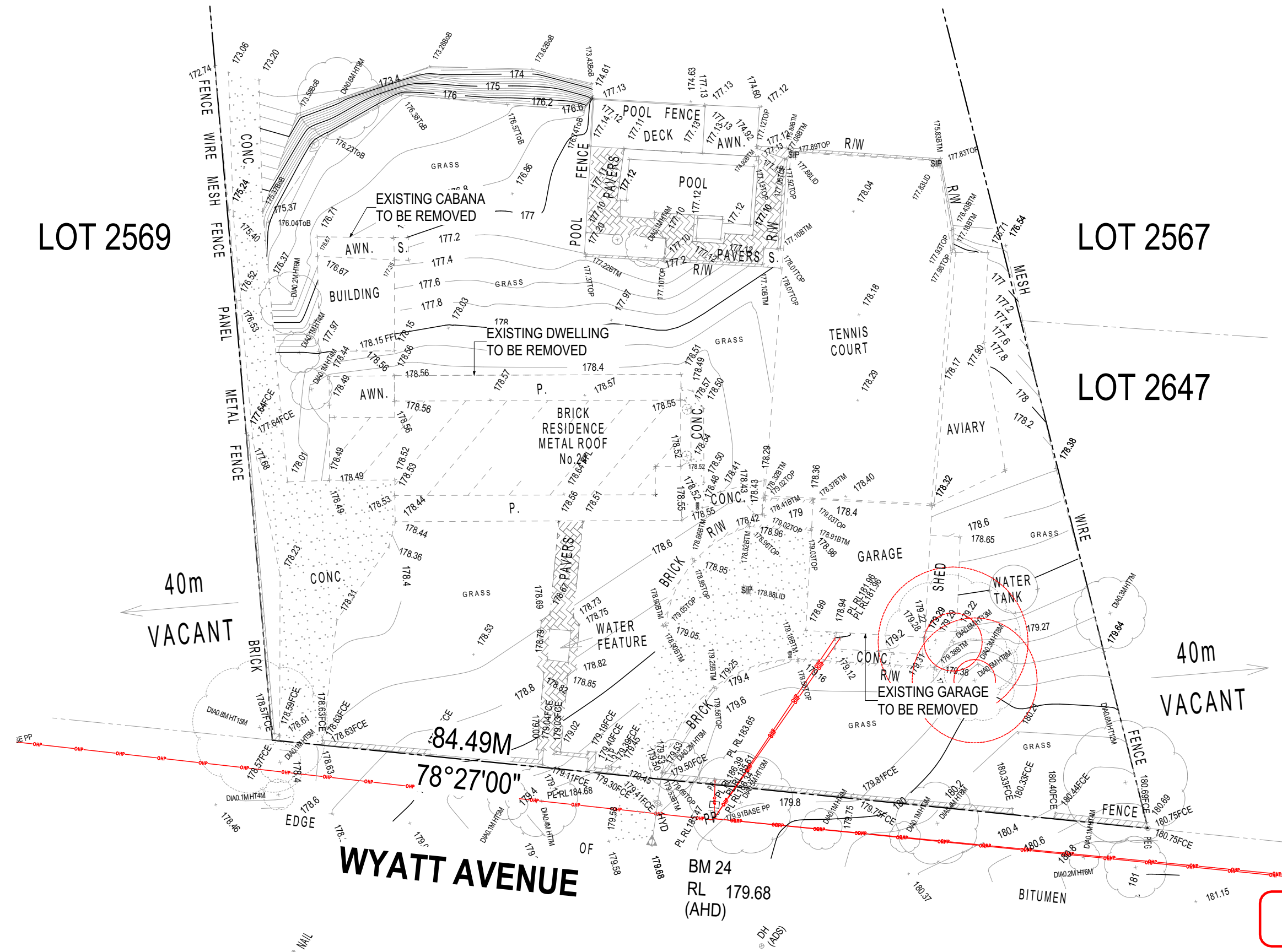
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mcdonald jones
FIND YOURSELF AT HOME

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COUNTRY LIVING		13	ARBORIST COORDINATION	LFL	20.10.2023	MS DOROTHY FRANCES BLOOM		BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421		
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© 2024		15	PCV 012 ADDED- NCC	JVA	2023.10.31	24 WYATT AVE, BELROSE NSW 2085		COUNTY PAVILION FACADE		F-BROCYPAA01		
		16	AMENDED AS PER PCV13	LFL	09/02/2024	LOT / SECTION / DP:		COUNCIL:	SHEET TITLE:	SHEET No.:	SCALES:	606935
		17	AMENDED AS PER PCV14 - HYDRAULICS	LFL	13/02/2024	2568 / - / 752038		TO BE ADVISED	COVER SHEET	1 / 31	1:100	

WIND CLASSIFICATION	N3
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO
SURVEY AREA	OLD
LATITUDE	33° 43' 26" S
LONGITUDE	151° 12' 42" E



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													1:400		606935

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DRIVEWAY AND RETAINING WALLS BY OWNER UNLESS NOTED OTHERWISE IN THE SCOPE OF WORK AND/OR COLOUR SELECTIONS DOCUMENTATION.

PROPOSED TREES BY OWNER AFTER HANDOVER UNLESS NOTED OTHERWISE IN THE TENDER DOCUMENTATION.

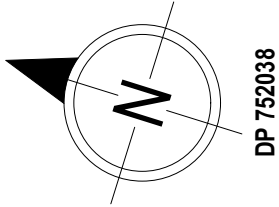
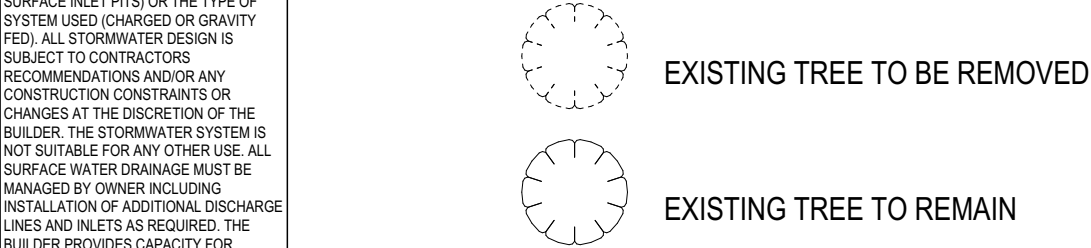
APPROX. CUT/FILL		
CUT	30.15m³	67.84t
FILL	32.61m³	73.37t
DIFFERENCE	2.46m³	5.54t
EVEN CUT & FILL		

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

OVERHEAD POWER LINES ARE PRESENT

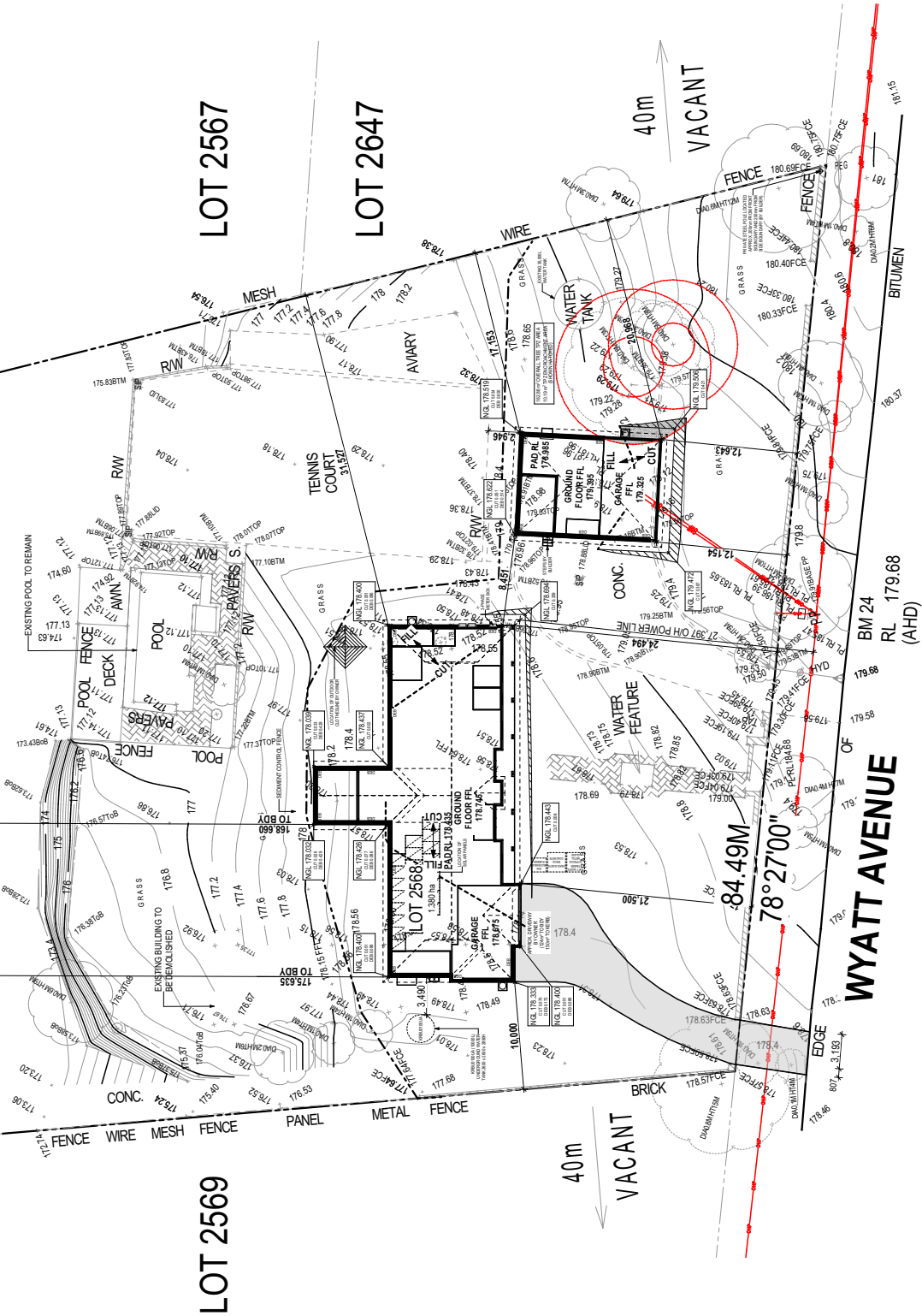
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

LOT 1
DP 1139826
72°54'00"
47.595M



148°38'20"
222.89M

208.625M
157°50'00"



SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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SPECIFICATION:
COUNTRY LIVING

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REVISION

13 ARBORIST COORDINATION

14 SLAB AND DRAINAGE CHECK

15 PCV 012 ADDED- NCC

16 AMENDED AS PER PCV13

17 AMENDED AS PER PCV14 - HYDRAULICS

DRAWN

LFL 20.10.2023

JVA 2023.10.23

JVA 2023.10.31

LFL 09/02/2024

LFL 13/02/2024

CLIENT:

MS DOROTHY FRANCES BLOOM

ADDRESS:

24 WYATT AVE, BELROSE NSW 2085

LOT / SECTION / DP:

2568 / - / 752038

COUNCIL:

TO BE ADVISED

HOUSE DESIGN:

BRONTE EXEC GRANDE MANOR ONE

FACADE DESIGN:

COUNTY PAVILION FACADE

SHEET TITLE:

LOCALITY PLAN

HOUSE CODE:

H-BROCLAS11421

FACADE CODE:

F-BROCYP01

SHEET No.:

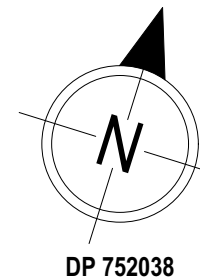
3 / 31

SCALES:

1:600

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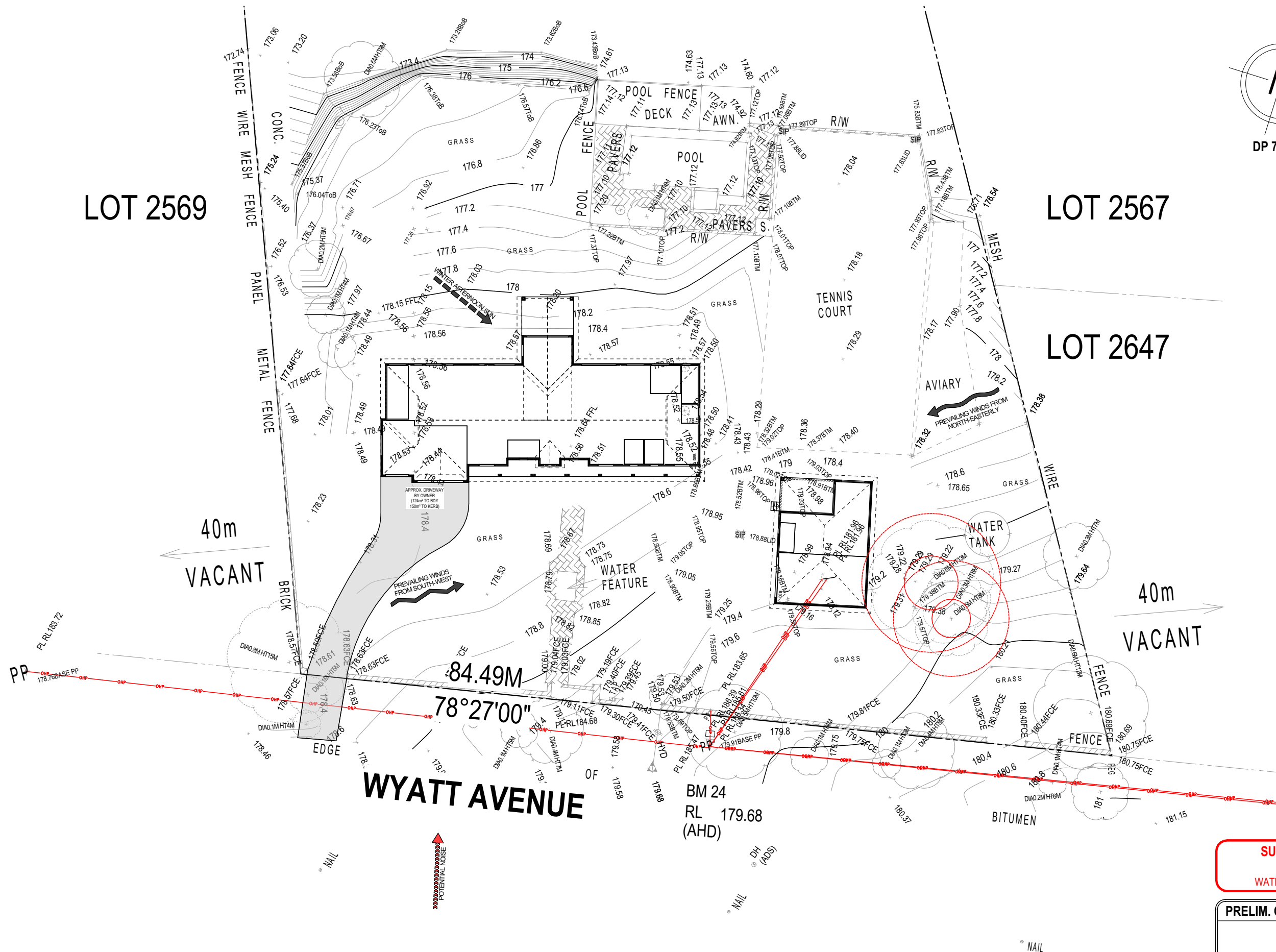
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LOT 2569

LOT 2567

LOT 2647



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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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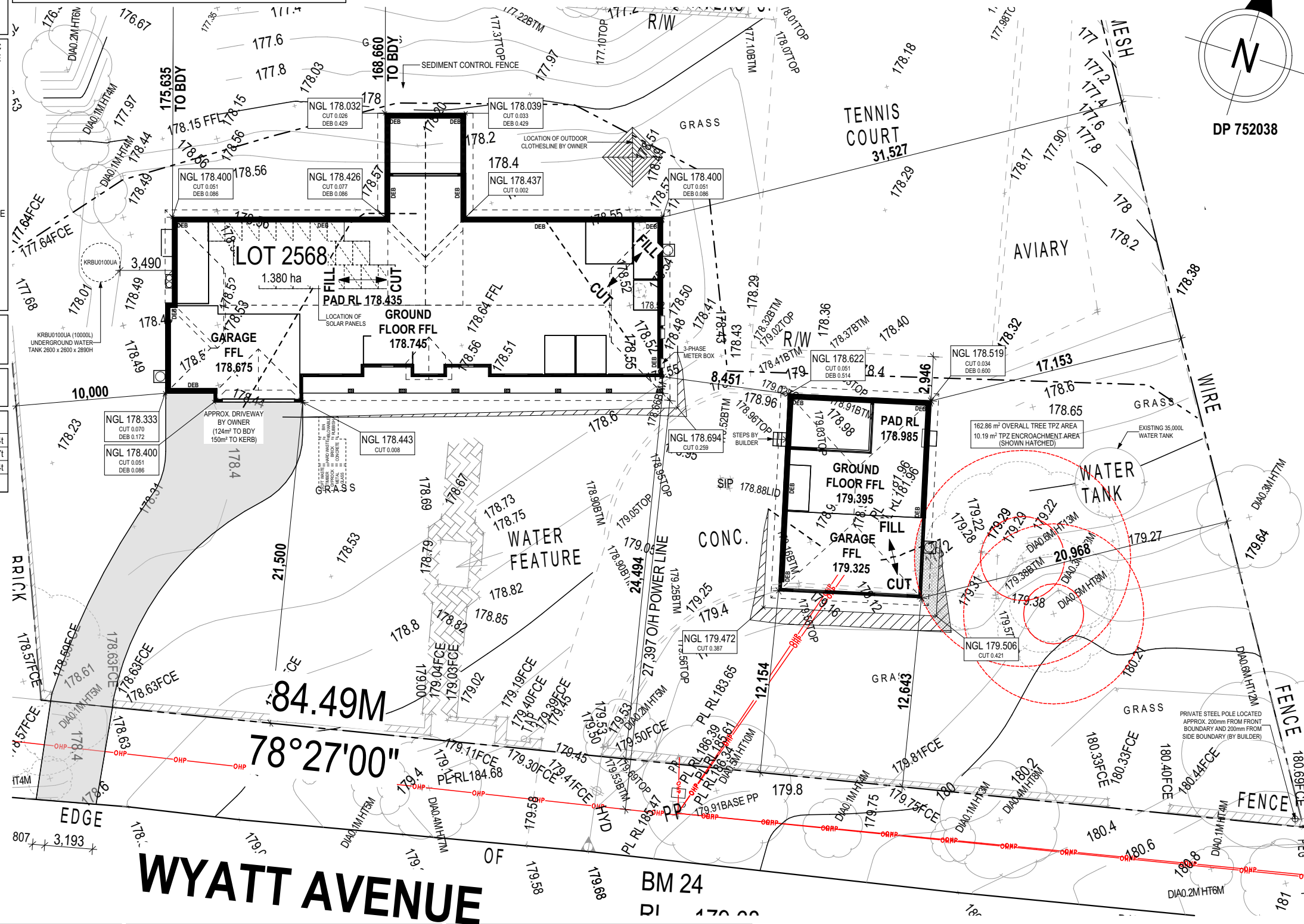
APPROX. CUT/FILL

CUT	30.15m³	67.84t
FILL	32.61m³	73.37t
DIFFERENCE	2.46m³	5.54t

EVEN CUT & FILL

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

OVERHEAD POWER LINES ARE PRESENT



BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

DEMOLITION SHOWN DASHED

OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.:

- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, GARDEN BEDS, DRIVEWAYS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
- REMOVAL OF ANY TREES, STUMPS, BARK OR EXCESSIVE GROWTH WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
- ALL BUILDING MATERIALS OR WASTE ON SITE IS TO BE FULLY REMOVED.
- ANY DEPRESSIONS TO NATURAL GROUND LEVEL ARE TO BE ADEQUATELY FILLED.
- ANY EXCESS FILL WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS TO BE REMOVED.
- GAS METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- ELECTRICAL METER AND ASSOCIATED SERVICES TO BE REMOVED TO AGREED SAFE DISTANCE (BOUNDARY/POLE).
- WATER METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- TELEPHONE & DATA CABLES TO BE REMOVED BACK TO SITE BOUNDARY.
- EXISTING SITE SEWER & STORM WATER CONNECTIONS TO BE REMOVED AND CAPPED OFF TO PREVENT INCIDENCE OF BUILDING MATERIALS ENTERING THOSE SYSTEMS AND LEAVING YOUR SITE.
- ASBESTOS: A SITE CLEARANCE CERTIFICATE IS REQUIRED TO BE SUPPLIED TO US BY THE OWNER PRIOR TO US COMMENCING WORK ON YOUR SITE. YOUR DEMOLITION COMPANY SHOULD BE ABLE ARRANGE THIS FOR YOU.

PLEASE NOTE:
RELEVANT DOCUMENTED REPORT EVIDENCE & PICTURES FROM PARTIES CARRYING OUT THESE SERVICES WILL BE REQUIRED TO ENSURE THE ABOVE ASPECTS HAVE BEEN COMPLETED EFFECTIVELY TO MEET BOTH OUR LEGAL & CONTRACT REQUIREMENTS.

EXISTING STRUCTURE TO BE DEMOLISHED AND REMOVED BY OWNER.

AFTER DEMOLITION OF EXISTING HOUSE IS COMPLETE AN ADDITIONAL SOIL TEST MAY BE REQUIRED TO CONFIRM THE SOIL CONDITIONS AS DIRECTED BY ENGINEER. IF REQUIRED ADDITIONAL COSTS WILL BE PROVIDED BY WAY OF POST CONTRACT VARIATION.

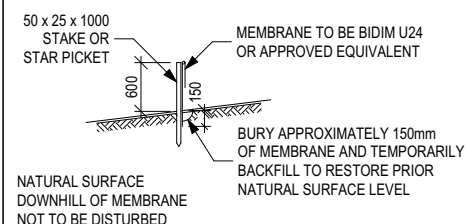
OWNER SHALL INSTALL AND MAINTAIN AN ALL-WEATHER ACCESS ROAD TO & WITHIN THE PROPERTY BOUNDARIES AND UP TO THE BUILDING SITE. SUITABLE FOR ARTICULATED VEHICLES FOR CONSTRUCTION PURPOSES TO THE SATISFACTION OF THE BUILDER.

THE OWNER IS TO NOMINATE THE PROPOSED LOCATION OF THE HOME USING FOUR PEGS TO IDENTIFY APPROXIMATE LOCATION AND ORIENTATION PRIOR TO THE SURVEYOR ATTENDING SITE.

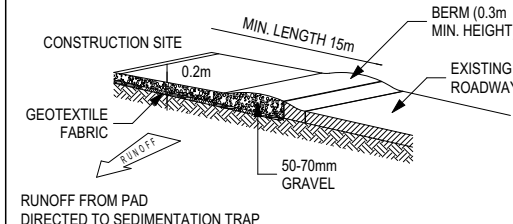
THE EXISTING DWELLING IS TO REMAIN ON SITE. OWNER WISHES TO RETAIN THIS STRUCTURE FOR STORAGE PURPOSES. THIS IS NOT A DUAL OCCUPANCY. THIS WILL BE SUBJECT TO LOCAL AUTHORITY APPROVAL. THE OWNER IS TO PROVIDE A STATUTORY DECLARATION UNDERTAKING WITH COUNCIL THAT THE EXISTING DWELLING WILL ONLY BE USED AS STORAGE. THE OWNER IS ALSO RESPONSIBLE FOR ANY FEES OR BONDS APPLICABLE.

THE EXISTING POOL IS TO REMAIN ON SITE. THE OWNER IS TO PROVIDE AN 1800MM HIGH SAFETY FENCE, ENCLOSING THE POOL. A MINIMUM OF 3000MM FROM THE GUTTER LINE OF THE PROPOSED HOUSE TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT. THE BUILDER TAKES NO RESPONSIBILITY FOR DAMAGE THAT MAY OCCUR TO THE POOL AND SURROUNDS DURING CONSTRUCTION AND HAS MADE NO ALLOWANCE FOR ANY REPAIRS THAT MAY BE REQUIRED.

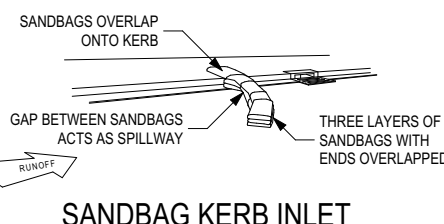
SEWER MAIN LOCATION NOT AVAILABLE AT TIME OF PLAN DRAWING. LOCATION SUBJECT TO RECEIPT OF RELEVANT DOCUMENTATION.



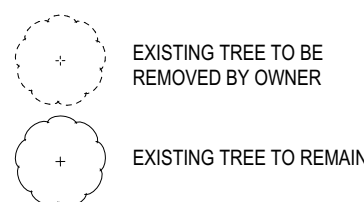
SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET
SEDIMENTATION TRAP



EXISTING TREE TO BE
REMOVED BY OWNER

EXISTING TREE TO REMAIN

SITE CLASSIFICATION **P-M**. SOIL SURFACE MOVEMENT CHARACTERISTICS EQUIVALENT TO **M** CLASS AS PER STS GEOTECHNICS PTY LTD REPORT NO. 23/1590.
NO EVIDENCE OF FILL ON SITE.
WEATHERED ROCK @ APPROX. 450mm BELOW THE NATURAL GROUND LEVEL.

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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	17 AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024	2568 / - / 752038	SITE PLAN	5 / 31	
			COUNCIL:		SCALES:	
			TO BE ADVISED		1:300	
						606935

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS

TO BE DIVERTED TO WATER TANK. BALANCE AS PER HYDRAULIC ENGINEERS DETAILS. COLLECTION AREA = 615.02m²

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED AS PER HYDRAULIC ENGINEERS DETAILS.

LEGEND

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS

TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY

ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)

ALL DRAINAGE LINES ARE FOR ROOF WATER / WATER TANK DRAINAGE ONLY

SDP

STANDARD DOWNPIPE

CDP

CHARGED DOWNPIPE

RECYCLED COLD WATER LINE

TANK COLD WATER LINE

WATER LINE TO MAIN SUPPLY

NON-CHARGED STORMWATER LINE

CHARGED STORMWATER LINE

WM

WASHING MACHINE

WC

TOILET

+

YARD TAP

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BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO STORMWATER DESIGN BY
ALW DESIGN STORMWATER
CONSULTANTS FOR STORMWATER
REQUIREMENTS
REFERENCE: SW23307 ISSUE C
DATED: 09.02.2024

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY



SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	16	AMENDED AS PER PCV13		LFL	09/02/2024	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
	17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024	2568 / - / 752038		COUNCIL:				
						TO BE ADVISED		WATER MANAGEMENT PLAN		6 / 31	1:175	606935

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY CUSTOMER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2455 ABOVE FFL UNLESS NOTED OTHERWISE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE

REFER TO WINDOW AND DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS. PLEASE NOTE WINDOW AND DOOR SIZES ARE BASED ON MANUFACTURERS SPECIFICATIONS AT DEPOSIT STAGE AND MAY DIFFER SLIGHTLY TO THE SIZES NOMINATED IN THE SCOPE OF WORKS DUE TO MANUFACTURING CHANGES AT THE TIME OF CONSTRUCTION.

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



WALL FRAMES AND TRUSSES TO BE UPGRADED TO SUIT AN N3 (W41N) WIND CLASSIFICATION

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

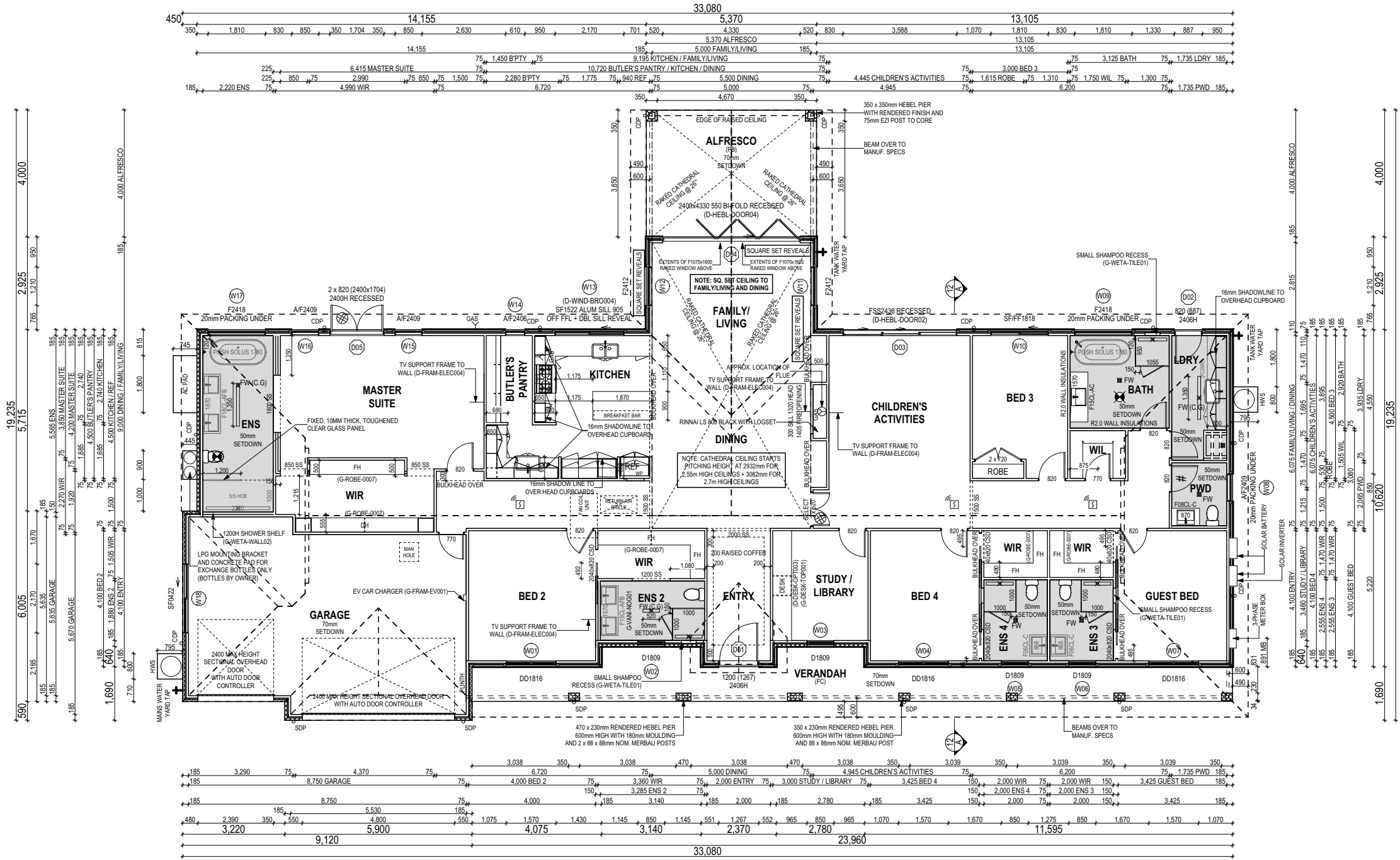
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE FLATBACK GUTTER UPGRADE

PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH NCC 2022

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNPIPE
CDP	CHARGED DOWNPIPE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	INTERCONNECTED SMOKE ALARM
# UC	LIFT OFF HINGE / UNDERCUT
+	WATER POINT
WP	FRIDGE WATER POINT
GAS	GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY



SPECIFICATION:
COUNTRY LIVING

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REVISION

13 ARBORIST COORDINATION

14 SLAB AND DRAINAGE CHECK

15 PCV 012 ADDED- NCC

16 AMENDED AS PER PCV13

17 AMENDED AS PER PCV14 - HYDRAULICS

DRAWN

LFL 20.10.2023

JVA 2023.10.23

JVA 2023.10.31

LFL 09/02/2024

LFL 13/02/2024

CLIENT:

MS DOROTHY FRANCES BLOOM

ADDRESS:

24 WYATT AVE, BELROSE NSW 2085

LOT / SECTION / DP:

2568 / - / 752038

COUNCIL:

TO BE ADVISED

HOUSE DESIGN:

BRONTE EXEC GRANDE MANOR ONE

FACADE DESIGN:

COUNTY PAVILION FACADE

SHEET TITLE:

GROUND FLOOR PLAN

HOUSE CODE:

H-BROCLAS11421

FACADE CODE:

F-BROCYP01

SCALES:

1:150

SHEET No.:

7 / 31

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606935

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC 2022 REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

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UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

A
D
B
C

LEGEND	
HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
SDP	STANDARD DOWNSPIPE
CDP	CHARGED DOWNSPIPE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	INTERCONNECTED SMOKE ALARM
# UC	LIFT OFF HINGE / UNDERCUT
+	WATER POINT
WP	FRIDGE WATER POINT
GAS	GAS BAYONET

WALL FRAMES AND TRUSSES TO BE UPGRADED TO SUIT AN N3 (W41N) WIND CLASSIFICATION

MIN. 1200mm CEILING FANS WITHOUT LIGHTS TO STUDIO GAMES ROOM

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

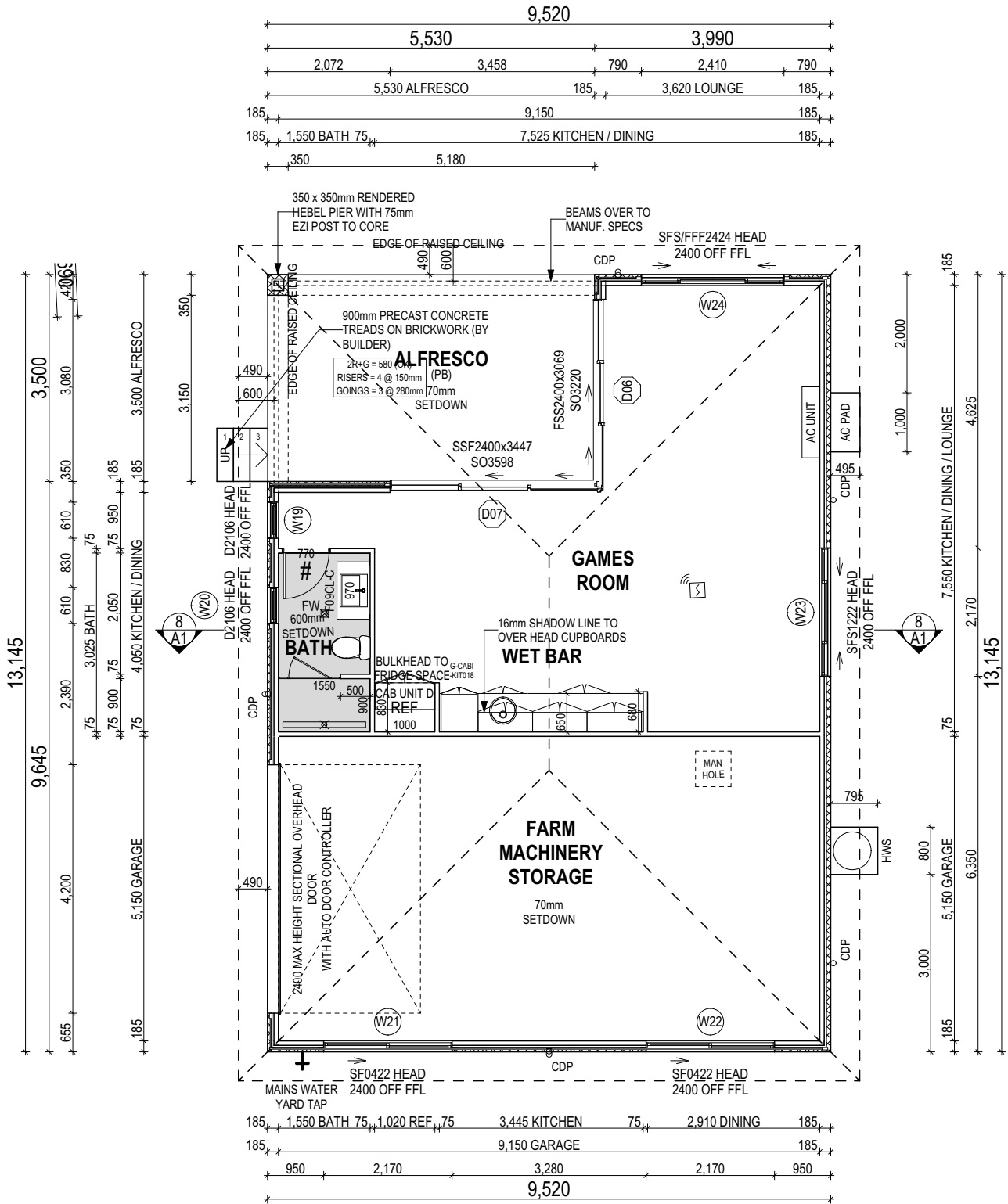
BAL-29 BUSHFIRE REQUIREMENTS SEE SHEET 1 (COVER SHEET) FOR DETAILS

PROVIDE FLATBACK GUTTER UPGRADE

PROVIDE AND INSTALL SINGLE PHASE SPLIT SYSTEM AIR CONDITIONER. EXACT LOCATION TO BE DETERMINED IN CONJUNCTION WITH CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS.

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

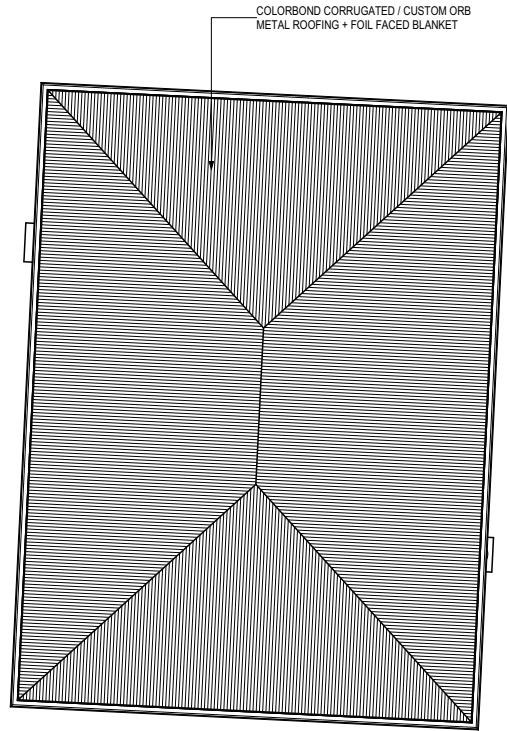
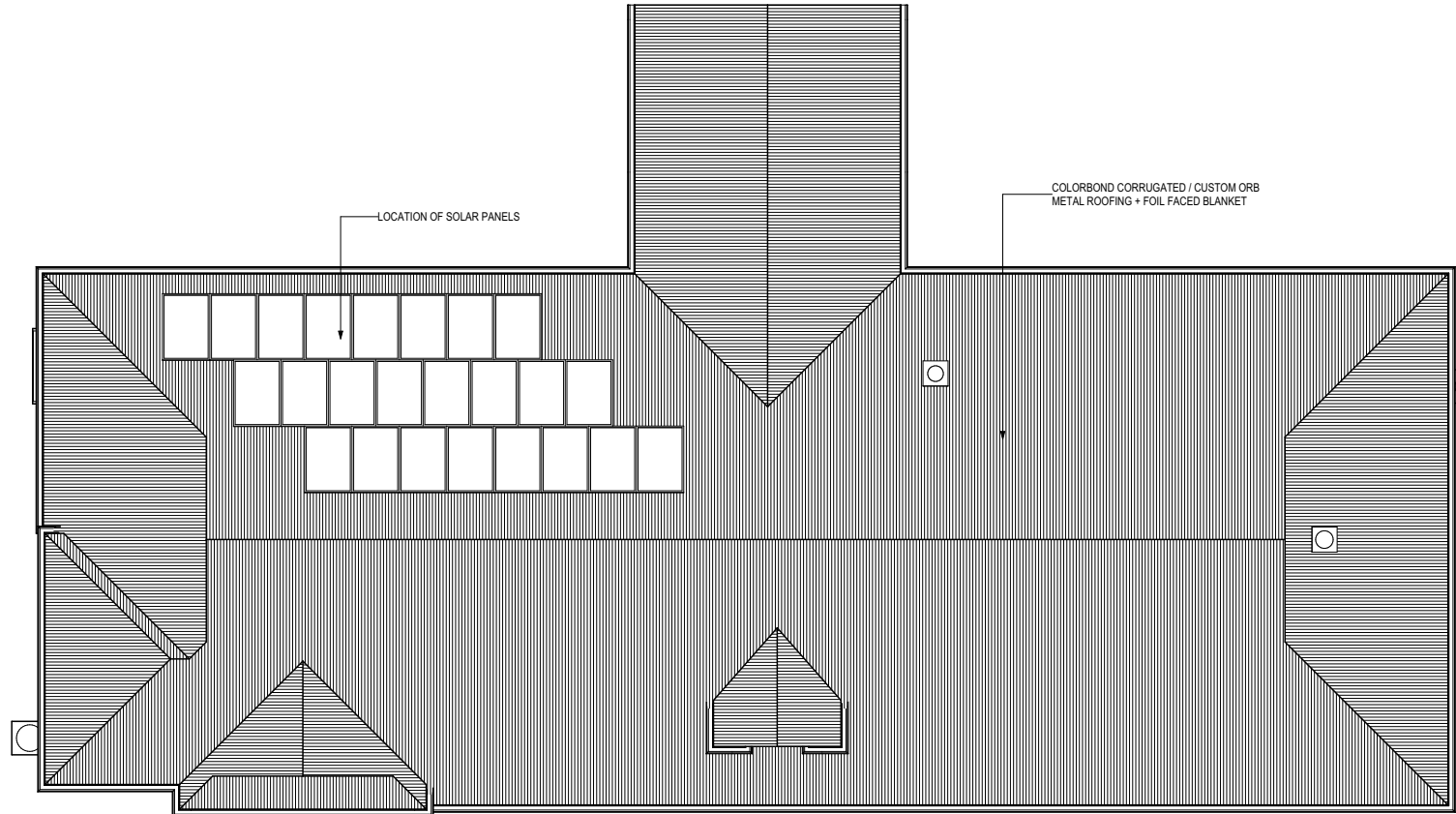
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	16	AMENDED AS PER PCV13	LFL	09/02/2024	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	SCALES:	
	17	AMENDED AS PER PCV14 - HYDRAULICS	LFL	13/02/2024	2568 / - / 752038	STUDIO FLOOR PLAN	8 / 31	1:100	606935
					COUNCIL:	TO BE ADVISED			

PROVIDE FLATBACK
GUTTER UPGRADE



ROOF PLAN
SCALE: 1:175

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: COUNTRY LIVING		REVISION	DRAWN	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
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		14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: ROOF PLAN	SHEET No.: 9 / 31	
		15	PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED	SCALES: 1:175		
		16	AMENDED AS PER PCV13	LFL 09/02/2024				
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Last Published: Tuesday, 19 February 2024 2:43 PM
File Location: G:\Sydney\Drafting\Job Files 60000\Job Files 606801 - 607000\606935 - Bloom\Plan Model\606935 Bloom - AC24.pln
Template Version: 24.026

EXTERIOR WINDOW & DOOR SCHEDULE ^{1,2} ASSUME LOOKING FROM OUTSIDE

STOREY	ID	CODE¹	TYPE	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m²)	GLAZING TYPE	ADDITIONAL INFORMATION²
WINDOW															
GROUND FLOOR	W01	DD1816	DOUBLE HUNG	BED 2	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785
GROUND FLOOR	W02	D1809	DOUBLE HUNG	ENS 2	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED	
GROUND FLOOR	W03	D1809	DOUBLE HUNG	STUDY / LIBRARY	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR	
GROUND FLOOR	W04	DD1816	DOUBLE HUNG	BED 4	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785
GROUND FLOOR	W05	D1809	DOUBLE HUNG	ENS 4	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED	
GROUND FLOOR	W06	D1809	DOUBLE HUNG	ENS 3	1,800	850	5,300	1.53	ALUMINIUM	BAL-29	NONE	S	1.29	CLEAR, TOUGHENED	
GROUND FLOOR	W07	DD1816	DOUBLE HUNG	GUEST BED	1,800	1,570	6,740	2.83	ALUMINIUM	BAL-29	NONE	S	2.36	CLEAR	MP 785
GROUND FLOOR	W08	A/F2409	AWNING	PWD	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	E	1.60	SATINLITE, TOUGHENED	BP 760
GROUND FLOOR	W09	F2418	FIXED	BATH	2,360	1,810	8,340	4.27	ALUMINIUM	BAL-29	NONE	N	3.98	CLEAR, TOUGHENED	
GROUND FLOOR	W10	SF/FF1818	SLIDING	BED 3	1,800	1,810	7,220	3.26	ALUMINIUM	BAL-29	NONE	N	2.79	CLEAR	BP 600, MP 905/0
GROUND FLOOR	W11	F2412	FIXED	FAMILY / LIVING	2,360	1,210	7,140	2.86	ALUMINIUM	BAL-29	NONE	E	2.60	CLEAR, TOUGHENED	
GROUND FLOOR	W12	F2412	FIXED	FAMILY / LIVING	2,360	1,210	7,140	2.86	ALUMINIUM	BAL-29	NONE	W	2.60	CLEAR, TOUGHENED	
GROUND FLOOR	W13	SF1522	SLIDING	KITCHEN	1,460	2,170	7,260	3.17	ALUMINIUM	BAL-29	NONE	N	2.85	CLEAR	
GROUND FLOOR	W14	A/F2406	AWNING	BUTLER'S PANTRY	2,360	610	5,940	1.44	ALUMINIUM	BAL-29	NONE	N	1.08	CLEAR	BP 760
GROUND FLOOR	W15	A/F2409	AWNING	MASTER SUITE	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	N	1.60	CLEAR	BP 760
GROUND FLOOR	W16	A/F2409	AWNING	MASTER SUITE	2,360	850	6,420	2.01	ALUMINIUM	BAL-29	NONE	N	1.60	CLEAR	BP 760
GROUND FLOOR	W17	F2418	FIXED	ENS	2,360	1,810	8,340	4.27	ALUMINIUM	BAL-29	NONE	N	3.98	CLEAR, TOUGHENED	
GROUND FLOOR	W18	SF0422	SLIDING	GARAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	W	0.67	CLEAR	
GROUND FLOOR	W19	D2106	DOUBLE HUNG	HALL	2,060	610	5,340	1.26	ALUMINIUM	BAL-29	NONE	W	1.03	CLEAR	
GROUND FLOOR	W20	D2106	DOUBLE HUNG	BATH	2,060	610	5,340	1.26	ALUMINIUM	BAL-29	NONE	W	1.03	CLEAR, TOUGHENED	
GROUND FLOOR	W21	SF0422	SLIDING	FARM MACHINERY STORAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	S	0.67	CLEAR	
GROUND FLOOR	W22	SF0422	SLIDING	FARM MACHINERY STORAGE	400	2,170	5,140	0.87	ALUMINIUM	BAL-29	NONE	S	0.67	CLEAR	
GROUND FLOOR	W23	SFS1222	SLIDING	GAMES ROOM	1,200	2,170	6,740	2.60	ALUMINIUM	BAL-29	NONE	E	2.27	CLEAR	
GROUND FLOOR	W24	SFS/FFF2424	SLIDING	<Undefined>	2,360	2,410	9,540	5.69	ALUMINIUM	BAL-29	NONE	N	4.95	CLEAR, DOUBLE GLAZED, TOUGHENED	BP 760, MP 603-1205/0
FIRST FLOOR	W25	F1070x1600 RAKED	FIXED		1,070	1,600	4,740	1.09	ALUMINIUM	BAL-29	NONE	N	0.88	CLEAR, TOUGHENED	RAKED TOP, LOW END HEIGHT 290mm, HIGH END HEIGHT 1070mm
FIRST FLOOR	W26	F1070x1600 RAKED	FIXED		1,070	1,600	4,740	1.09	ALUMINIUM	BAL-29	NONE	N	0.88	CLEAR, TOUGHENED	RAKED TOP, LOW END HEIGHT 290mm, HIGH END HEIGHT 1070mm
								58.37					49.97		
DOOR															
GROUND FLOOR	D01	1200	SWINGING	ENTRY	2,406	1,267	7,346	3.05	TIMBER	BAL-29	NONE	S	---	DOOR(S): NO GLAZING - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 1200mm
GROUND FLOOR	D02	820	SWINGING	LDRY	2,406	887	6,586	2.13	TIMBER	BAL-29	NONE	N	---	DOOR(S): CLEAR, TOUGHENED - SIDELIGHT(S): N/A	LEAF SIZE: 2340 x 820mm, 6MM CLEAR TOUGHENED GLAZING
GROUND FLOOR	D03	FSS2436	STACKER	CHILDREN'S ACTIVITIES	2,400	3,588	11,976	8.61	ALUMINIUM	BAL-29	NONE	N	7.77	CLEAR, TOUGHENED	
GROUND FLOOR	D04	2400x4330 550 BI-FOLD	BI-FOLD	FAMILY / LIVING	2,400	4,330	13,460	10.39	ALUMINIUM	BAL-29	NONE	N	7.37	CLEAR, TOUGHENED	
GROUND FLOOR	D05	2 x 820	SWINGING	MASTER SUITE	2,400	1,704	8,208	4.09	ALUMINIUM	BAL-29	NONE	N	2.91	CLEAR	
GROUND FLOOR	D06	FSS2400x3069	STACKER	GAMES ROOM	2,400	3,080	10,960	7.39	ALUMINIUM	BAL-29	NONE	W	6.92	CLEAR, TOUGHENED	CORNER JOINING (INTERNAL - WITH LOCK)
GROUND FLOOR	D07	SSF2400x3447	STACKER	GAMES ROOM	2,400	3,458	11,716	8.30	ALUMINIUM	BAL-29	NONE	N	7.74	CLEAR, TOUGHENED	CORNER JOINING (INTERNAL - NO LOCK)
								43.96					32.71		
								102.33					82.68		

INTERIOR WINDOW & DOOR SCHEDULE

STOREY	QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING TYPE	ADDITIONAL INFORMATION
DOOR							
GROUND FLOOR	1	1200 SS	SQUARE SET OPENING	2,455	1,200	N/A	
GROUND FLOOR	2	1500 SS	SQUARE SET OPENING	2,455	1,500	N/A	
GROUND FLOOR	1	1800 SS	SQUARE SET OPENING	2,455	1,800	N/A	
GROUND FLOOR	1	2 x 520	SWINGING	2,340	1,040	CLEAR	SELECT
GROUND FLOOR	1	2 x 720	SWINGING	2,340	1,440	N/A	
GROUND FLOOR	1	2000 SS	SQUARE SET OPENING	2,455	2,000	N/A	
GROUND FLOOR	5	2040x820 CSD	CAVITY SLIDING	2,040	820	N/A	
GROUND FLOOR	2	770	SWINGING	2,340	770	N/A	
GROUND FLOOR	1	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
GROUND FLOOR	8	820	SWINGING	2,340	820	N/A	
GROUND FLOOR	1	820	SWINGING	2,340	820	N/A	LIFT-OFF HINGES
GROUND FLOOR	2	850 SS	SQUARE SET OPENING	2,455	850	N/A	

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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WINDOWS TO BE UPGRADED TO SUIT
AN N3 (W41N) WIND CLASSIFICATION

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

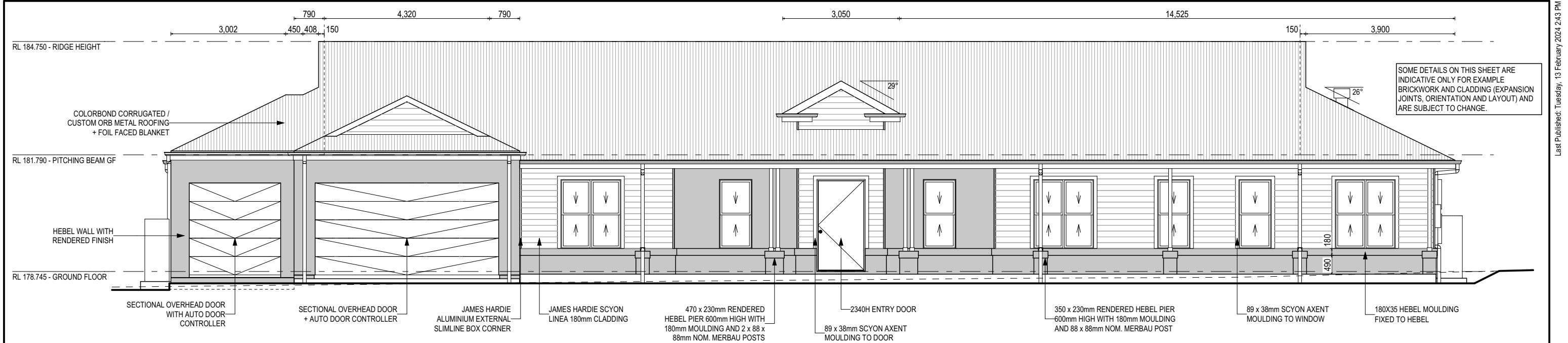
PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

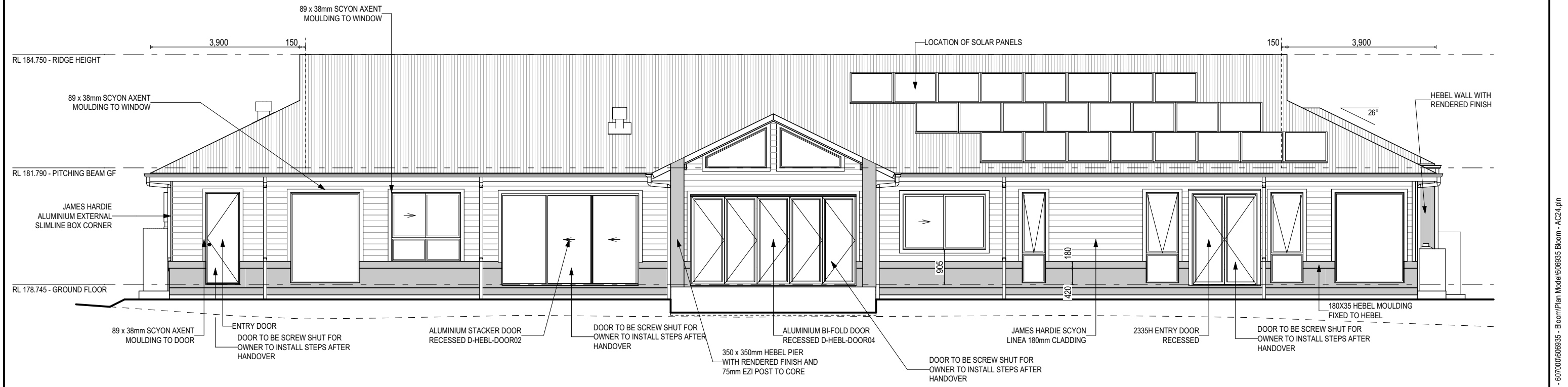
PICTURE, TV RECESS AND SS WINDOW OPENINGS

QTY	TYPE	HEIGHT	WIDTH	AREA (m²)
1	SS WINDOW OPENING	1,020	1,405	1.43

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: COUNTRY LIVING		REVISION		DRAWN		CLIENT: MS DOROTHY FRANCESSE BLOOM		HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE		HOUSE CODE: H-BROCLAS11421		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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		14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	LOT / SECTION / DP: 2568 / - / 752038		SHEET TITLE: WINDOW & DOOR SCHEDULES		SHEET No.: 10 / 31	SCALES: 606935	
		15	PCV 012 ADDED- NCC		JVA	2023.10.31	COUNCIL: TO BE ADVISED						
		16	AMENDED AS PER PCV13		LFL	09/02/2024							
	17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024								



FRONT ELEVATION (SOUTH - BAL 29)
SCALE: 1:100



REAR ELEVATION (NORTH - BAL 29)
SCALE: 1:100

PROVIDE FLATBACK
GUTTER UPGRADE

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION
TO MANUFACTURERS SPECIFICATIONS

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

GLASS TYPE LEGEND

CLEAR OBSCURE

WINDOW TYPE LEGEND

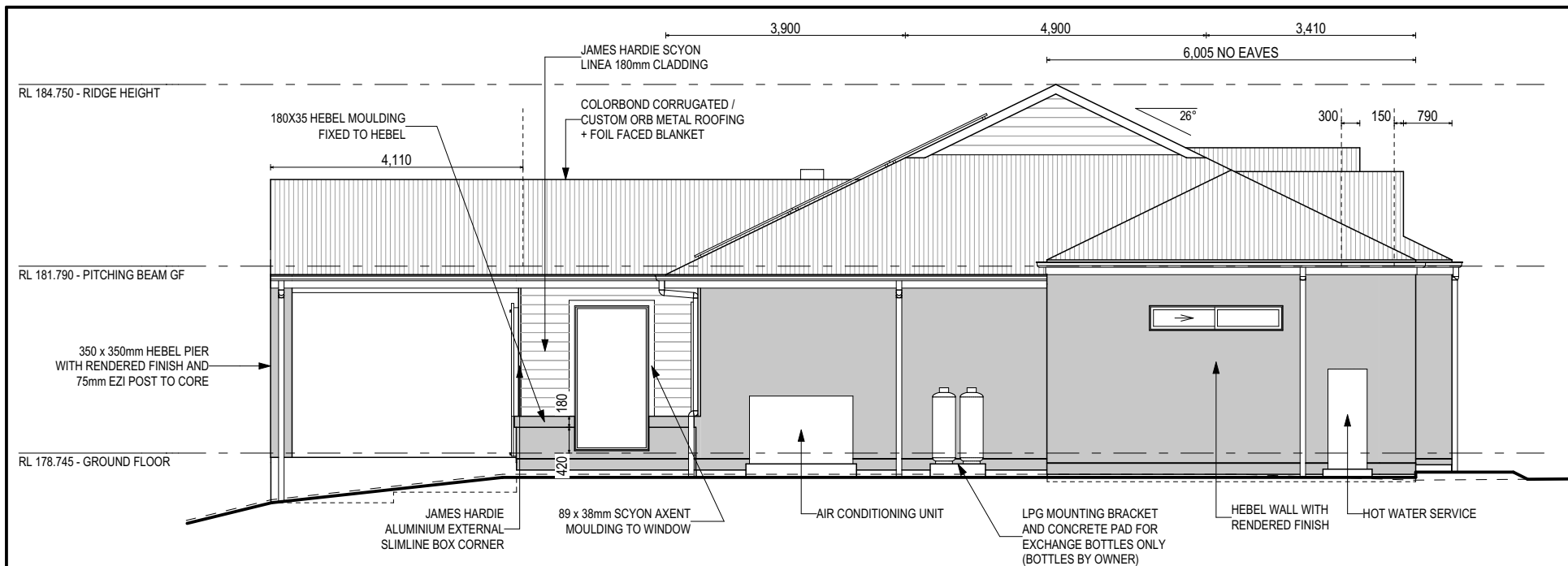
AWNING DOUBLE HUNG FIXED LOUVRE SLIDING

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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		14 SLAB AND DRAINAGE CHECK	JVA 2023.10.23	ADDRESS:	FACADE DESIGN:	F-BROCYP01	
		15 PCV 012 ADDED- NCC	JVA 2023.10.31	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE		
		16 AMENDED AS PER PCV13	LFL 09/02/2024	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
		17 AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024	2568 / - / 752038	ELEVATIONS	11 / 31	606935
				COUNCIL:		1:100	
				TO BE ADVISED			



BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

HEBEL ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

PROVIDE FLATBACK GUTTER UPGRADE

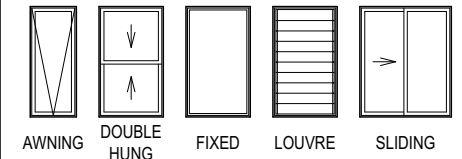
REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
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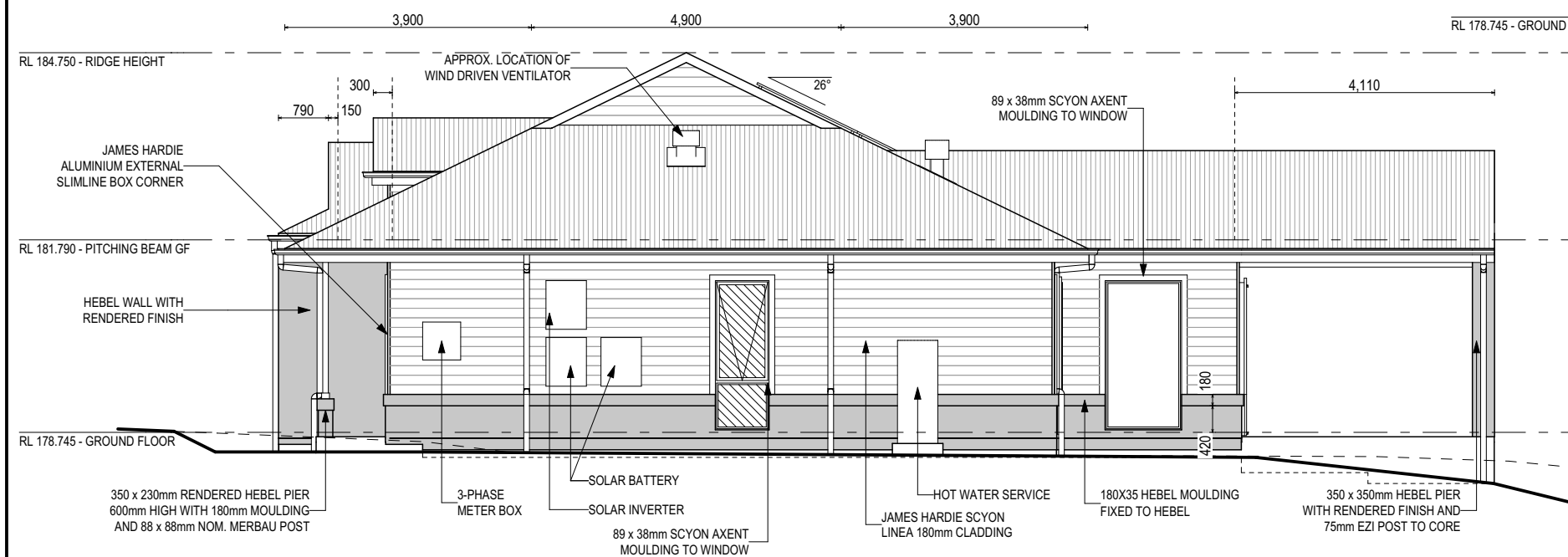
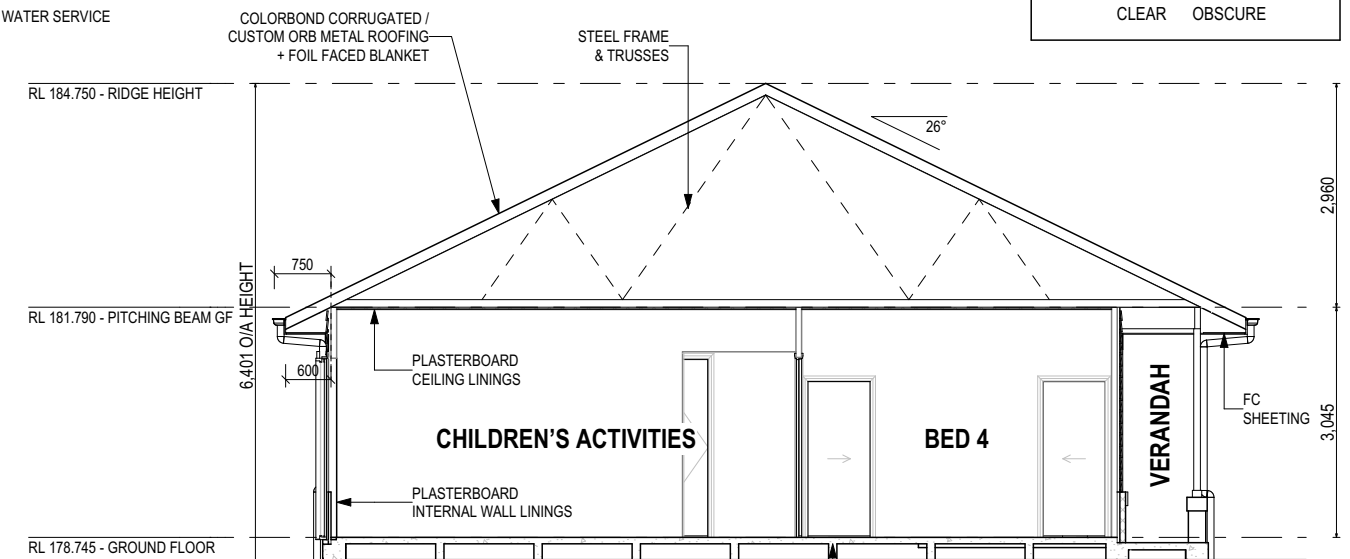
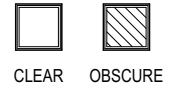
SOME DETAILS ON THIS SHEET ARE
INDICATIVE ONLY FOR EXAMPLE
BRICKWORK AND CLADDING (EXPANSION
JOINTS, ORIENTATION AND LAYOUT) AND
ARE SUBJECT TO CHANGE.

SH = SNAP HEADER SILL

WINDOW TYPE LEGEND



GLASS TYPE LEGEND



**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

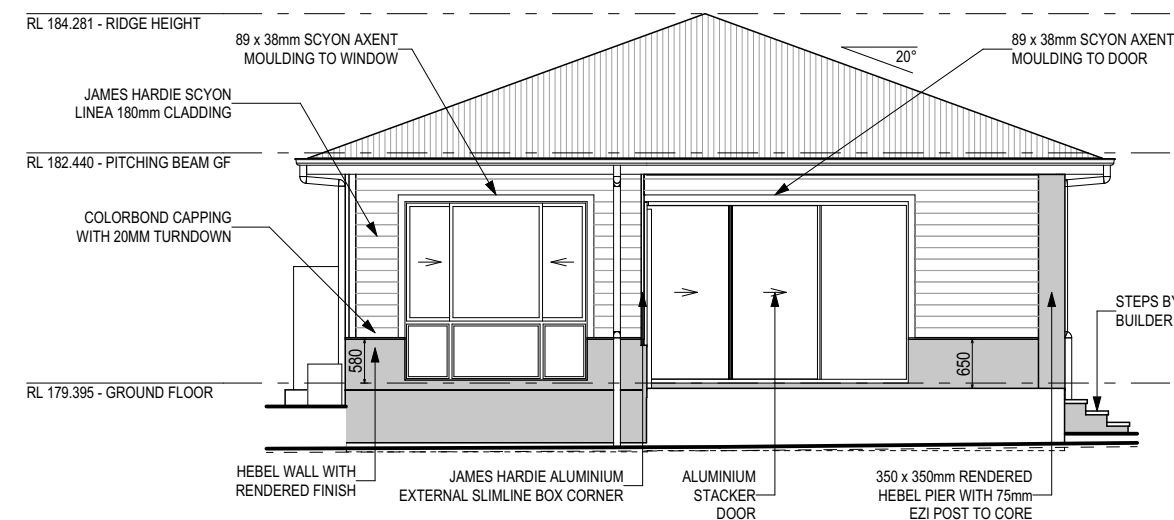
DATE: 17/10/2023
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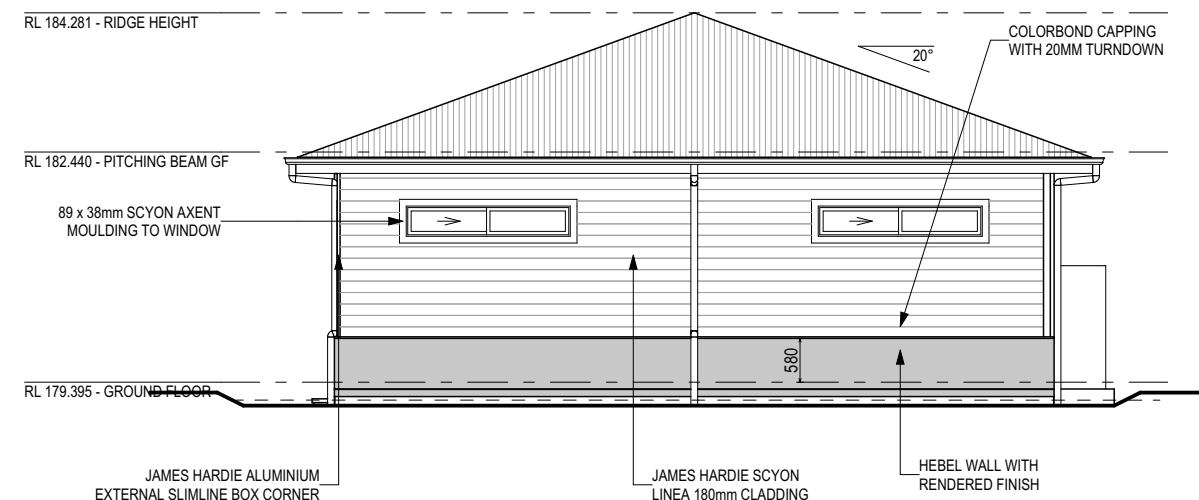


mcdonald jones
FIND YOURSELF AT HOME

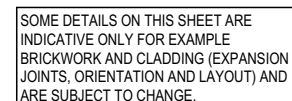
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COUNTRY LIVING	13	ARBORIST COORDINATION	LFL 20.10.2023	MS DOROTHY FRANCESSE BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
COPYRIGHT:	14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
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	16	AMENDED AS PER PCV13	LFL 09/02/2024	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024	2568 / - / 752038	COUNCIL: TO BE ADVISED	SCALES: 1:100	606935



LEFT ELEVATION (NORTH - BAL 29)
SCALE: 1:100



RIGHT ELEVATION (SOUTH - BAL 29)
SCALE: 1:100



REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

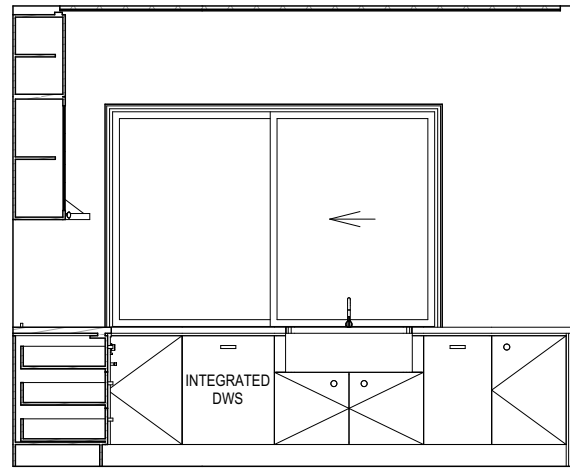
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(1 MAY 2023)
WATERPROOFING & PLUMBING

DATE: 17/10/2023
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CLEAR OBSCURE

Diagram illustrating five types of window treatments:

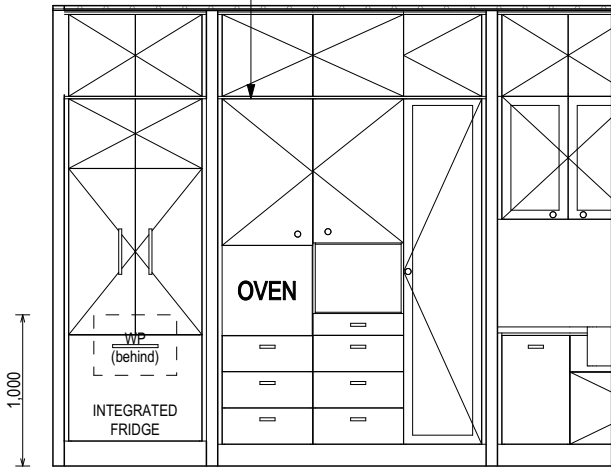
- AWNING**: A window with a single pane and a triangular awning shade attached to the top.
- DOUBLE HUNG**: A window with two panes, each with a vertical arrow indicating up-and-down movement.
- FIXED**: A simple rectangular window frame with no internal components.
- LOUVRE**: A window with multiple horizontal slats (louvers) inside the frame.
- SLIDING**: A window with two panes and a horizontal arrow indicating side-to-side movement.



ELEVATION A

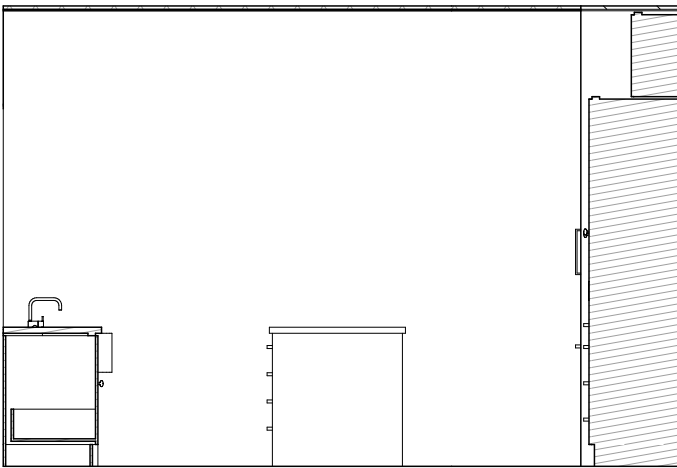
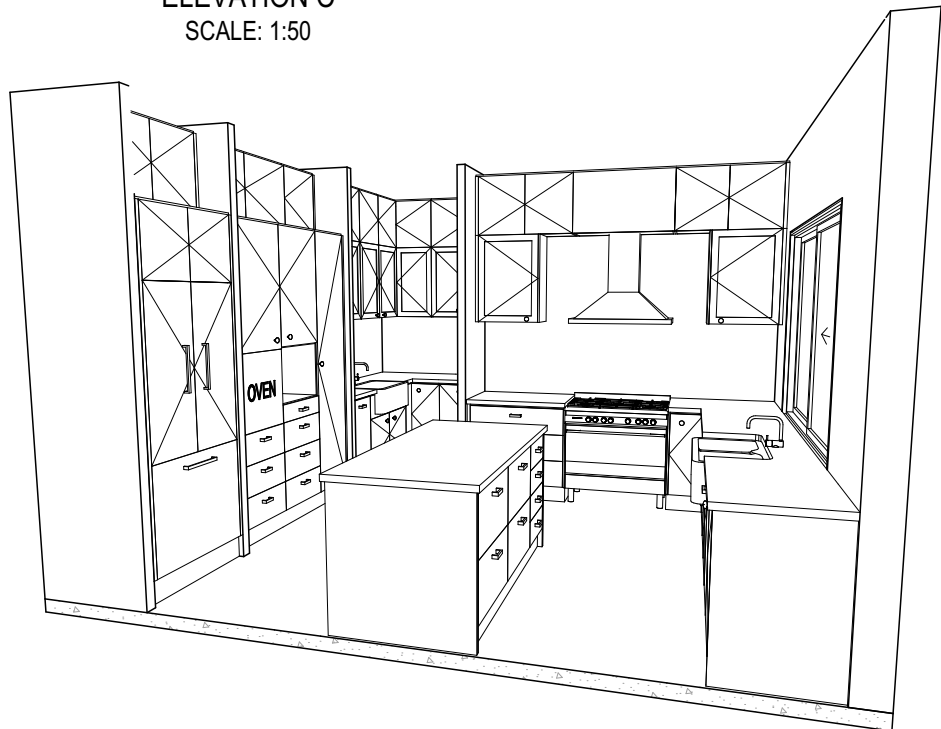
SCALE: 1:50

50x16mm SHADOW BOARD SETBACK 4mm FROM FRONT OF CARCASS (WALL HUNG CUPBOARD HEIGHT REDUCED BY SHADOWLINE THICKNESS)



ELEVATION C

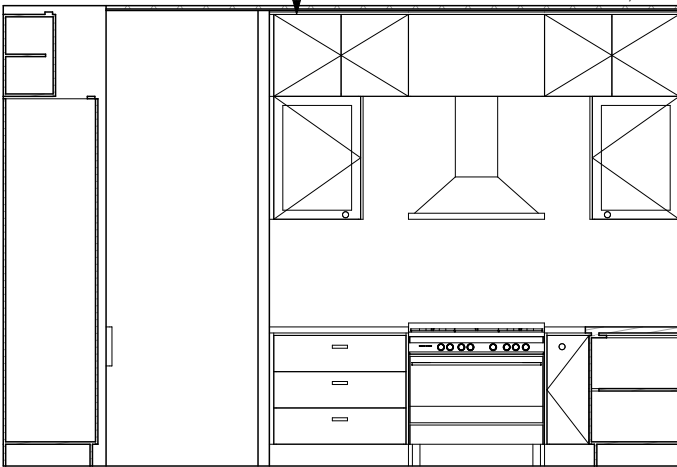
SCALE: 1:50



ELEVATION B

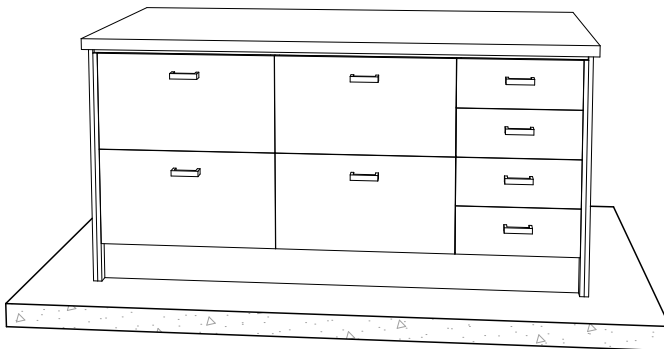
SCALE: 1:50

50x16mm SHADOW BOARD SETBACK 4mm FROM FRONT OF CARCASS (WALL HUNG CUPBOARD HEIGHT REDUCED BY SHADOWLINE THICKNESS)



ELEVATION D

SCALE: 1:50

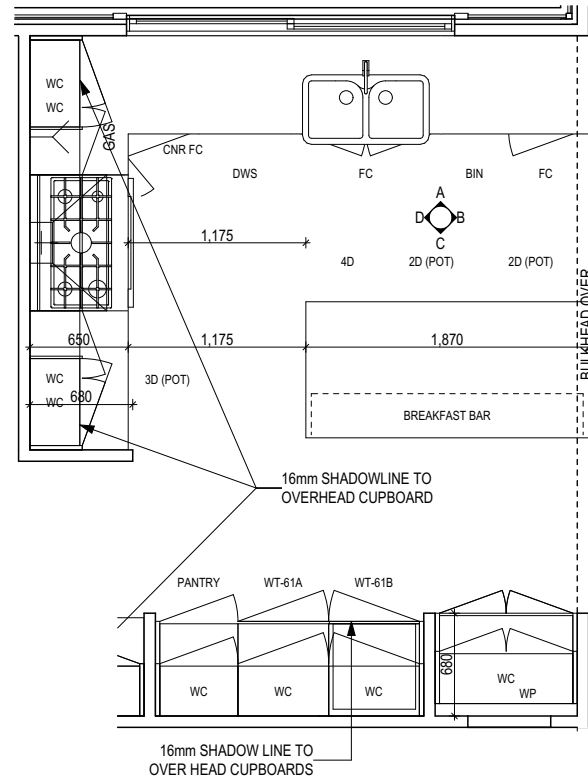


BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



KITCHEN PLAN

SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
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COUNTRY LIVING

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REVISION

13 ARBORIST COORDINATION

14 SLAB AND DRAINAGE CHECK

15 PCV 012 ADDED- NCC

16 AMENDED AS PER PCV13

17 AMENDED AS PER PCV14 - HYDRAULICS

DRAWN

LFL 20.10.2023

JVA 2023.10.23

JVA 2023.10.31

LFL 09/02/2024

LFL 13/02/2024

CLIENT:

MS DOROTHY FRANCES BLOOM

ADDRESS:

24 WYATT AVE, BELROSE NSW 2085

LOT / SECTION / DP:

2568 / - / 752038

COUNCIL:

TO BE ADVISED

HOUSE DESIGN:

BRONTE EXEC GRANDE MANOR ONE

FACADE DESIGN:

COUNTY PAVILION FACADE

SHEET TITLE:

KITCHEN DETAILS

SHEET No.:

14 / 31

HOUSE CODE:

H-BROCLAS11421

FACADE CODE:

F-BROCYP01

SCALES:

1:50

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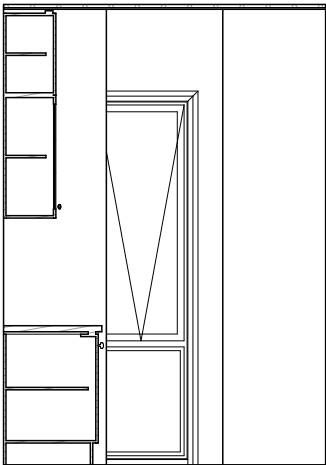
606935

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

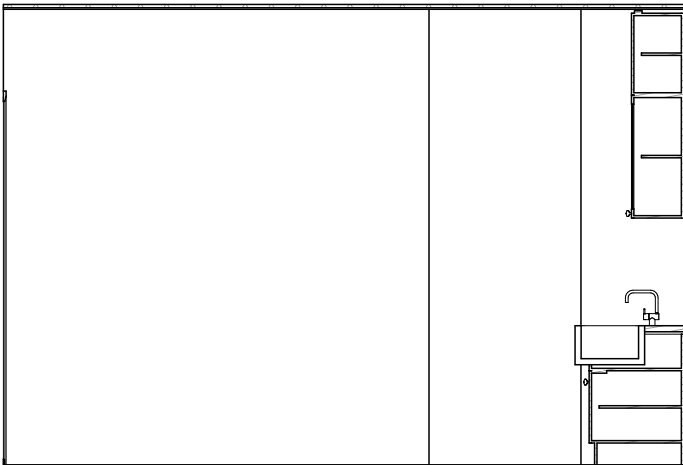
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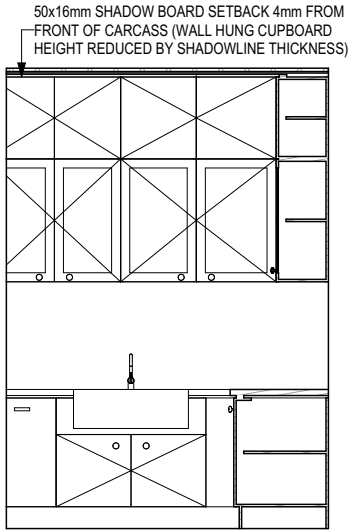
GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



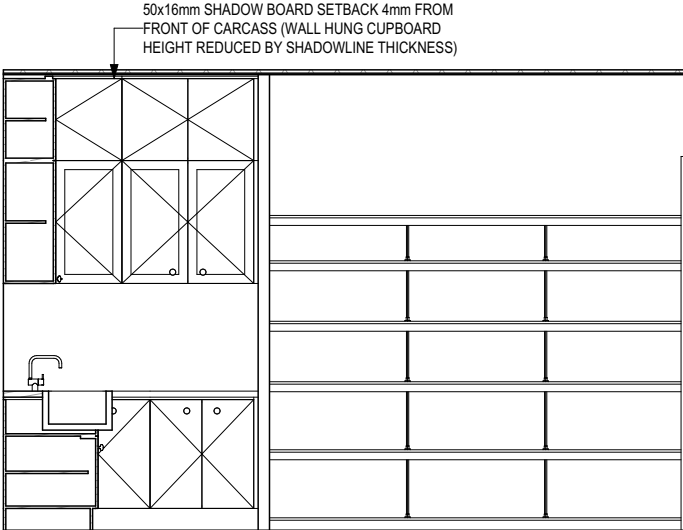
ELEVATION A
SCALE: 1:50



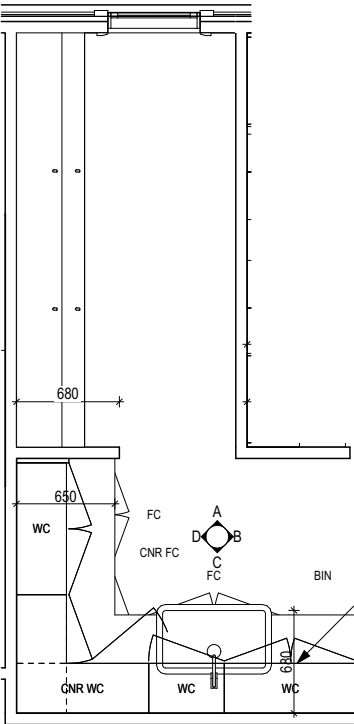
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



BUTLER'S PANTRY PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
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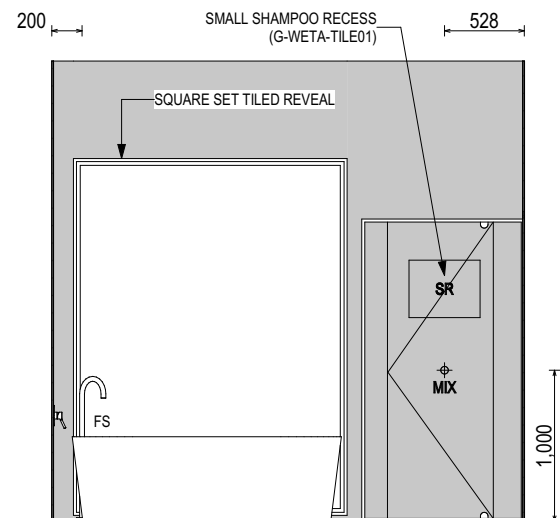
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	13	ARBORIST COORDINATION		LFL	20.10.2023	MS DOROTHY FRANCES BLOOM		BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421		
COPYRIGHT: © 2024	14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	15	PCV 012 ADDED- NCC		JVA	2023.10.31	24 WYATT AVE, BELROSE NSW 2085		COUNTY PAVILION FACADE		F-BROCYP01		
	16	AMENDED AS PER PCV13		LFL	09/02/2024	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
	17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024	2568 / - / 752038		TO BE ADVISED		15 / 31	1:50	
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BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

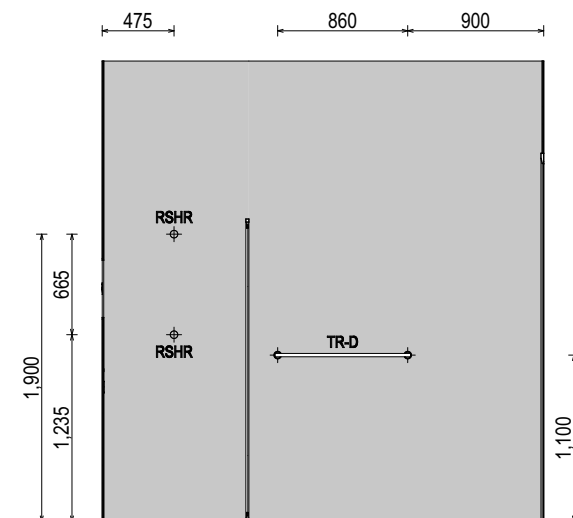
REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

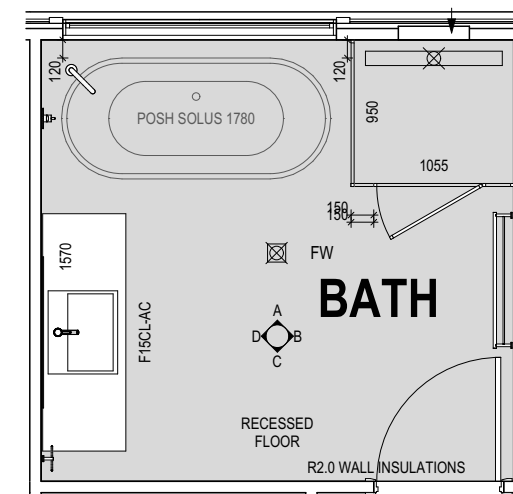
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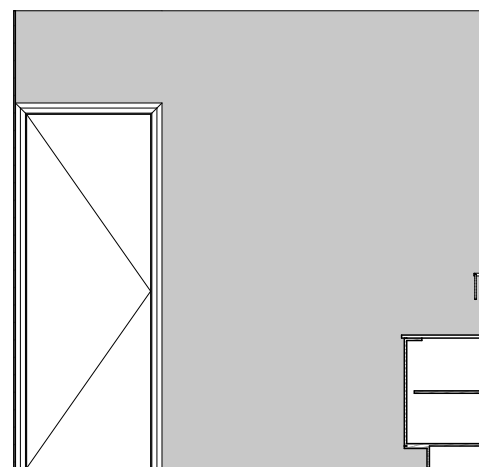
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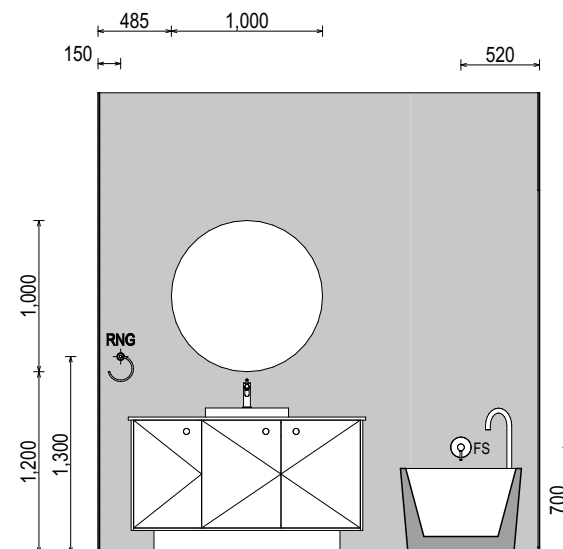
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SCALE: 1:50



BATHROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

- ## LEGEND

- | | |
|------|----------------------------|
| RSHR | RAIL SHOWER |
| ROSE | SHOWER ROSE |
| ELBW | SHOWER ELBOW
CONNECTION |
| MIX | MIXER TAP |
| HT | HOT TAP |
| CT | COLD TAP |
| HS | HOB SPOUT |
| WS | WALL SPOUT |
| SC | STOP COCK |
| TRH | TOILET ROLL HOLDER |
| TR-S | TOWEL RAIL - SINGLE |
| TR-D | TOWEL RAIL - DOUBLE |
| TL | TOWEL LADDER |
| TH | TOWEL HOLDER |
| TR | TOWEL RACK |
| TMB | TUMBLER HOLDER |
| RNG | TOWEL RING |
| RH | ROBE HOOK |
| SHLF | SHELF |
| SR | SHAMPOO RECESS |
| SOAP | SOAP HOLDER |

**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION:		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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			17	AMENDED AS PER PCV14 - HYDRAULICS	LFL	13/02/2024	2568 / - / 752038	TO BE ADVISED	BATHROOM DETAILS	16 / 31	1:50		
												606935	

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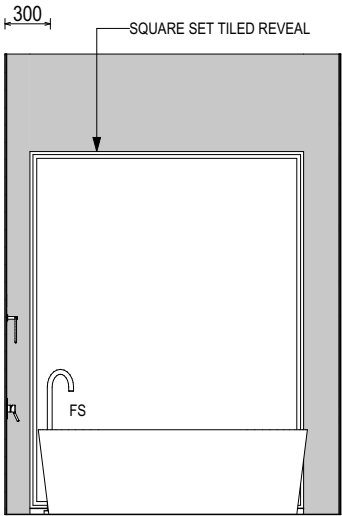
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

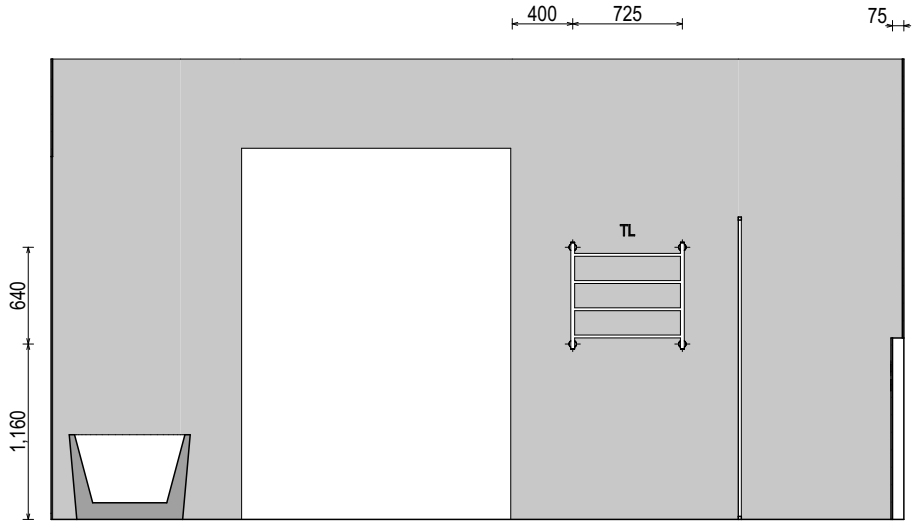
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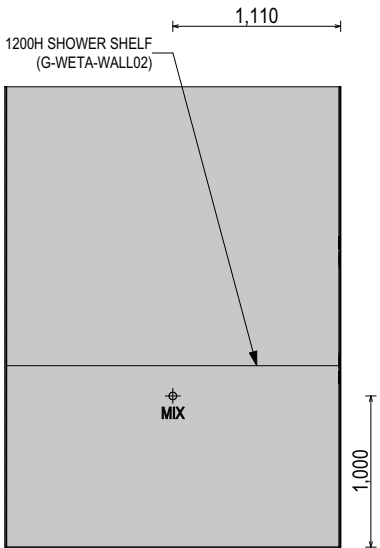
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



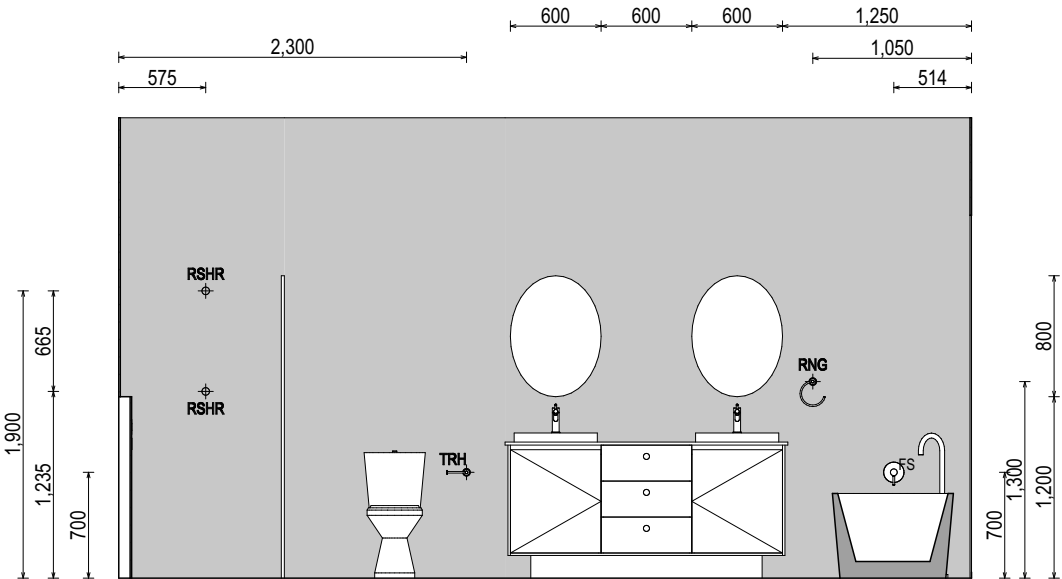
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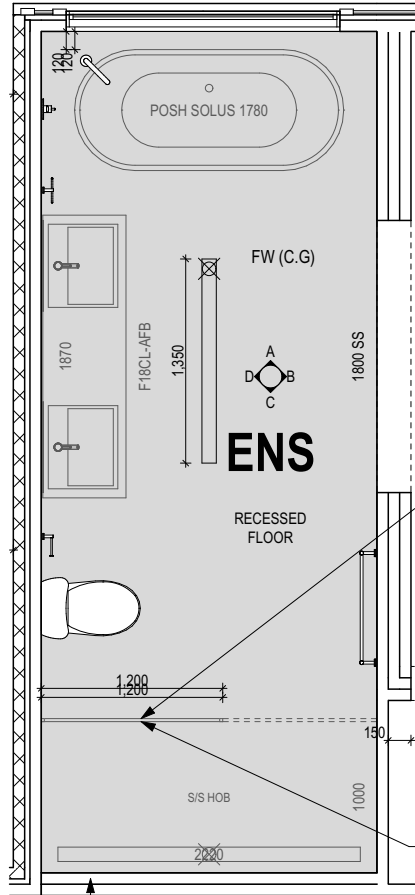
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ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



ENSUITE PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

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15	PCV 012 ADDED- NCC	JVA	2023.10.31
16	AMENDED AS PER PCV13	LFL	09/02/2024
17	AMENDED AS PER PCV14 - HYDRAULICS	LFL	13/02/2024

CLIENT:
MS DOROTHY FRANCES BLOOM
ADDRESS:
24 WYATT AVE, BELROSE NSW 2085
LOT / SECTION / DP:
2568 / - / 752038
COUNCIL:
TO BE ADVISED

HOUSE DESIGN:
BRONTE EXEC GRANDE MANOR ONE
FACADE DESIGN:
COUNTY PAVILION FACADE
SHEET TITLE:
ENSUITE DETAILS

HOUSE CODE:
H-BROCLAS11421
FACADE CODE:
F-BROCYP01
SHEET No.:
17 / 31
SCALES:
1:50

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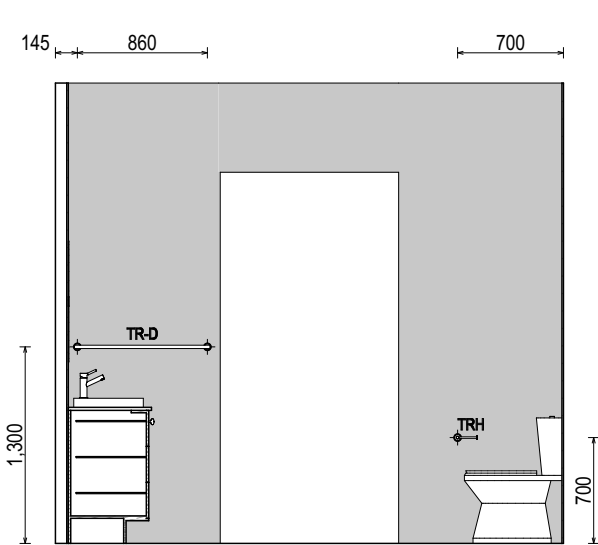
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

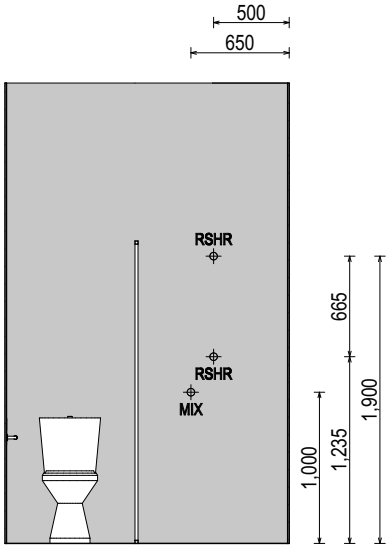
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LEGEND

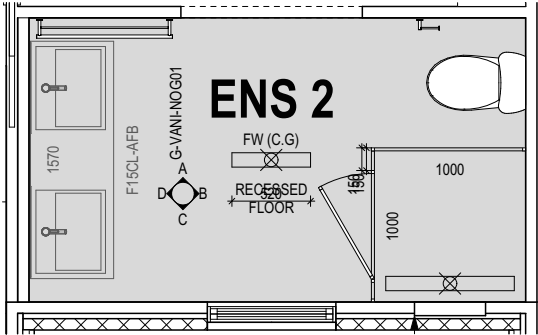
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ROSE SHOWER ROSE
ELBW SHOWER ELBOW CONNECTION
MIX MIXER TAP
HT HOT TAP
CT COLD TAP
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WS WALL SPOUT
SC STOP COCK
TRH TOILET ROLL HOLDER
TR-S TOWEL RAIL - SINGLE
TR-D TOWEL RAIL - DOUBLE
TL TOWEL LADDER
TH TOWEL HOLDER
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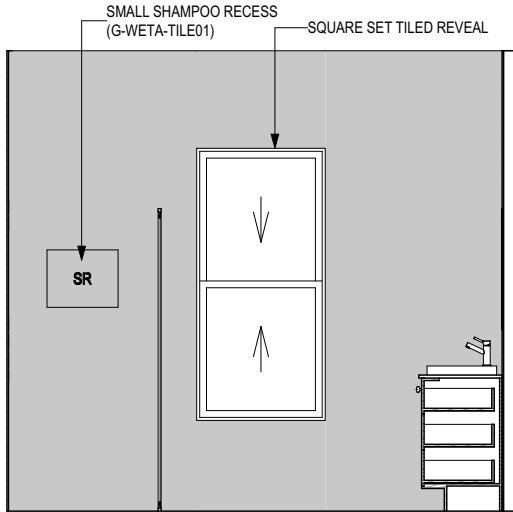
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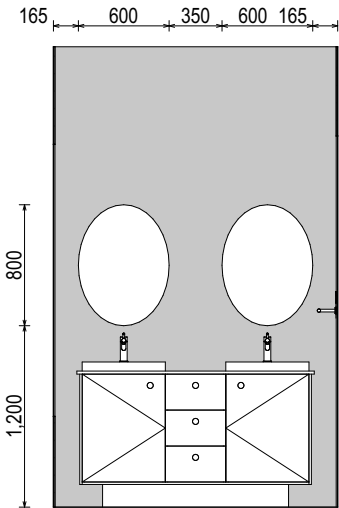
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ENSUITE 2 PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
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REVISION	
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15	PCV 012 ADDED- NCC
16	AMENDED AS PER PCV13
17	AMENDED AS PER PCV14 - HYDRAULICS

DRAWN	
LFL	20.10.2023
JVA	2023.10.23
JVA	2023.10.31
LFL	09/02/2024
LFL	13/02/2024

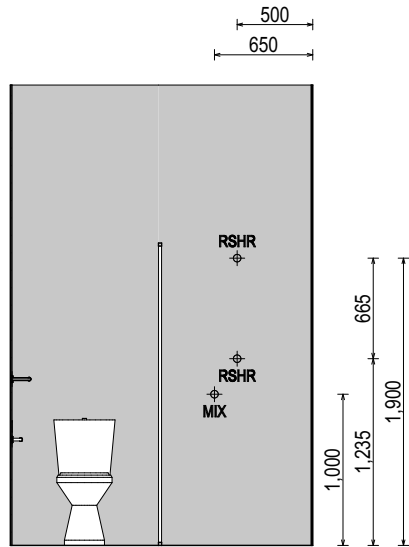
CLIENT:
MS DOROTHY FRANCES BLOOM
ADDRESS:
24 WYATT AVE, BELROSE NSW 2085
LOT / SECTION / DP:
2568 / - / 752038
COUNCIL:
TO BE ADVISED

HOUSE DESIGN:
BRONTE EXEC GRANDE MANOR ONE
FACADE DESIGN:
COUNTY PAVILION FACADE
SHEET TITLE:
ENSUITE 2 DETAILS

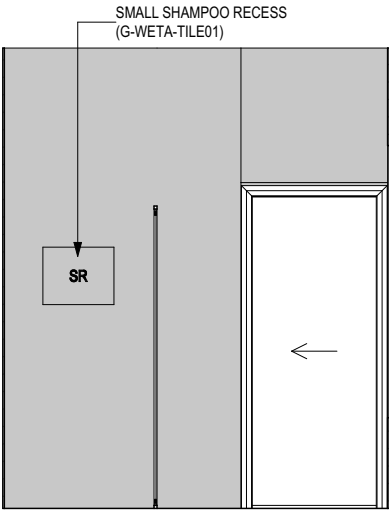
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H-BROCLAS11421
FACADE CODE:
F-BROCYP01
SHEET No.:
18 / 31

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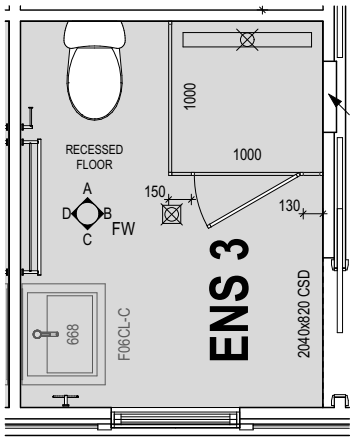
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS



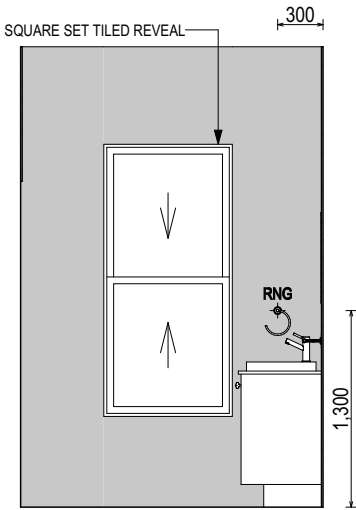
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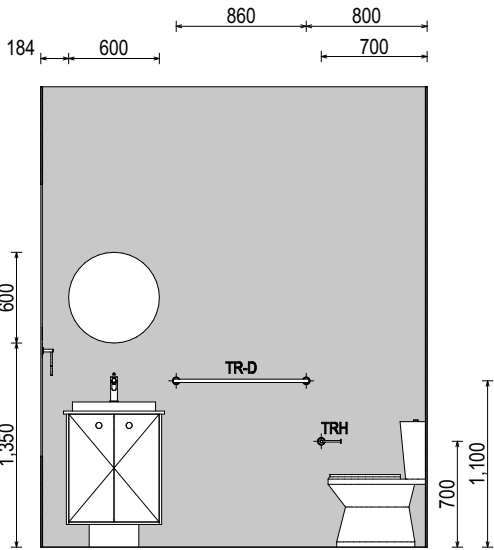
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ENSUITE 3 PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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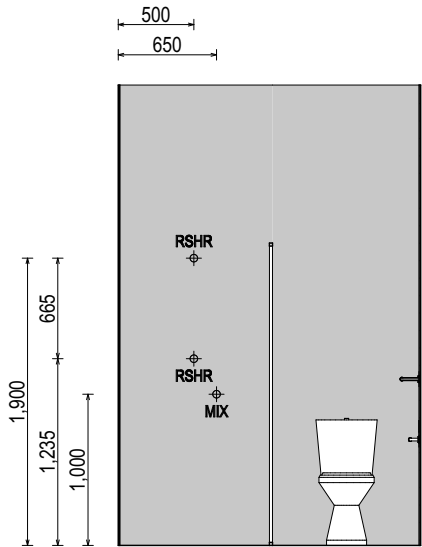
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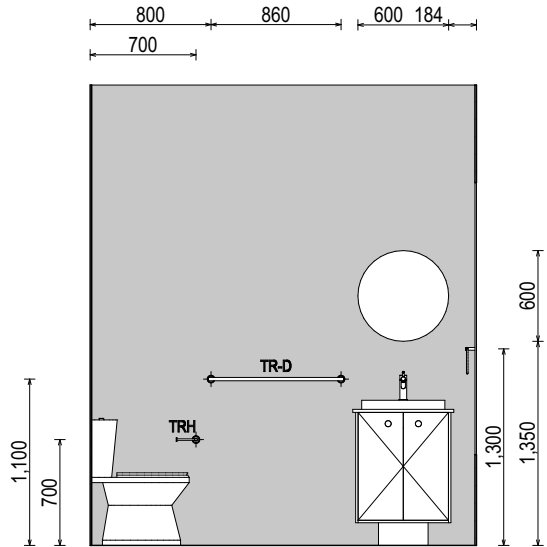
SPECIFICATION: COUNTRY LIVING	REVISION	DRAWN	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
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	14 SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: ENSUITE 3 DETAILS	SHEET No.: 19 / 31	
	15 PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED	SCALES: 1:50		
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	17 AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024				

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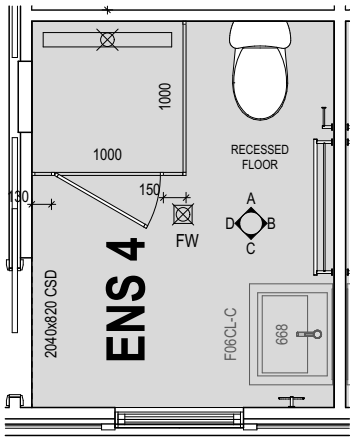
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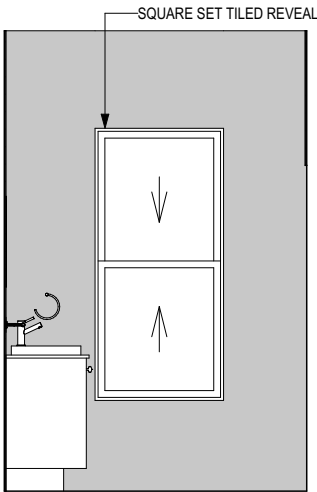
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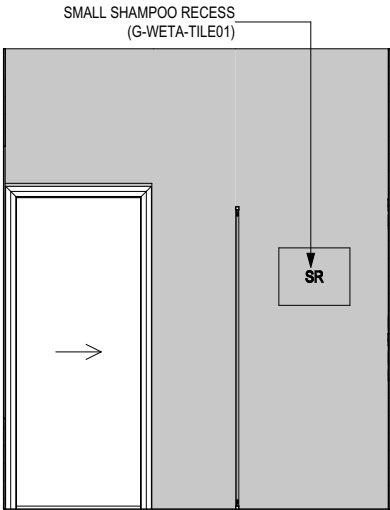
ELEVATION B
SCALE: 1:50



ENSUITE 4 PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

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RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
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TH	TOWEL HOLDER
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TMB	TUMBLER HOLDER
RNG	TOWEL RING
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SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

SUBJECT TO NCC 2022
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WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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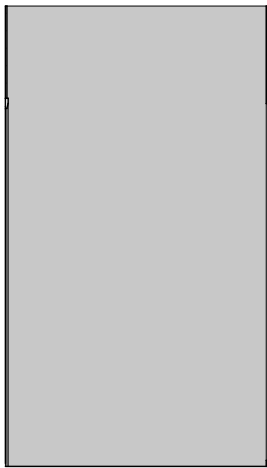
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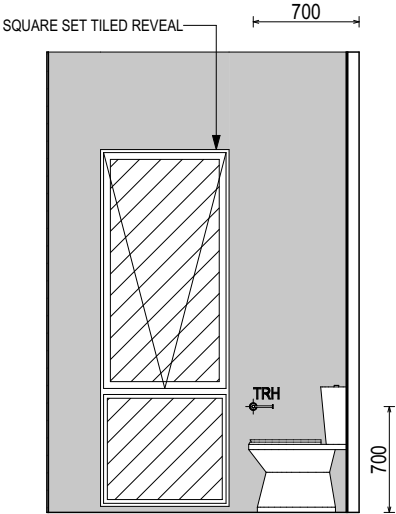
SPECIFICATION:		REVISION	DRAWN	CLIENT:	HOUSE DESIGN:	HOUSE CODE:	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.	
COUNTRY LIVING	13	ARBORIST COORDINATION	LFL 20.10.2023	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421		
COPYRIGHT:	14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	ADDRESS:	FACADE DESIGN:	FACADE CODE:		
© 2024	15	PCV 012 ADDED- NCC	JVA 2023.10.31	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE	F-BROCYP01		
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				TO BE ADVISED	ENSUITE 4 DETAILS	20 / 31	1:50	606935

LEGEND

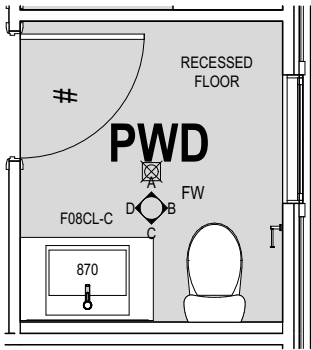
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- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



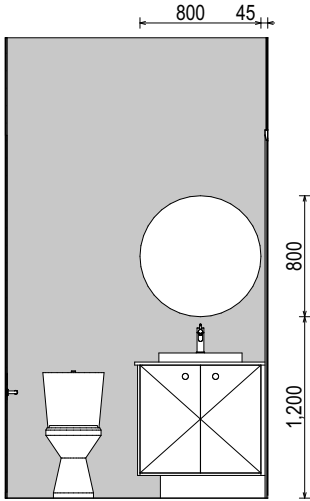
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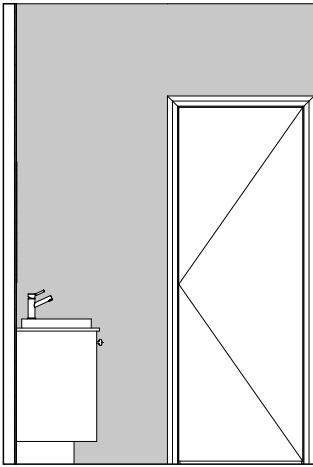
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SCALE: 1:50



POWDER ROOM PLAN
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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	13	ARBORIST COORDINATION	LFL 20.10.2023	MS DOROTHY FRANCES BLOOM	BRONTE EXEC GRANDE MANOR ONE	H-BROCLAS11421	
	14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	ADDRESS:	FACADE DESIGN:	FACADE CODE:	
	15	PCV 012 ADDED- NCC	JVA 2023.10.31	24 WYATT AVE, BELROSE NSW 2085	COUNTY PAVILION FACADE	F-BROCYP A01	
	16	AMENDED AS PER PCV13	LFL 09/02/2024	LOT / SECTION / DP:	SHEET TITLE:	SHEET No.:	
	17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024	2568 / - / 752038	POWDER ROOM DETAILS	21 / 31	SCALES: 1:50
				COUNCIL:			
				TO BE ADVISED			

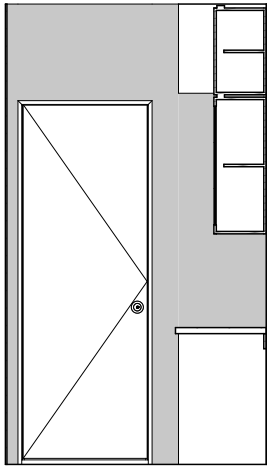
BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

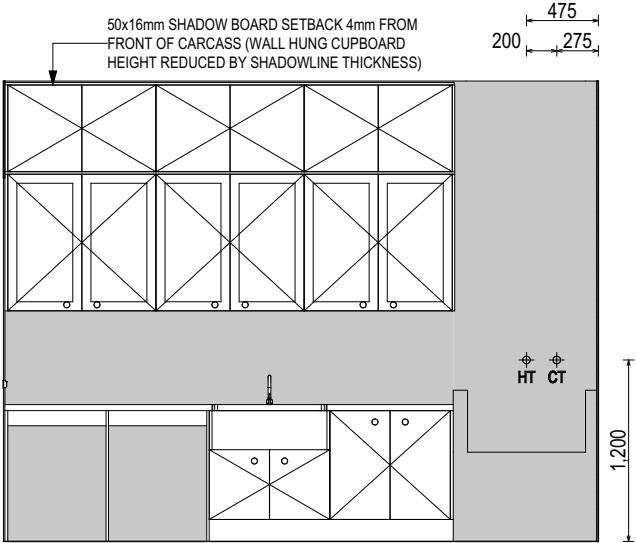
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LEGEND

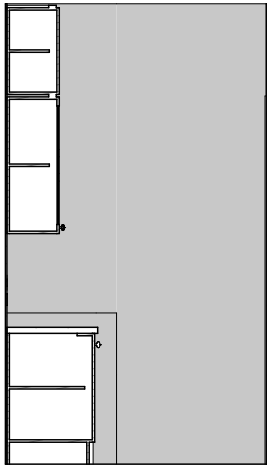
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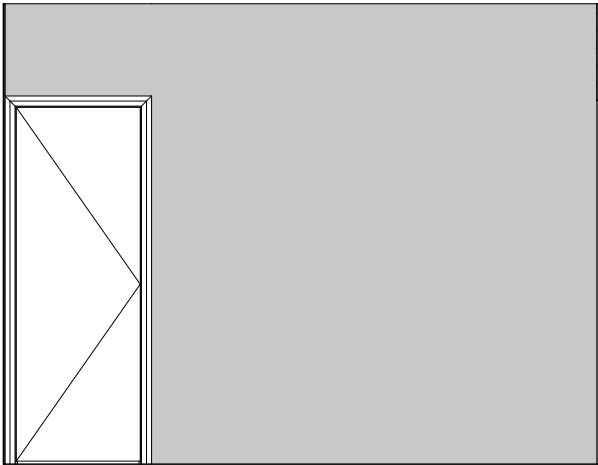
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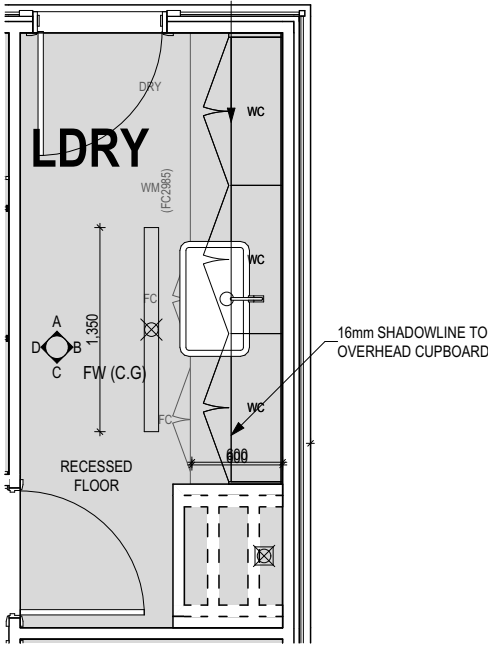
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



LAUNDRY PLAN
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
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COUNTRY LIVING

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REVISION

13 ARBORIST COORDINATION

14 SLAB AND DRAINAGE CHECK

15 PCV 012 ADDED- NCC

16 AMENDED AS PER PCV13

17 AMENDED AS PER PCV14 - HYDRAULICS

DRAWN

LFL 20.10.2023

JVA 2023.10.23

JVA 2023.10.31

LFL 09/02/2024

LFL 13/02/2024

CLIENT:

MS DOROTHY FRANCES BLOOM

ADDRESS:

24 WYATT AVE, BELROSE NSW 2085

LOT / SECTION / DP:

2568 / - / 752038

COUNCIL:

TO BE ADVISED

HOUSE DESIGN:

BRONTE EXEC GRANDE MANOR ONE

FACADE DESIGN:

COUNTY PAVILION FACADE

SHEET TITLE:

LAUNDRY DETAILS

SHEET No.:

22 / 31

HOUSE CODE:

H-BROCLAS11421

FACADE CODE:

F-BROCYP01

SCALES:

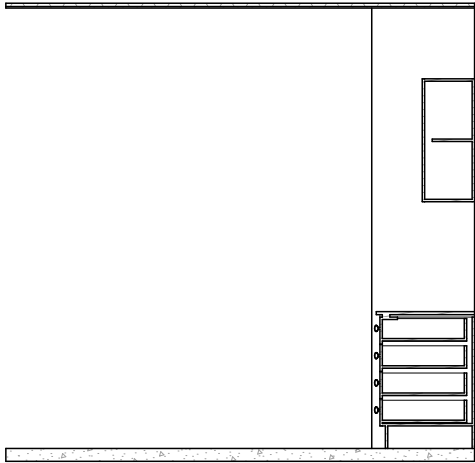
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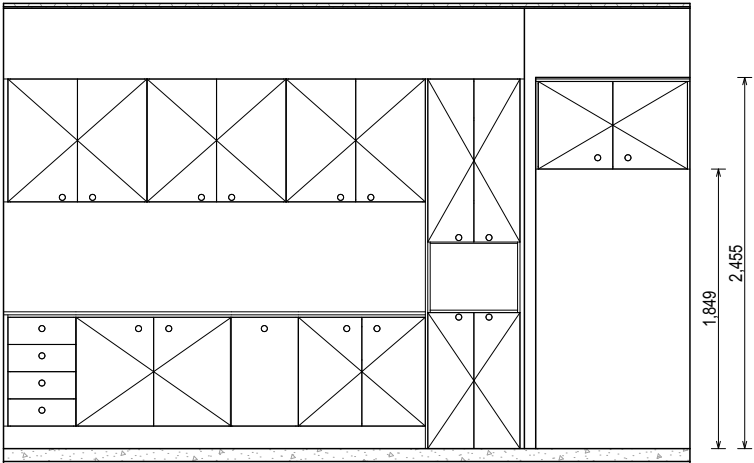
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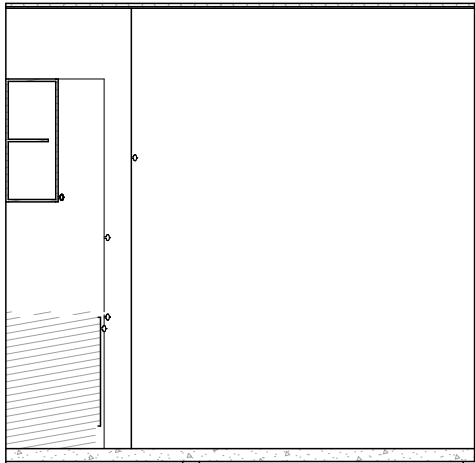
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SCALE: 1:50



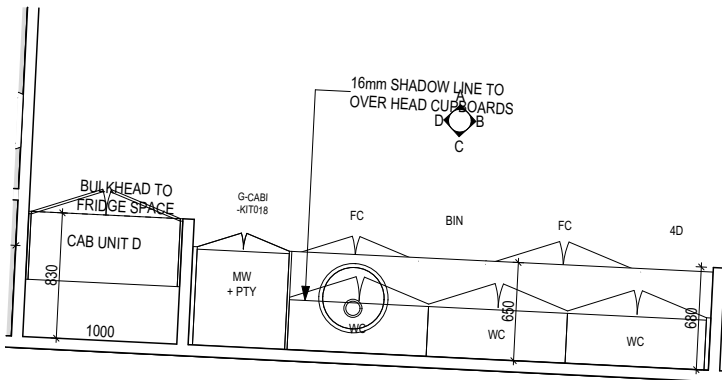
ELEVATION B
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50



WET BAR (STUDIO)
SCALE: 1:50

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

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COUNTRY LIVING	13	ARBORIST COORDINATION		LFL	20.10.2023	MS DOROTHY FRANCES BLOOM		BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421		
COPYRIGHT:	14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
© 2024	15	PCV 012 ADDED- NCC		JVA	2023.10.31	24 WYATT AVE, BELROSE NSW 2085		COUNTY PAVILION FACADE		F-BROCYP01		
	16	AMENDED AS PER PCV13		LFL	09/02/2024	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
	17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024	2568 / - / 752038		COUNCIL: TO BE ADVISED		23 / 31	1:50	
												606935

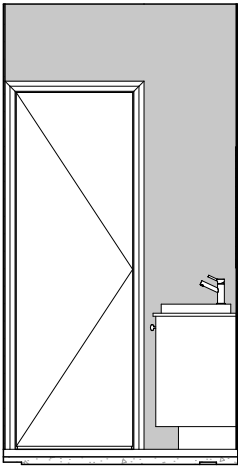
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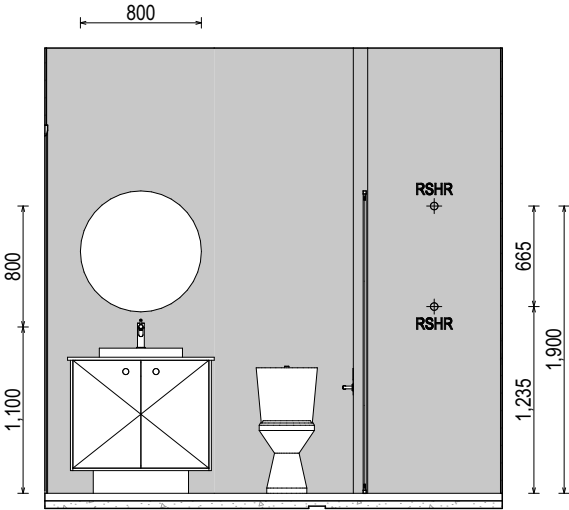
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

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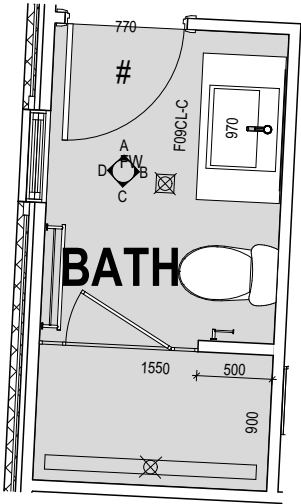
- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
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- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



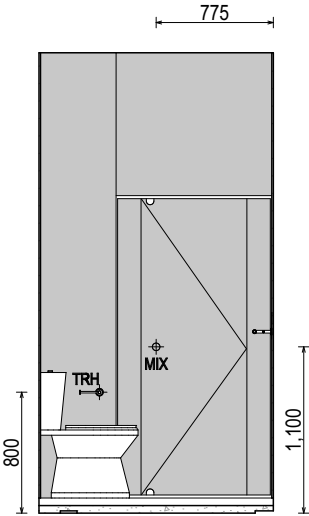
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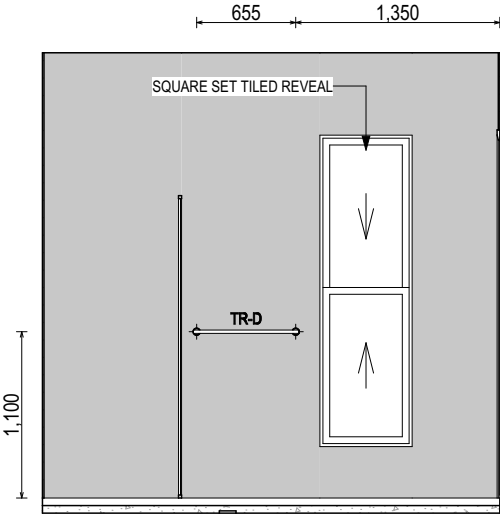
ELEVATION B
SCALE: 1:50



BATHROOM PLAN (STUDIO)
SCALE: 1:50



ELEVATION C
SCALE: 1:50



ELEVATION D
SCALE: 1:50

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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	14 SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: BATHROOM DETAILS (STUDIO)	SHEET No.: 24 / 31	
	15 PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED		SCALES: 1:50	
	16 AMENDED AS PER PCV13	LFL 09/02/2024				
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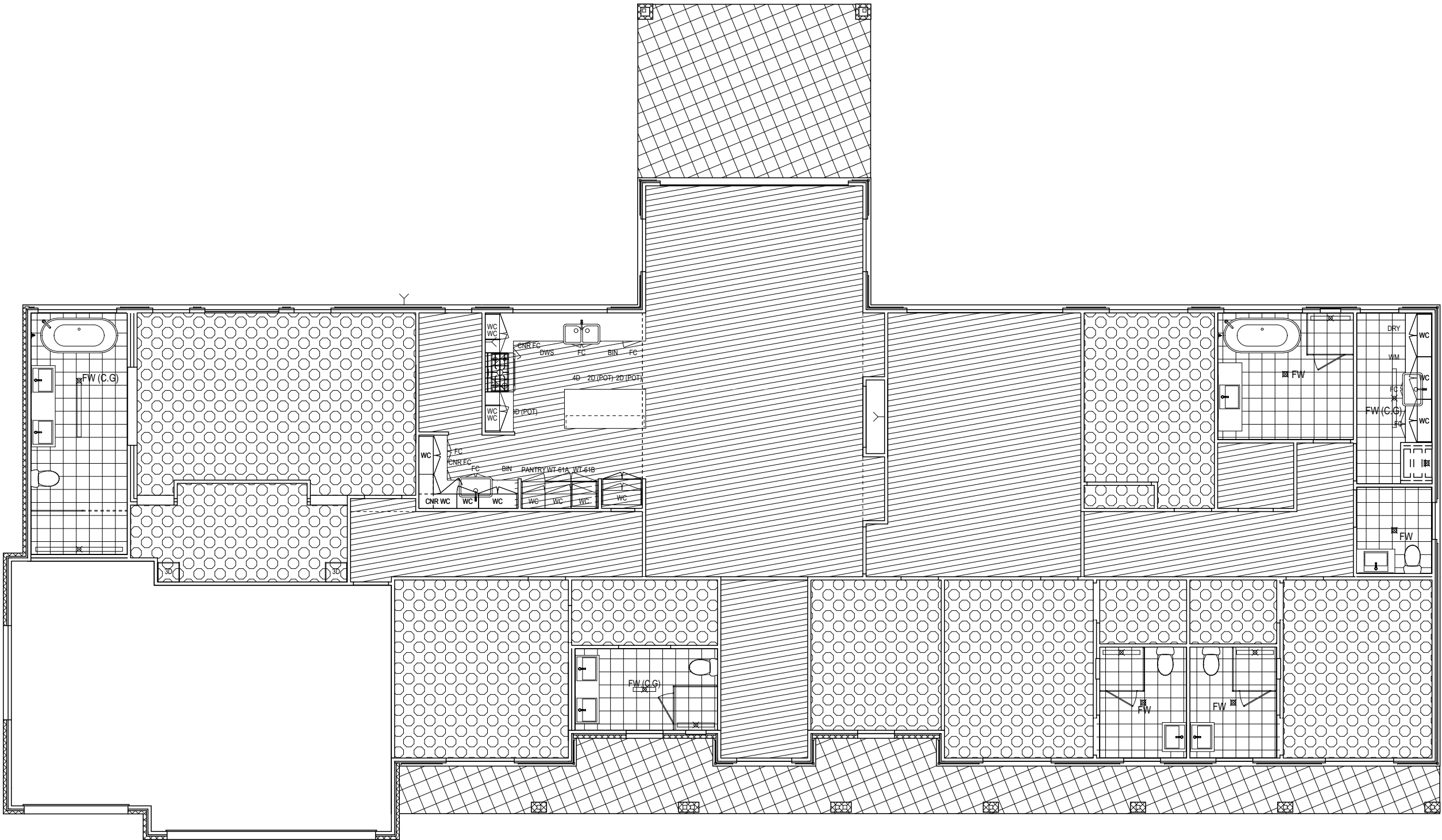
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET (BY BUILDER)
- TIMBER/LAMINATE (BY BUILDER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL



FLOOR COVERINGS
SCALE: 1:100

SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
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BAL-29 BUSHFIRE REQUIREMENTS
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	13	ARBORIST COORDINATION		LFL	20.10.2023							
	14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085		FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01			
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	16	AMENDED AS PER PCV13		LFL	09/02/2024	2568 / - / 752038		TO BE ADVISED	FLOOR COVERINGS		25 / 31	1:100
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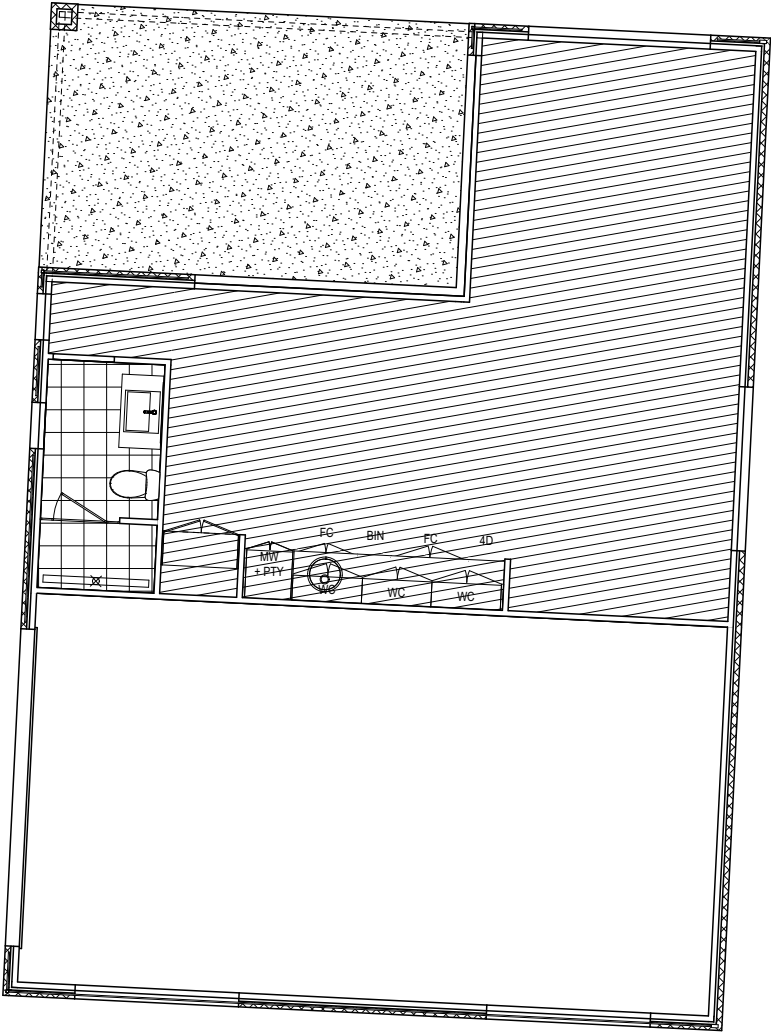
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- GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET (BY BUILDER)
- TIMBER/LAMINATE (BY BUILDER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL



FLOOR COVERINGS (STUDIO)
SCALE: 1:100

BAL-29 BUSHFIRE REQUIREMENTS
SEE SHEET 1 (COVER SHEET) FOR DETAILS

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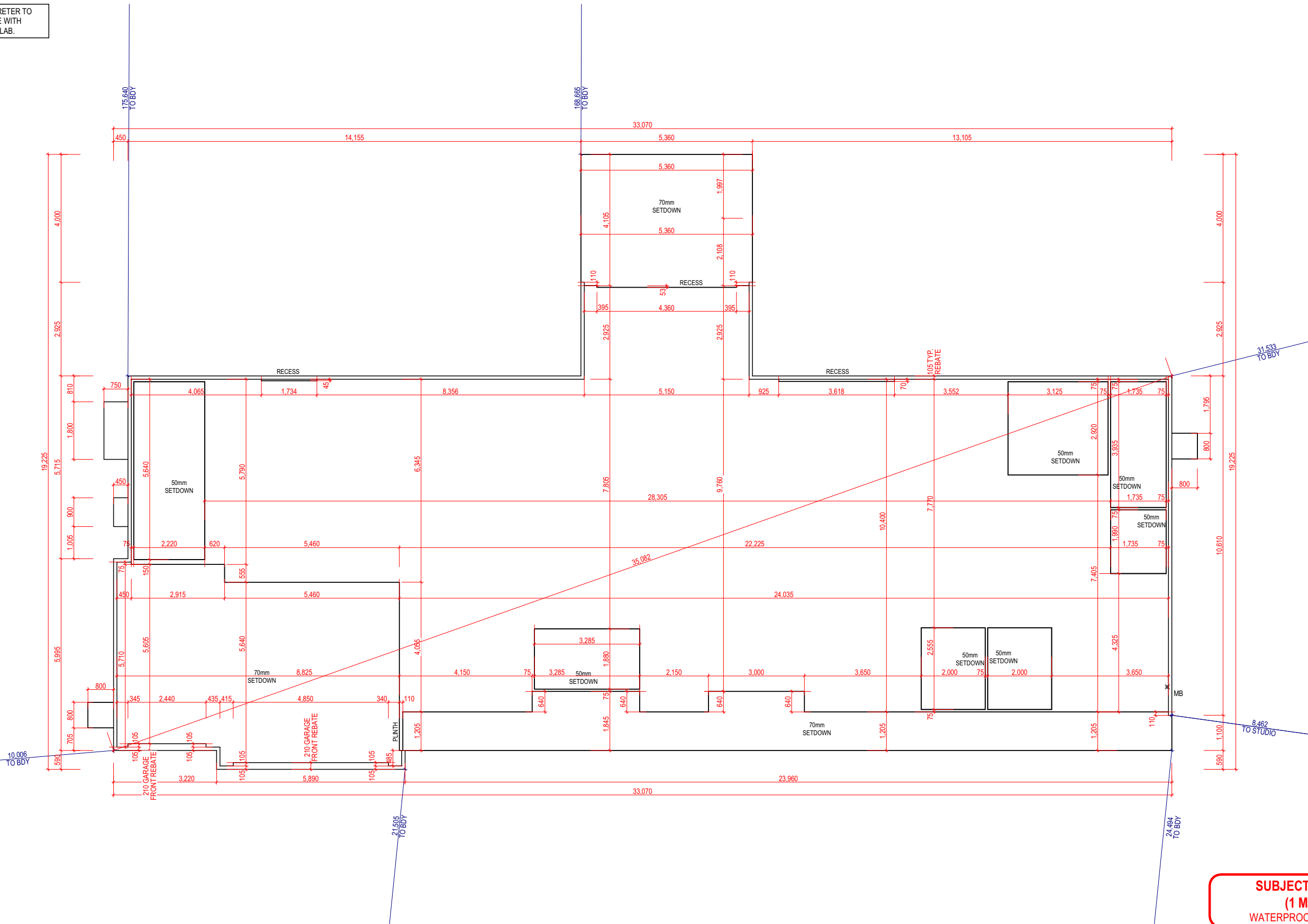
PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY



SPECIFICATION: COUNTRY LIVING		REVISION	DRAWN		CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE		HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
		13	ARBORIST COORDINATION	LFL 20.10.2023		FACADE DESIGN: COUNTY PAVILION FACADE		FACADE CODE: F-BROCYP A01	
	COPYRIGHT: © 2024	14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085		SHEET TITLE: FLOOR COVERINGS (STUDIO)	SHEET No.: 26 / 31	
		15	PCV 012 ADDED- NCC	JVA 2023.10.31	LOT / SECTION / DP: 2568 / - / 752038	COUNCIL: TO BE ADVISED		SCALES: 1:100	
		16	AMENDED AS PER PCV13	LFL 09/02/2024					
		17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024					

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN
SCALE: 1:125

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SUBJECT TO NCC 2022
(1 MAY 2023)
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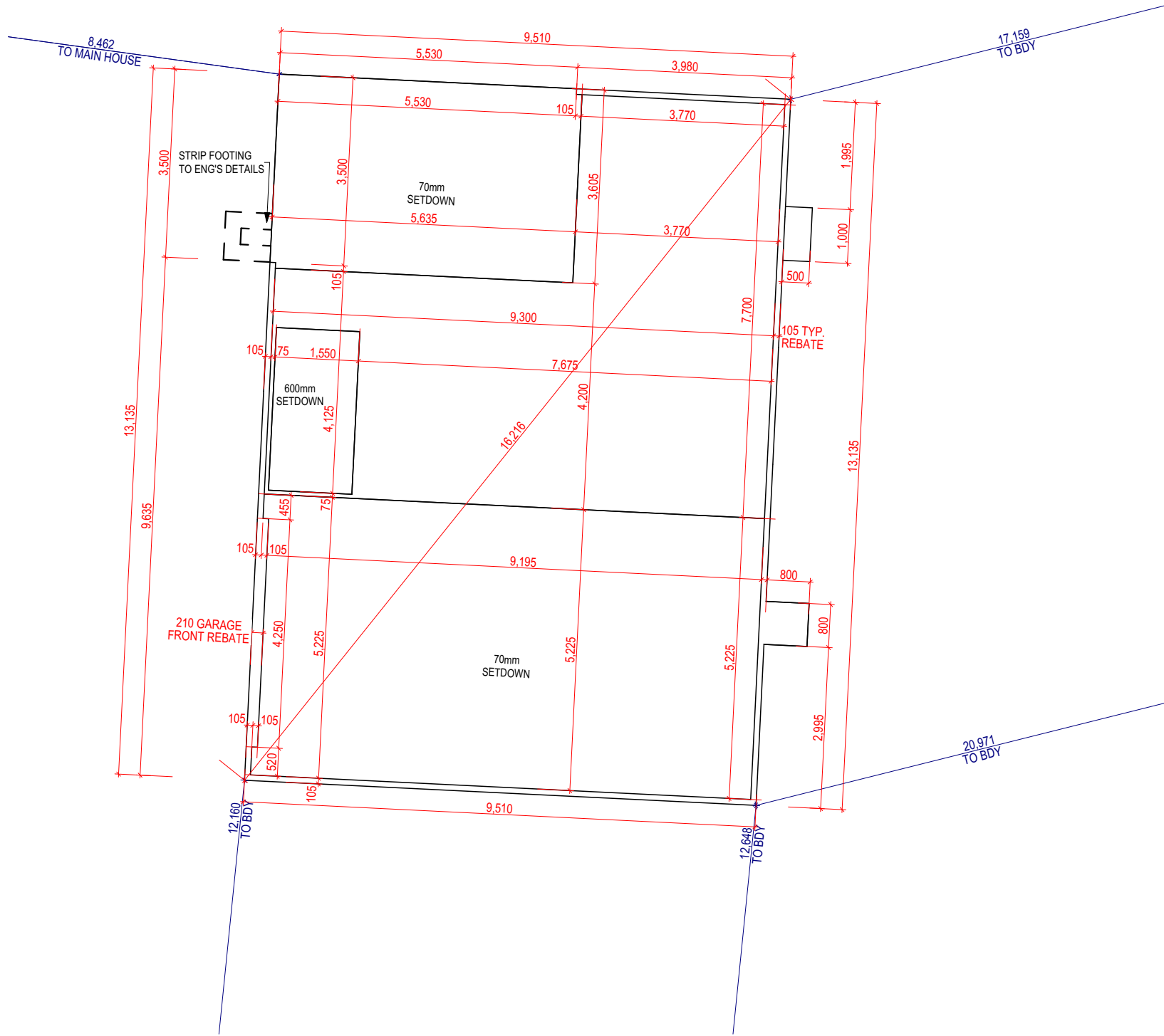
PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION:		REVISION		DRAWN		CLIENT:			HOUSE DESIGN:			HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COUNTRY LIVING	13	ARBORIST COORDINATION		LFL	20.10.2023	MS DOROTHY FRANCES BLOOM			BRONTE EXEC GRANDE MANOR ONE			H-BROCLAS11421		
	COPYRIGHT:	14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	ADDRESS:			FACADE DESIGN:			FACADE CODE:		
	© 2024	15	PCV 012 ADDED- NCC		JVA	2023.10.31	24 WYATT AVE, BELROSE NSW 2085			COUNTY PAVILION FACADE			F-BROCYP01		
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		17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024	2568 / - / 752038		TO BE ADVISED		SLAB PLAN		27 / 31	1:125	606935

Template Version: 24_026

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN (STUDIO)
SCALE: 1:100

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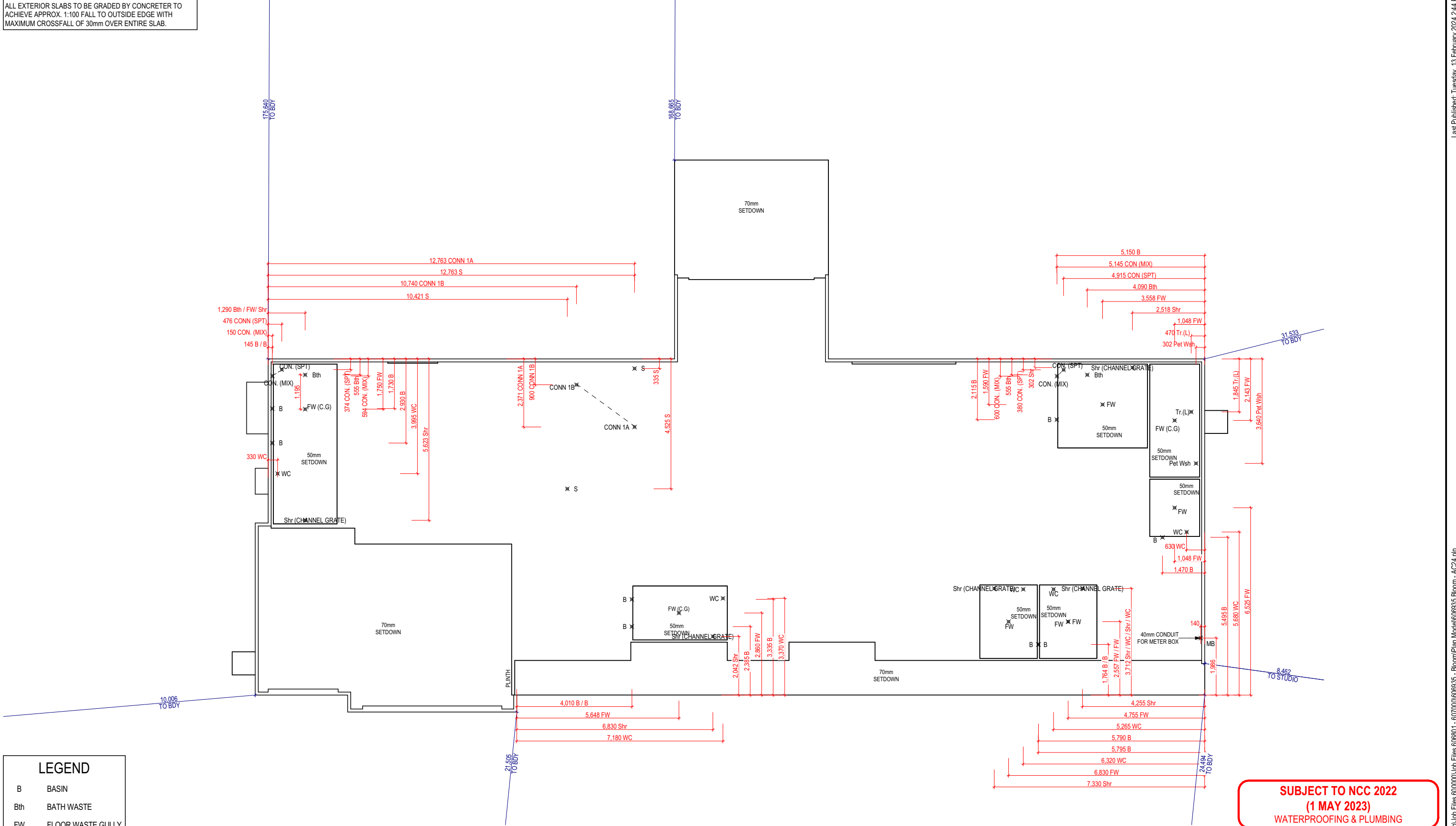
SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: COUNTRY LIVING		REVISION	DRAWN	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
	COPYRIGHT: © 2024	13	ARBORIST COORDINATION	LFL 20.10.2023	ADDRESS: 24 WYATT AVE, BELROSE NSW 2085	FACADE DESIGN: COUNTY PAVILION FACADE	FACADE CODE: F-BROCYP01	
		14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: SLAB PLAN (STUDIO)	SHEET No.: 28 / 31	
		15	PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED		SCALES: 1:100	
		16	AMENDED AS PER PCV13	LFL 09/02/2024				
		17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024				

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



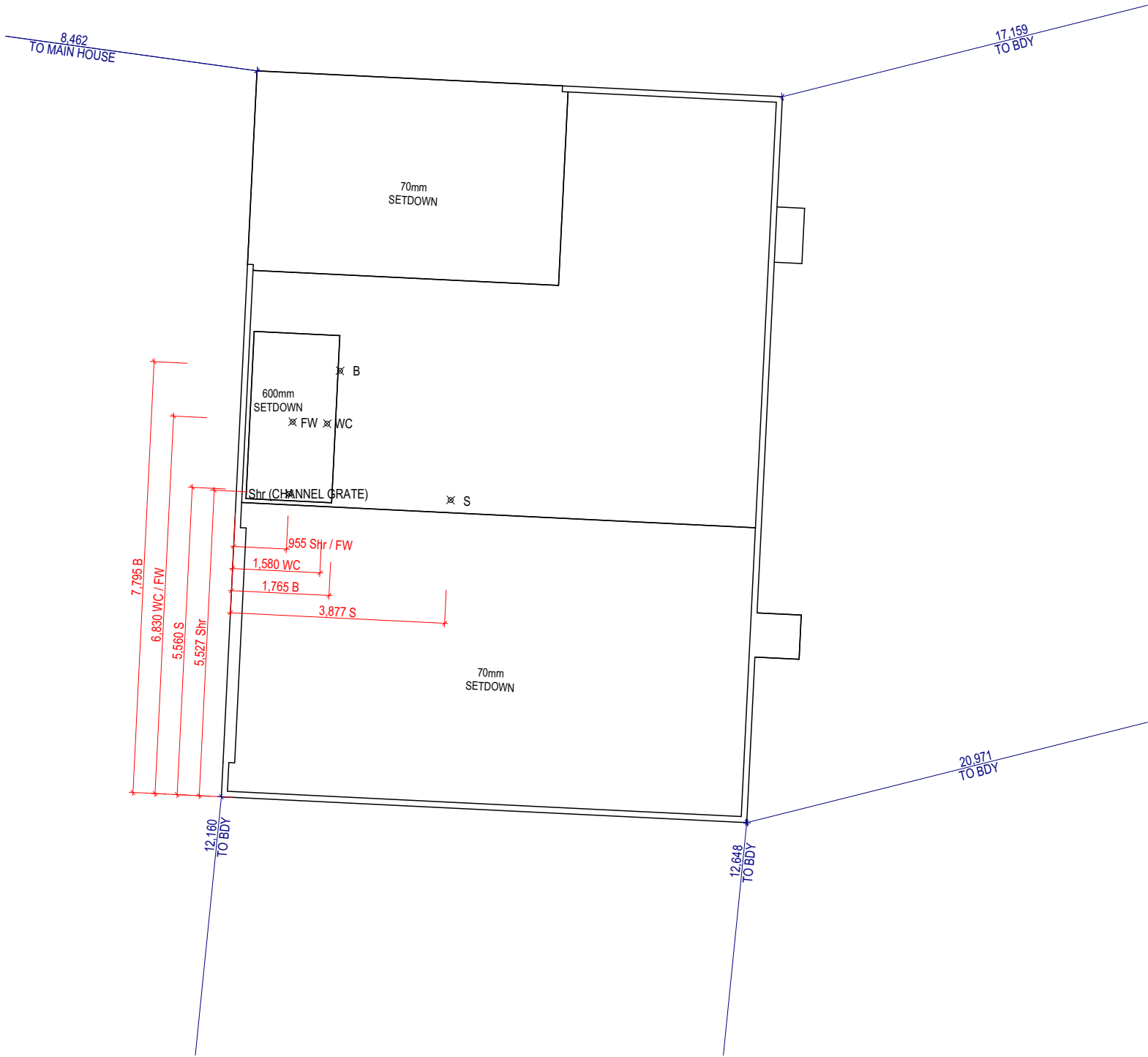
**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

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		14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: DRAINAGE PLAN	SHEET No.: 29 / 31	
		15	PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED		SCALES: 1:125	
		16	AMENDED AS PER PCV13	LFL 09/02/2024				
		17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024				

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



DRAINAGE PLAN (STUDIO)
SCALE: 1:100

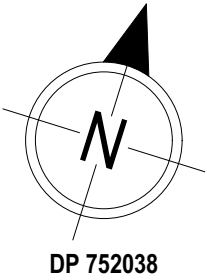
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**SUBJECT TO NCC 2022
(1 MAY 2023)
WATERPROOFING & PLUMBING**

PRELIM. CONSTRUCTION DRAWING

DATE: 17/10/2023
DRAFTING OFFICE: SYDNEY

 mcdonald jones FIND YOURSELF AT HOME	SPECIFICATION: COUNTRY LIVING		REVISION	DRAWN	CLIENT: MS DOROTHY FRANCES BLOOM	HOUSE DESIGN: BRONTE EXEC GRANDE MANOR ONE	HOUSE CODE: H-BROCLAS11421	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
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		14	SLAB AND DRAINAGE CHECK	JVA 2023.10.23	LOT / SECTION / DP: 2568 / - / 752038	SHEET TITLE: DRAINAGE PLAN (STUDIO)	SHEET No.: 30 / 31	
		15	PCV 012 ADDED- NCC	JVA 2023.10.31	COUNCIL: TO BE ADVISED	SCALES: 1:100		
		16	AMENDED AS PER PCV13	LFL 09/02/2024				
		17	AMENDED AS PER PCV14 - HYDRAULICS	LFL 13/02/2024				



LOT 2569

LOT 2567

LOT 2647

JUNE 21 - 0900

WYATT AVENUE

LOT 2569

LOT 2567

LOT 2647

JUNE 21 - 1200

WYATT AVENUE

LOT 2569

LOT 2567

LOT 2647

JUNE 21 - 1500

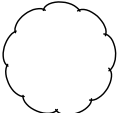
WYATT AVENUE

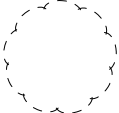
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SPECIFICATION: COUNTRY LIVING		REVISION		DRAWN		CLIENT:		HOUSE DESIGN:		HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 606935
	13	ARBORIST COORDINATION		LFL	20.10.2023	MS DOROTHY FRANCES BLOOM		BRONTE EXEC GRANDE MANOR ONE		H-BROCLAS11421		
COPYRIGHT: © 2024	14	SLAB AND DRAINAGE CHECK		JVA	2023.10.23	ADDRESS:		FACADE DESIGN:		FACADE CODE:		
	15	PCV 012 ADDED- NCC		JVA	2023.10.31	24 WYATT AVE, BELROSE NSW 2085		COUNTY PAVILION FACADE		F-BROCYP01		
	16	AMENDED AS PER PCV13		LFL	09/02/2024	LOT / SECTION / DP:		SHEET TITLE:		SHEET No.:	SCALES:	
	17	AMENDED AS PER PCV14 - HYDRAULICS		LFL	13/02/2024	2568 / - / 752038		TO BE ADVISED		31 / 31	1:750	

LEGEND:

 EXISTING TREE TO REMAIN

 EXISTING TREE TO BE REMOVED BY OWNER

 GATE TO MATCH FENCING

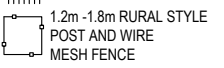
 LETTERBOX. REFER TO NOTE 2.

 BIN STORE

 BRICK EDGING

 SELECTED AUSTRALIAN NATIVE, DROUGHT TOLERANT PLANTS

 EXISTING FENCING

 1.2m - 1.8m RURAL STYLE POST AND WIRE MESH FENCE

 TURF (SIR WALTER BUFFALO)

 PERMEABLE PEBBLE AND SUBSTRATA

 SCORIA PEBBLE

LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NORTHERN BEACHES DCP

** REFER TO PAGE 2 FOR LOCALITY

VEGETATION BUFFER OF BUSH FIRE MAINTENANCE AND PROTECTION PROCEDURES .

CHANGED LANDSCAPED AREA	
TOTAL SITE AREA:	1.38ha
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	500m ² -%
MIN. REQUIRED:	-%



BUSH FIRE MAINTENANCE AND PROTECTION PROCEDURES

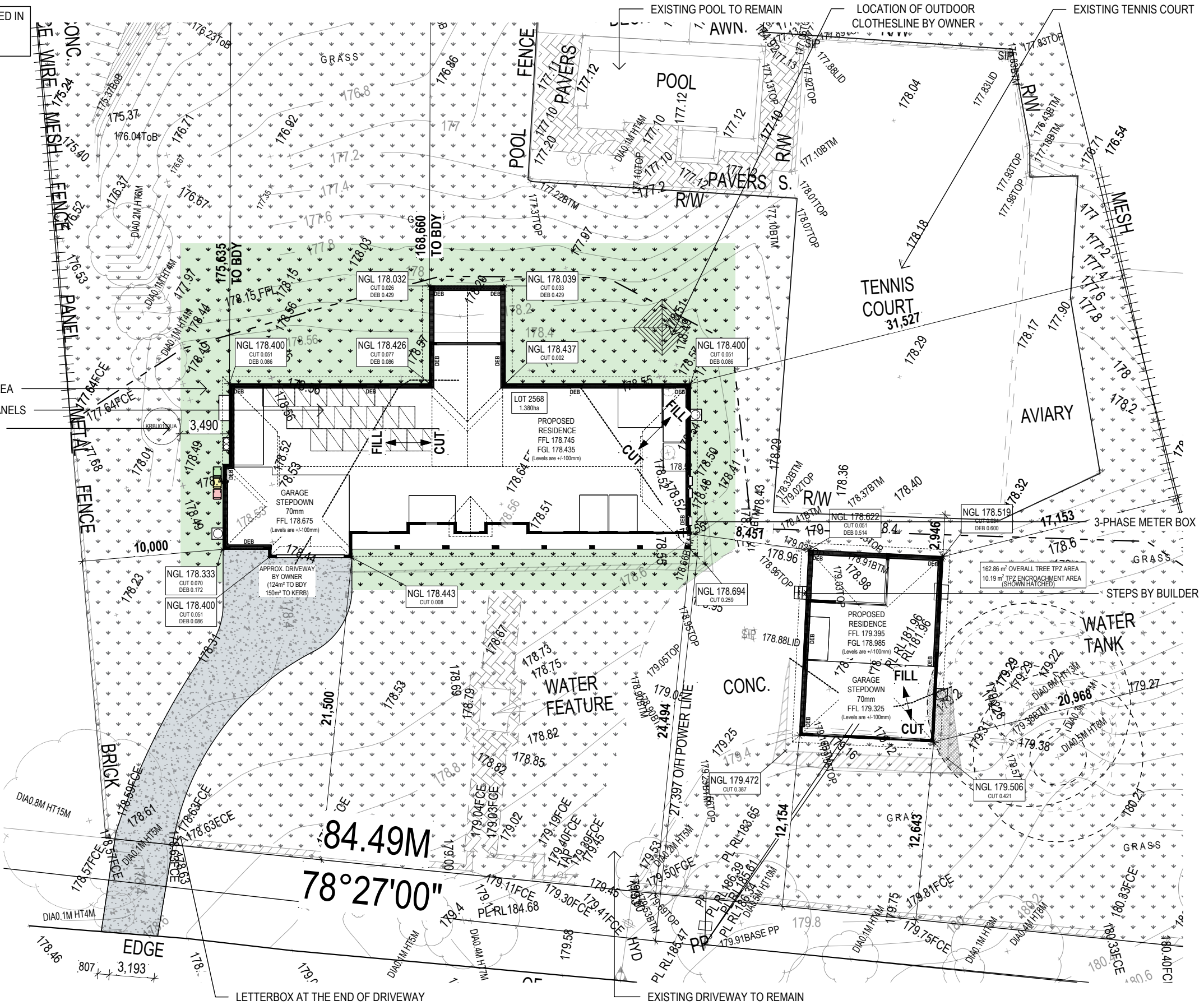
- BUSH FIRE PRONE LAND HAS LANDSCAPE PLANTING DESIGNED TO SUIT NSW RURAL FIRE SERVICE CATEGORY GUIDELINES.
- IN ACCORDANCE WITH BUSHFIRE PROTECTION, ALL LAWNS AGAINST THE HOUSE ARE TO BE LOW CUT.
- WITH COUNCIL PERMISSION, TREES AND VEGETATION ARE TO BE TRIMMED BACK TO AVOID BRANCHES OVERHANGING THE HOUSE AND OVERHANGING POWER/TOWER LINES.
- GARDEN BEDS TO BE CLEAR OF LEAF LITTER, TWIGS AND OTHER DEBRIS.

MAINTENANCE PROCEDURES

- LAWN TO BE FERTILISED TWICE A YEAR IN THE WARM MONTHS, MOWING WEEKLY IN SUMMER MONTHS AND FORTNIGHTLY OR MONTHLY AS REQUIRED IN THE WINTER MONTHS.
- PLANTS TO BE FERTILISED A MINIMUM OF TWICE A YEAR AT THE SAME TIME OF PRUNING, TO DO THIS USE A COMPLETE FERTILISER. KEEP MULCH CLEAR OF TREE TRUNK AREA. AFTER PLANT/SHURBS AND TREES ARE PLANTED CONTINUE TO WATER WELL ONCE A WEEK.
- PRUNE HEDGE PLANTS A MINIMUM OF 2 - 3 TIMES A YEAR, IN THE WARMER MONTHS. WAIT FOR AT LEAST 10MM OF NEW GROWTH BEFORE PRUNING AGAIN TO PROMOTE HEALTHY NEW GROWTH.

NOTES:

- SIDE & REAR BOUNDARY FENCING SHOULD BE TREATED PINE TIMBER LAP AND CAP PALING FENCE. GATES TO MATCH FENCE MATERIALS.
- LETTERBOX PROVIDED TO AUSTRALIA POST REQUIREMENTS CLEARLY DISPLAYING HOUSE NUMBER.
- ALL LANDSCAPED AREAS TO HAVE A MINIMUM 1:100 FALL TOWARDS STORM WATER DRAINS. OR AWAY FROM THE BUILDING FOR POSSIBLE OVERLAND WATER DRAINAGE.
- A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED FOR THE DURATION OF ANY WORKS NEAR ANY EXISTING TREES, AS PER THE METHOD OUTLINED IN THE CURRENT AS4970-2009. PERMISSION FROM THE COUNCIL ARBORIST IS REQUIRED FOR ACTIVITIES THAT DO NOT COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS.
- DRIVEWAY LAYOUT TO BE CONSTRUCTED FROM ARCHITECTURAL CONSTRUCTION DRAWINGS.
- RETAINING WALLS ALONG SIDE BOUNDARIES BETWEEN LOTS TO BE FINALISED ON SITE AFTER BENCHING.
- ALL RETAINING WALLS VISIBLE FROM THE STREET TO BE MASONRY WITH COLOURS MATCHING THOSE ON THE FRONT FACADE OF THE DWELLING.
- ALL IMPORTED SOIL TO GARDEN AREAS TO BE OF PREMIUM GARDEN MIX STANDARD AT 300MM DEPTH .
- TURF TO BE LAID ON A 150MM MINIMUM BASE OF 80% SAND 20% SOIL MIX. REFER TO DETAIL.
- ALL GARDEN AREAS TO BE COVERED WITH A MINIMUM OF 75MM OF 10MM SCORIA PEBBLE.
- GARDEN EDGING IS TO BE INSTALLED BETWEEN ALL ADJOINING SOFT LANDSCAPE FINISHES. REFER TO DETAIL.



REV	ISSUE / DESCRIPTION	DATE	CHECKED
A	Initial design for DA	07.08.23	KR
B	Re-design	13.02.24	KR



MYARD PTY LTD

ABN 83 602 735 777
info@myard.com.au
www.myard.com.au
P 02 8801 1825
Unit 2, 63 Glendenning Road,
Glendenning NSW 2761

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GENERAL NOTES:

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PLAN DRAWINGS PREPARED FOR DEVELOPMENT APPLICATION ONLY. PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

SCALE: 1:300@A3
DRAWING NO. LP-25109

CLIENT NO: 606935
COUNCIL: NORTHERN BEACHES

DRAWN: AVS
PAGE NO: 1/2

REVISION

B

NORTH

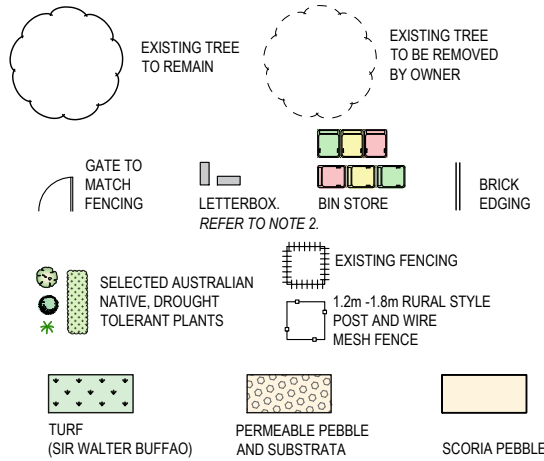


DRAWING TITLE:
DA LANDSCAPE PLAN

CLIENT:
MCDONALD JONES HOMES

ADDRESS:
LOT 2568, DP 752038, 24 WYATT AVENUE,
BELROSE, NSW 2085

LEGEND:

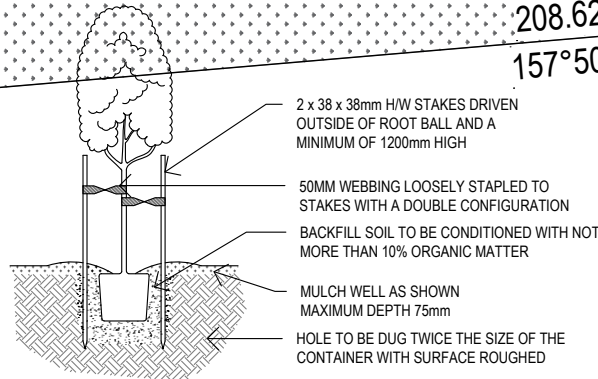


LOT 1
DP 1139826

72°54'00"

47.595M

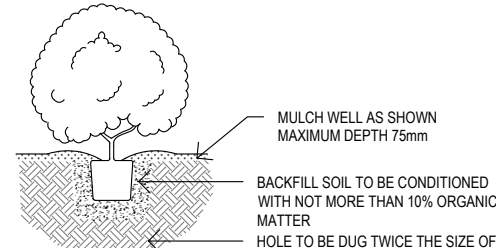
208.625M
157°50'00"



NOTES:

- 1) AFTER PLANTING WATER IN PLANT WELL USING FOUR TIMES THE PLANT CONTAINER CAPACITY OF WATER.
- 2) FOR TREES 50lt AND ABOVE INSERT A 60mm DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.
- 3) TREES SHALL NOT BE TIED UNLESS SUPPORT IS ESSENTIAL.

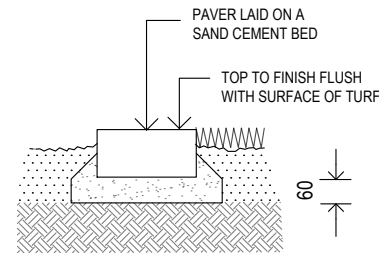
TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S.



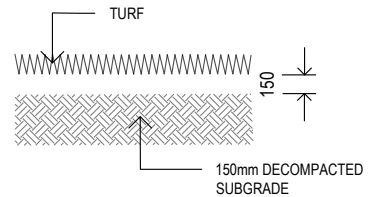
NOTES:

- 1) AFTER PLANTING WATER IN PLANT WELL USING FOUR TIMES THE PLANT CONTAINER CAPACITY OF WATER.
- 2) FOR TREES 50lt AND ABOVE INSERT A 60mm DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.

TYPICAL SHRUB PLANTING DETAIL
SCALE: N.T.S. Tube, 150mm, 200mm, 250mm Pot Size



BRICK GARDEN EDGE DETAIL
SCALE: N.T.S.



TURF DETAIL
SCALE: N.T.S.

REV	ISSUE / DESCRIPTION	DATE	CHECKED
A	Initial design for DA	07.08.23	KR
B	Re-design	13.02.24	KR

myard
LANDSCAPE DESIGN

MYARD PTY LTD

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PLAN DRAWINGS PREPARED FOR DEVELOPMENT APPLICATION ONLY. PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

SCALE:
1:600@A3

DRAWING NO.
LP-25109

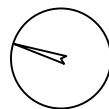
CLIENT NO:
606935

COUNCIL:
NORTHERN BEACHES

DRAWN:
AVS

PAGE NO:
2/2

REVISION
B



DRAWING TITLE:
DA LANDSCAPE PLAN

CLIENT:
MCDONALD JONES HOMES

ADDRESS:
LOT 2568, DP 752038, 24 WYATT AVENUE,
BELROSE, NSW 2085

LOT 2567

LOT 2647
(VACANT)

LOT 2569
(VACANT)

WYATT AVENUE

BM 24
RL 179.68
(AHD)