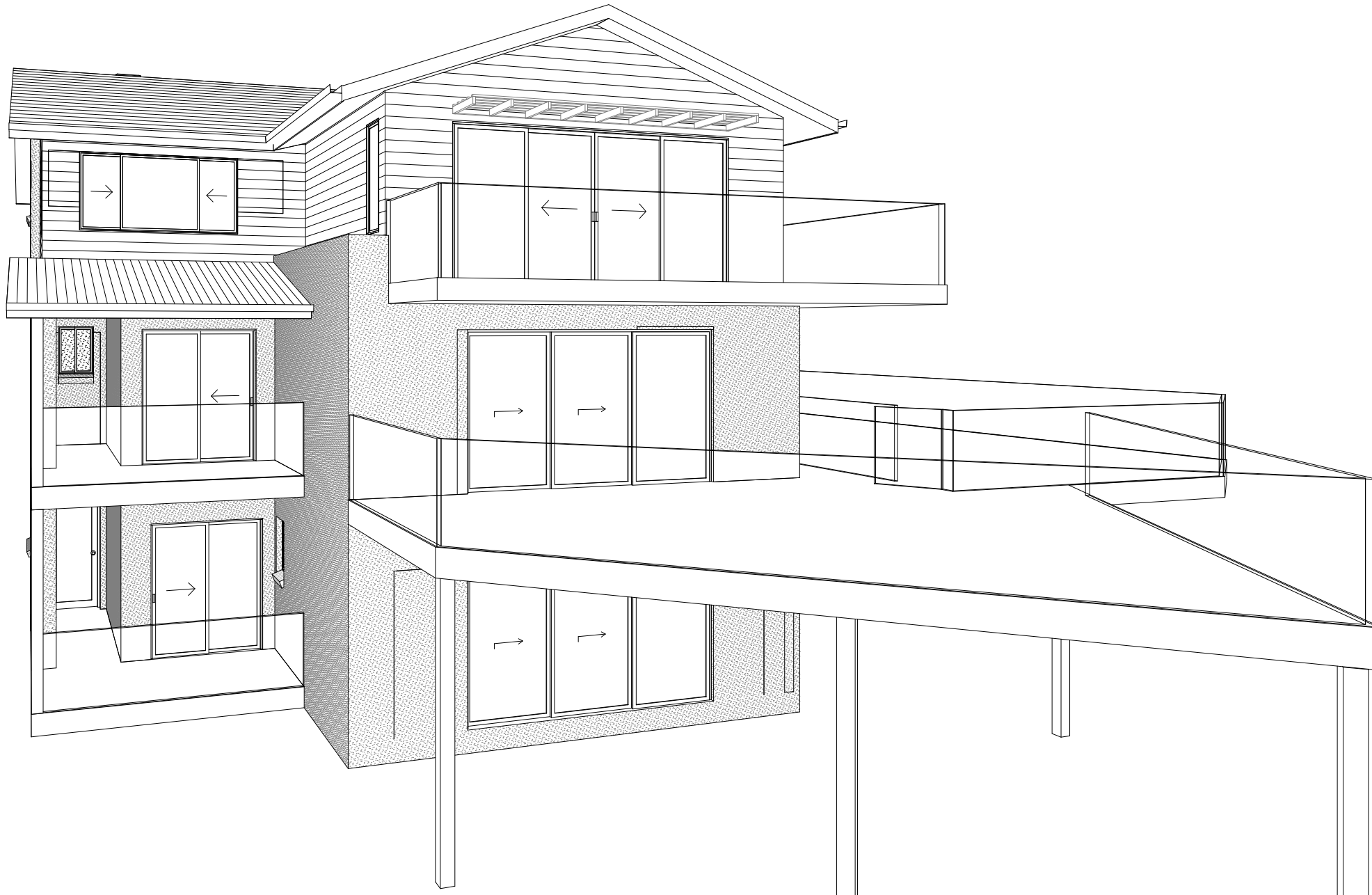


SKETCH STUDIO

— 77 —



INTRODUCES...

HOUSE

LOCATION...

**LOT:5 DP:237925
108 CABARITA ROAD,
AVALON BEACH**

CLIENT...

SPANNENBERG & SON

DRAWING SCHEDULE		
0 INTRO		
001	COVER PAGE	
002	CONTENTS	
1 SITE PLANS		
101	SITE PLAN	
2 EXISTING/DEMO PLANS		
201	SUBFLOOR	
202	GROUND FLOOR	
203	FIRST FLOOR	
3 GENERAL ARRANGEMENT		
301	SUBFLOOR	
302	GROUND FLOOR	
303	FIRST FLOOR	
4 ELEVATIONS		
401	ELEVATIONS	
402	ELEVATIONS	
403	ELEVATIONS	
5 SECTIONS/DETAILS		
501	SECTION & DETAILS	

AMENDMENT SCHEDULE			
DATE	REV	AMENDMENT	
30.03.22	A01	CONCEPT PLANS 1 of 1	
09.06.22	A02	AMENDMENTS	
09.06.22	A03	AMENDMENTS	
14.06.22	A04	AMENDMENTS	
21.07.22	B01	DA APPROVAL	
22.07.22	B02	AMENDMENTS	
10.08.22	B03	BASIX NOTES	

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OWNER SIGNATURE	DATE
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<

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
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PLANS & DOCUMENTATION SHALL REMAIN THE EXCLUSIVE
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SKETCH
STUDIO
77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY
LTD IS PETER GULIKOV.
ACCREDITATION NO: 6337

SPANNENBERG & SON PTY LTD
builders & contractors

- CONSTRUCTION NOTES:**
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PROPOSED:

NEW RESIDENCE

CLIENT:

SPANNENBERG & SON

LOCATION:

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SITE PLAN

SHEET:

101

REFERENCE:

SB-00067

REVISION:

B03

DEVELOPMENT CALCULATIONS

LOT AREA: 695.50sqm

EXISTING AREAS

GROUND FLOOR: 111.73sqm
SUBFLOOR: 110.99sqm
FIRST FLOOR: 68.06sqm
SUBFLOOR DECK: 13.01sqm
POOL AREA: 96.16sqm
PORCH: 3.29sqm
GF DECK 1: 12.57sqm
GF DECK 2: 13.01sqm
GF DECK 3: 2.32sqm

PROPOSED AREAS

FIRST FLOOR: 27.55sqm
GF DECK: 36.14sqm
FF DECK: 19.36sqm

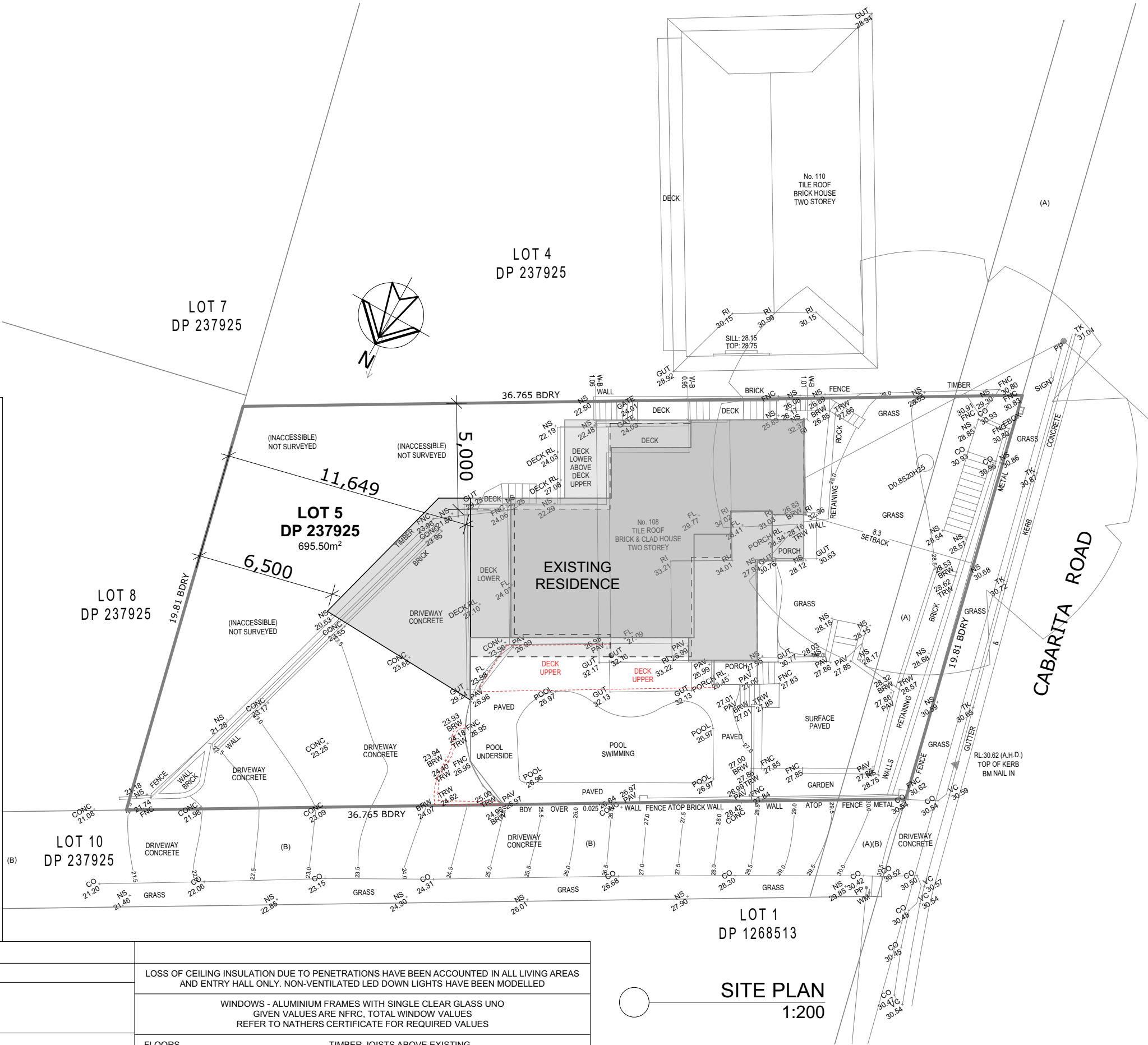
TOTAL AREA: 514.19sqm

FLOOR AREA: 318.33sqm
FLOOR COVER AREA: 222.72sqm
SITE COVER RATIO: 32.02%

LANDSCAPING AREA: 248.30sqm
LANDSCAPING RATIO: 35.70%

ROOF AREA: 149sqm

BASIX NOTES		
STORMWATER DETAILS		
RAINWATER TANK / RETICULATED	N/A	LOSS OF CEILING INSULATION DUE TO PENETRATIONS HAVE BEEN ACCOUNTED IN ALL LIVING AREAS AND ENTRY HALL ONLY. NON-VENTILATED LED DOWN LIGHTS HAVE BEEN MODELLED
MIN. RAINWATER TANK SIZE	N/A	
HARVESTED ROOF AREA	N/A	
CONNECT TO:	N/A	
WATER		
KITCHEN & BATHROOM TAP RATING	3 STARS	FLOORS FLOOR COVERINGS HOT WATER SYSTEM AIR CONDITIONING EER or STAR RATING VENTILATION COOKING APPLIANCES: OTHER
SHOWER HEAD RATING	3 STAR (>7.5L BUT <= 9L/MIN)	
TOILET RATING	3 STARS	
THERMAL COMFORT / ENERGY		
EXT. WALL INSULATION (EXCL GARAGE)	R1.7	TIMBER JOISTS ABOVE EXISTING N/A N/A N/A N/A N/A N/A
EXT. WALL COLOUR	LIGHT	
INT. WALL INSULATION (GARAGE)	R1.7	
ROOF MATERIAL	TILE/METAL	
ROOF INSULATION	SARKING/ANTICON BLANKET	ENERGY EFFICIENT LIGHTING THROUGHOUT
ROOF COLOUR	MEDIUM ROOF - SA 0.475-0.70	
CEILING INSULATION (EXCL GARAGE)	R1.45	
FLR INSULATION		
UPPER FLOOR AND GARAGE/OUTDOOR	R2.0 (2-STOREY DWELLINGS ONLY)	IN ADDITION TO THE BASIX REQUIREMENTS; ALL NEW RESIDENTIAL DWELLINGS MUST COMPLY WITH; NSW PART 3.12.1 BUILDING SEALING & 3.12.5.0 - 3.12.5.3 IN VOLUME TWO OF THE NCC
		VENTILATED ROOF SPACE



SITE PLAN

1:200

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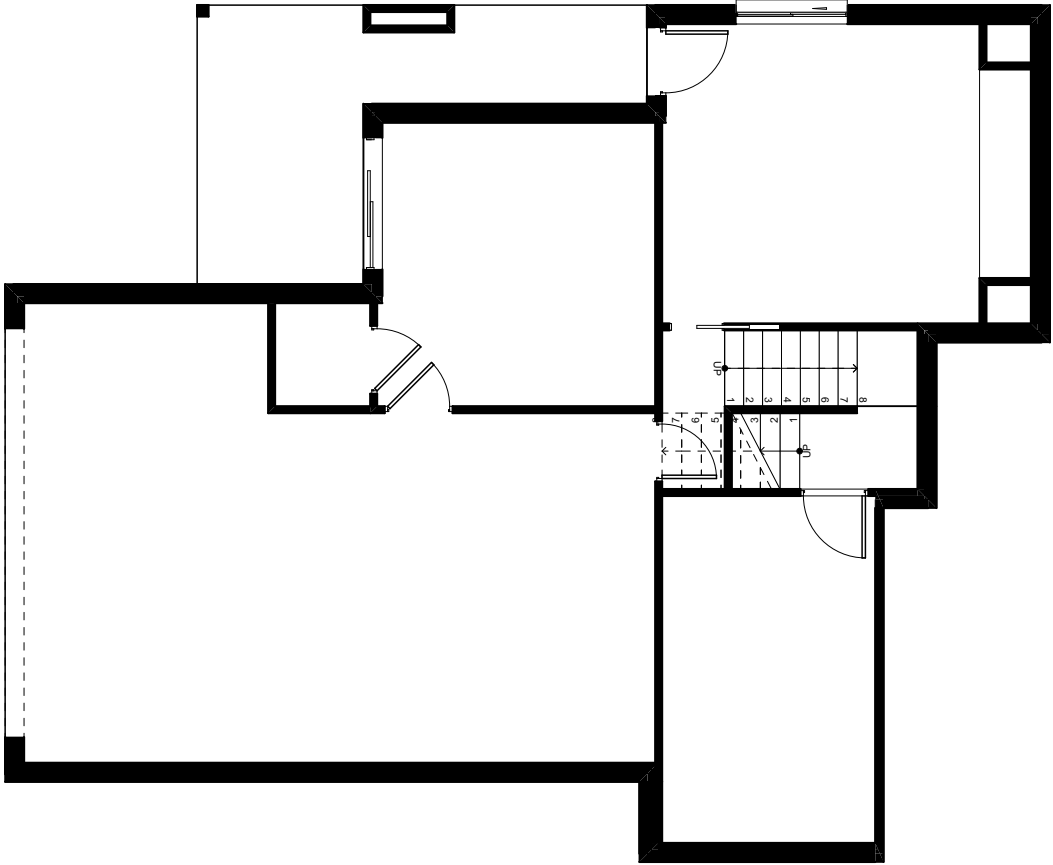
DATE

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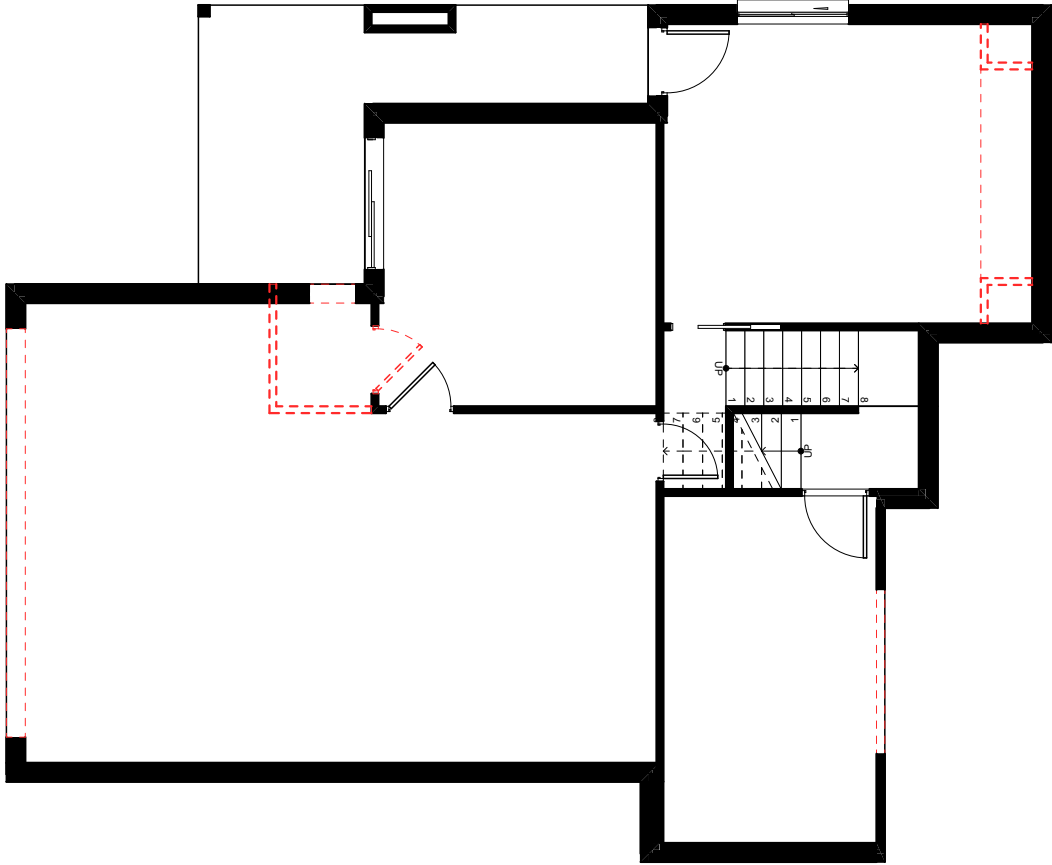
DATE

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

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EXISTING SUBFLOOR
1:100



DEMO SUBFLOOR
1:100

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ACCREDITATION NO: 6337

SPANNENBERG & SON PTY
LTD
builders & contractors

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PROPOSED:
NEW RESIDENCE
CLIENT:
SPANNENBERG & SON

LOCATION:
LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

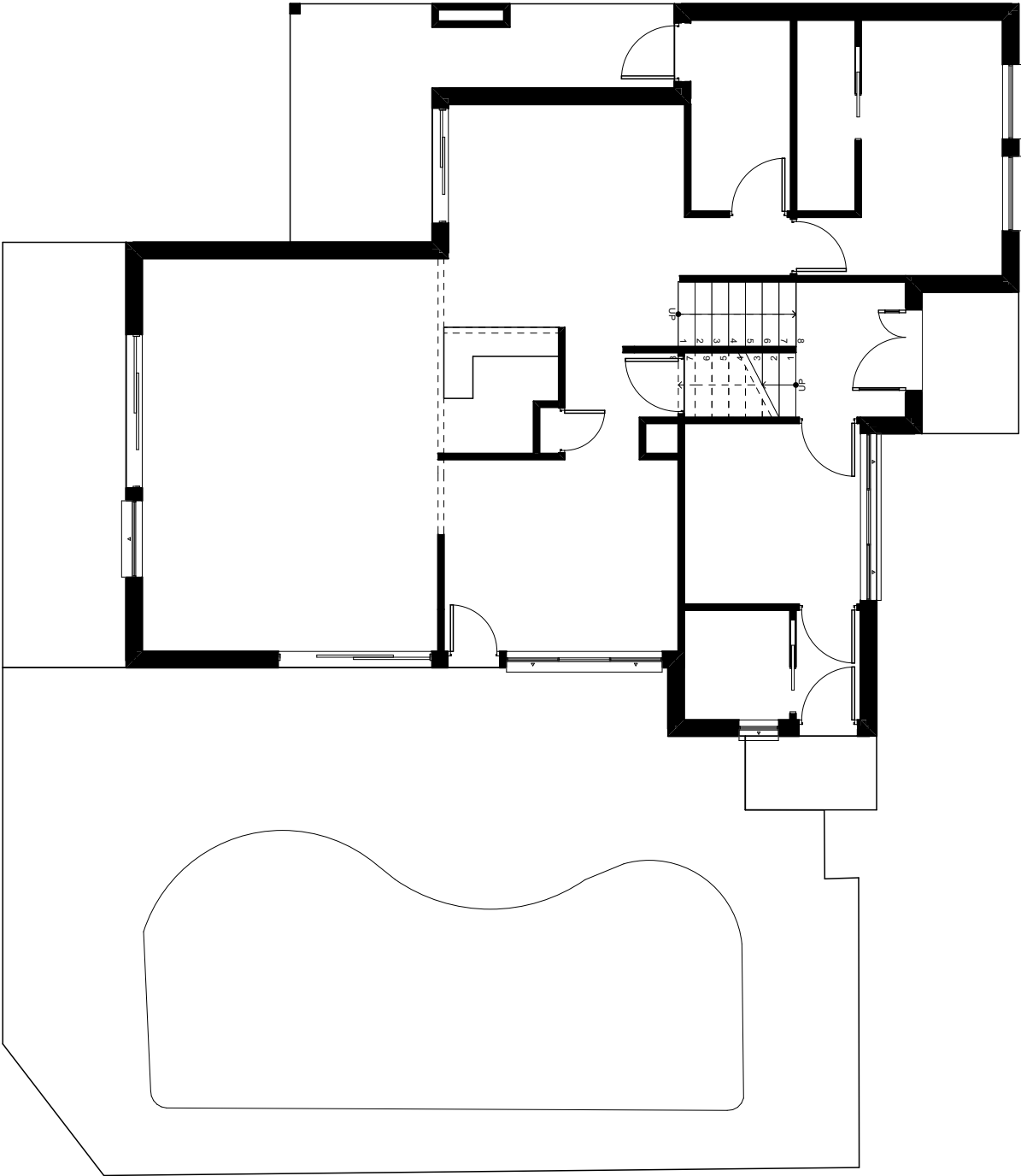
DESIGN: HOUSE	PAPER: A3
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DRAWING: SUBFLOOR	SHEET: 201
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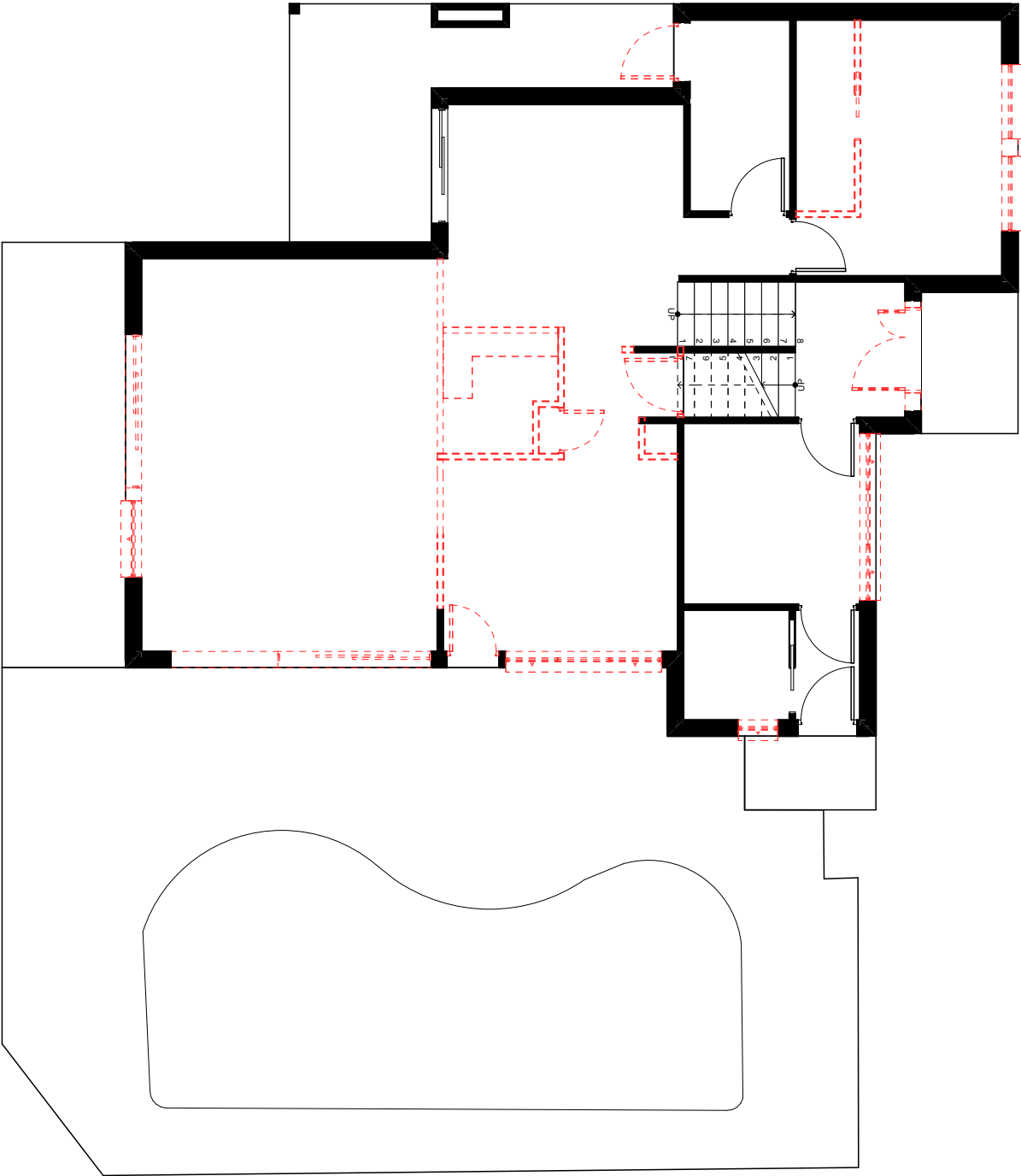
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EXISTING GROUND FLOOR
1:100



DEMO GROUND FLOOR
1:100

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LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
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DRAWING: GROUND FLOOR	SHEET: 202
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REFERENCE: SB-00067	REVISION: B03
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DESIGN:
HOUSE

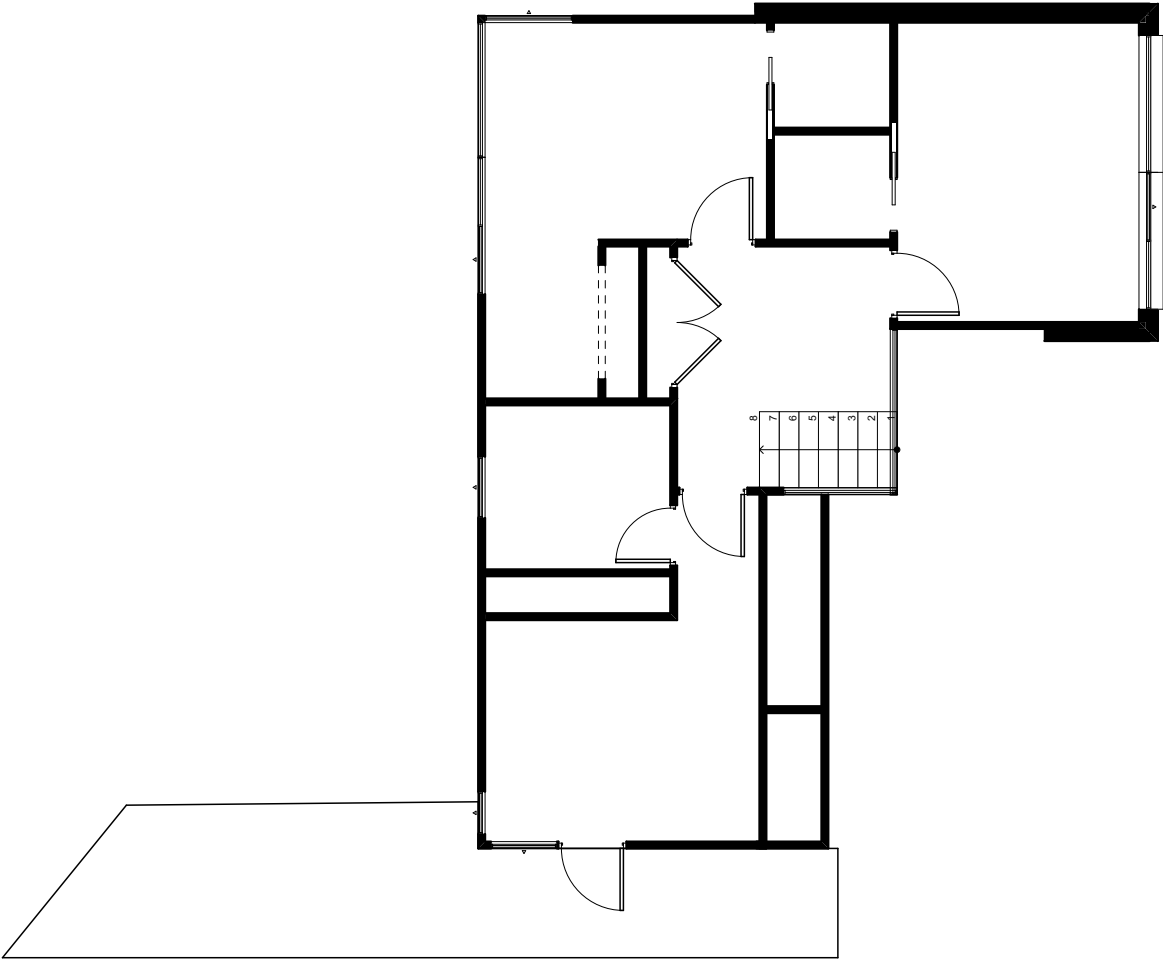
PAPER:
A3

DRAWING:
FIRST FLOOR

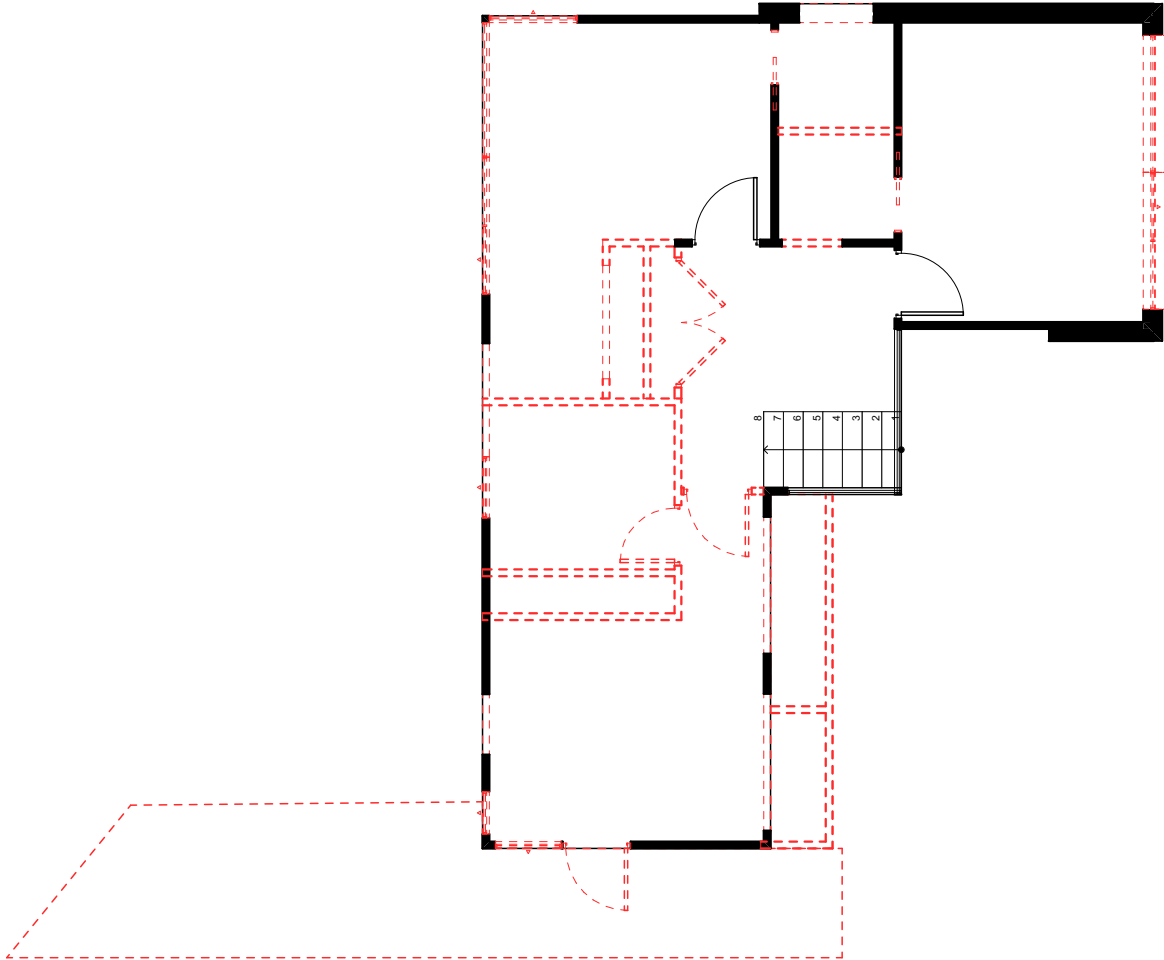
SHEET:
203

REFERENCE:
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REVISION:
B03



EXISTING FIRST FLOOR
1:100



DEMO FIRST FLOOR
1:100

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DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SUBFLOOR

SHEET:

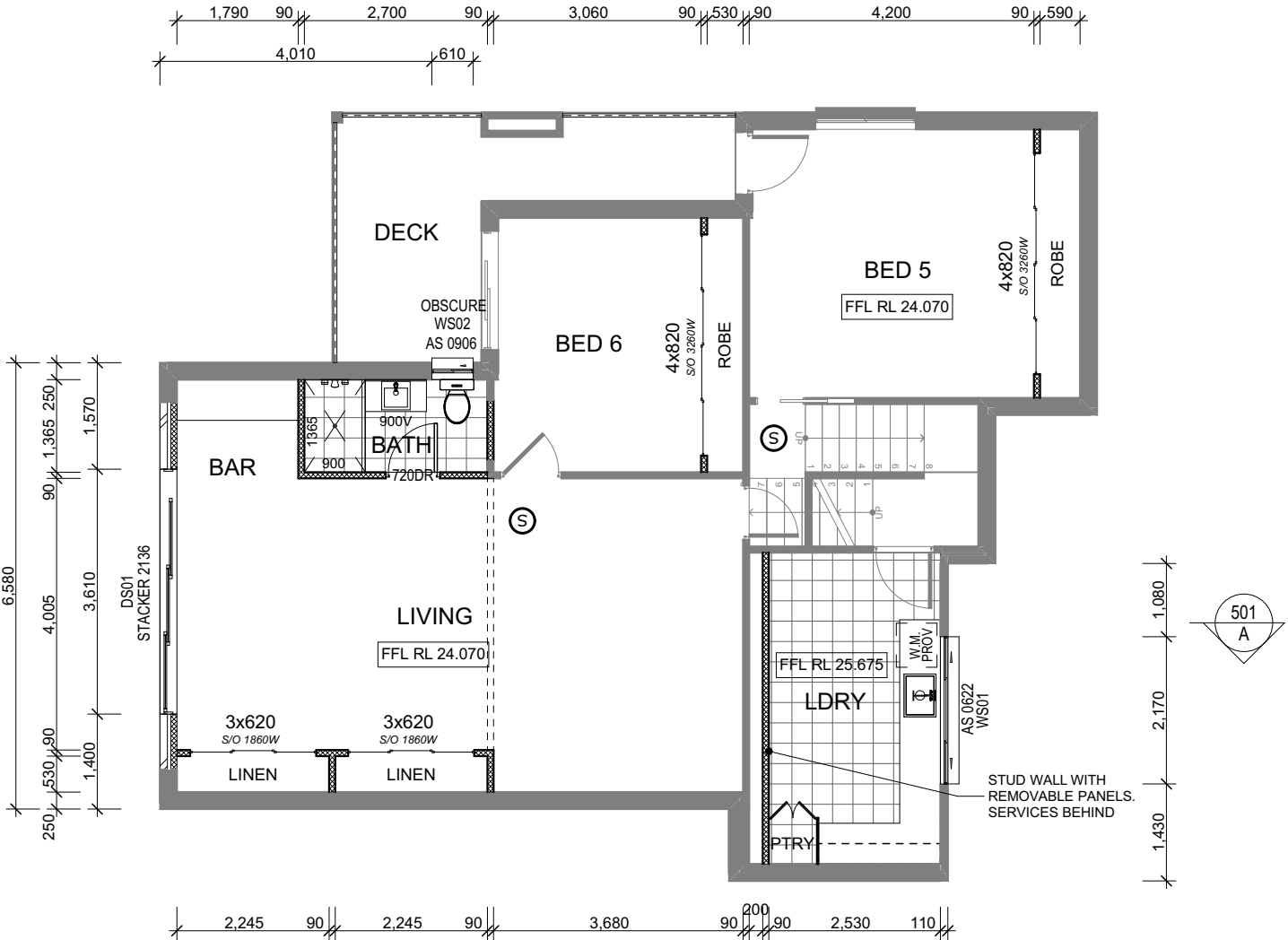
301

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B03



SUBFLOOR

1:100

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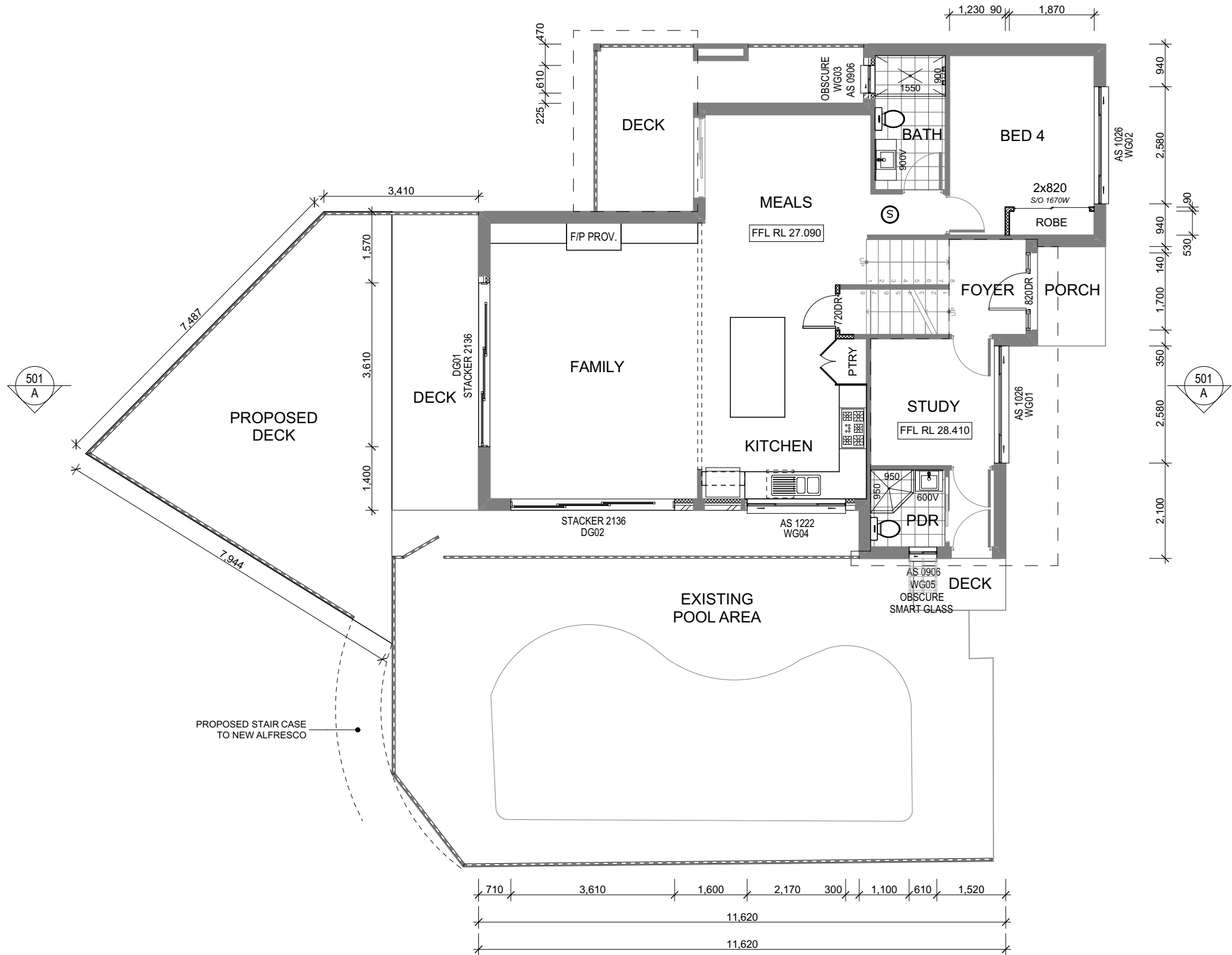
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GROUND FLOOR
1:100

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108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN:
HOUSE

PAPER:
A3

DRAWING:
GROUND FLOOR

SHEET:
302

REFERENCE:
SB-00067

REVISION:
B03

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PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

FIRST FLOOR

SHEET:

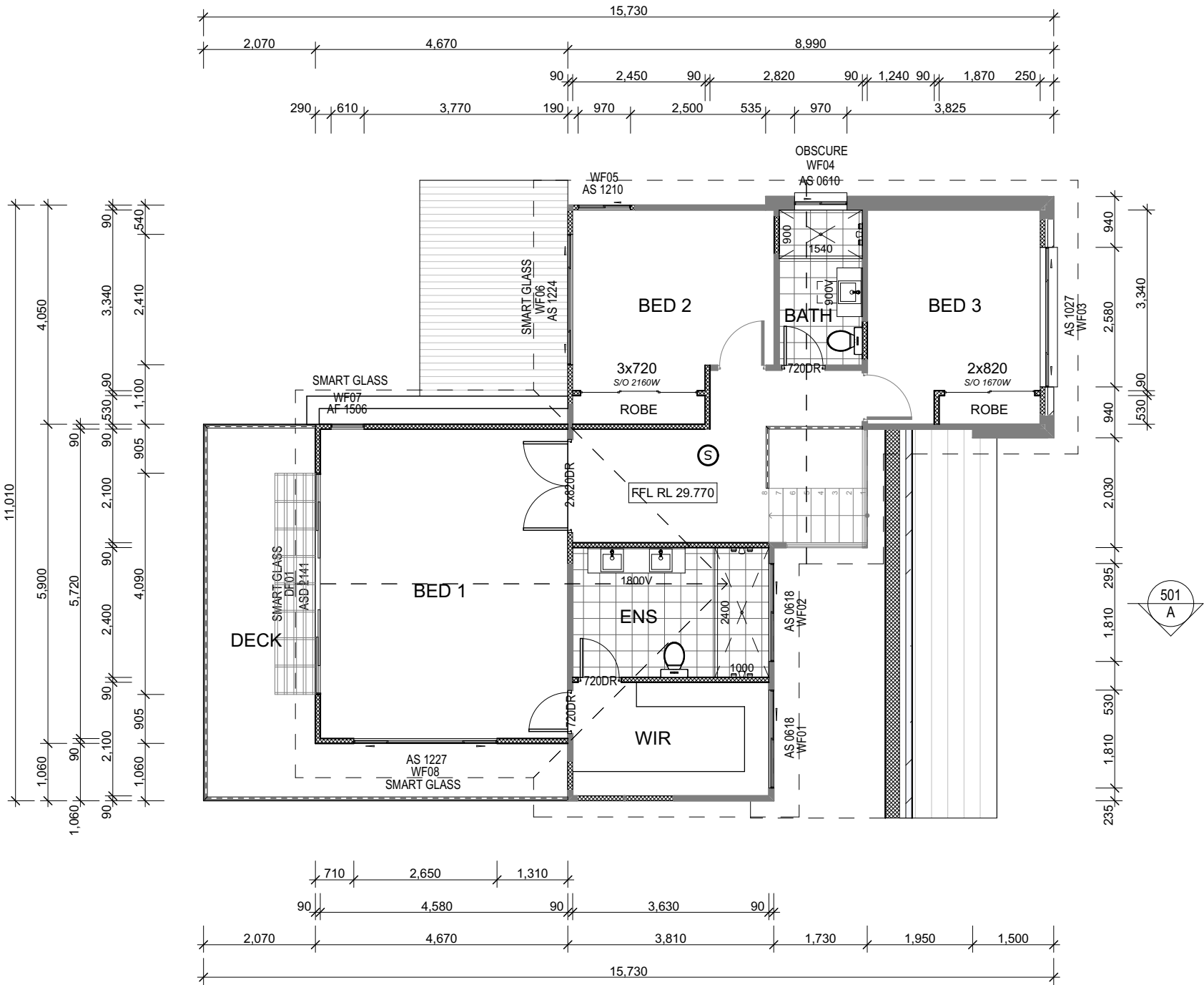
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FIRST FLOOR
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DATE

SKETCH STUDIO

77

THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY
LTD IS PETER GULIKOV.
ACCREDITATION NO: 6337

CONSTRUCTION NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS PROVIDED.
2. WHERE OTHER CONSULTANTS DRAWINGS ARE REQUIRED SUCH MUST TAKE PRECEDENCE TO THESE DRAWINGS.
3. ALL DIMENSIONS PROVIDED ARE TO BE CHECKED AND VERIFIED BY THE BUILDER/CONTRACTOR/OWNER PRIOR TO COMMENCEMENT OF WORKS.
DO NOT SCALE OFF DRAWINGS.
4. LEVELS SHOWN ARE APPROXIMATE AND SHOULD BE CHECKED AND CONFIRMED ON SITE.
5. WHERE NOT INDICATED BY THESE PLANS, IT REMAINS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO LOCATE ALL SITE SERVICES PRIOR TO ANY EXCAVATION/CONSTRUCTION.
6. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF ANY BUILDING WORKS BY A REGISTERED SURVEYOR.
7. ANY INCONSISTENCIES TO BE REPORTED TO SKETCH STUDIO 77.
8. PLANS TO BE READ IN CONJUNCTION WITH BUILDERS TENDER.
9. WHERE DISCREPANCIES OCCUR BUILDERS TENDER SHALL TAKE PRECEDENCE.
10. ALL BRICKWORK SHALL BE IN ACCORDANCE WITH AS3700.
11. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS1684.
12. ELECTRICIAN TO SUPPLY AND INSTALL APPROVED HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH AS3786.
13. ALL PROPOSED FLOOR LEVELS AND OTHER RELATED RL NOMINATED ARE SUBJECT TO +/-100mm.

NEW RESIDENCE

SPANNENBERG & SON

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

NORTHERN BEACHES

PETER GULIKOV

P. GULIKOV

HOUSE

ELEVATIONS

SB-00067

A3

401

B03



ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS

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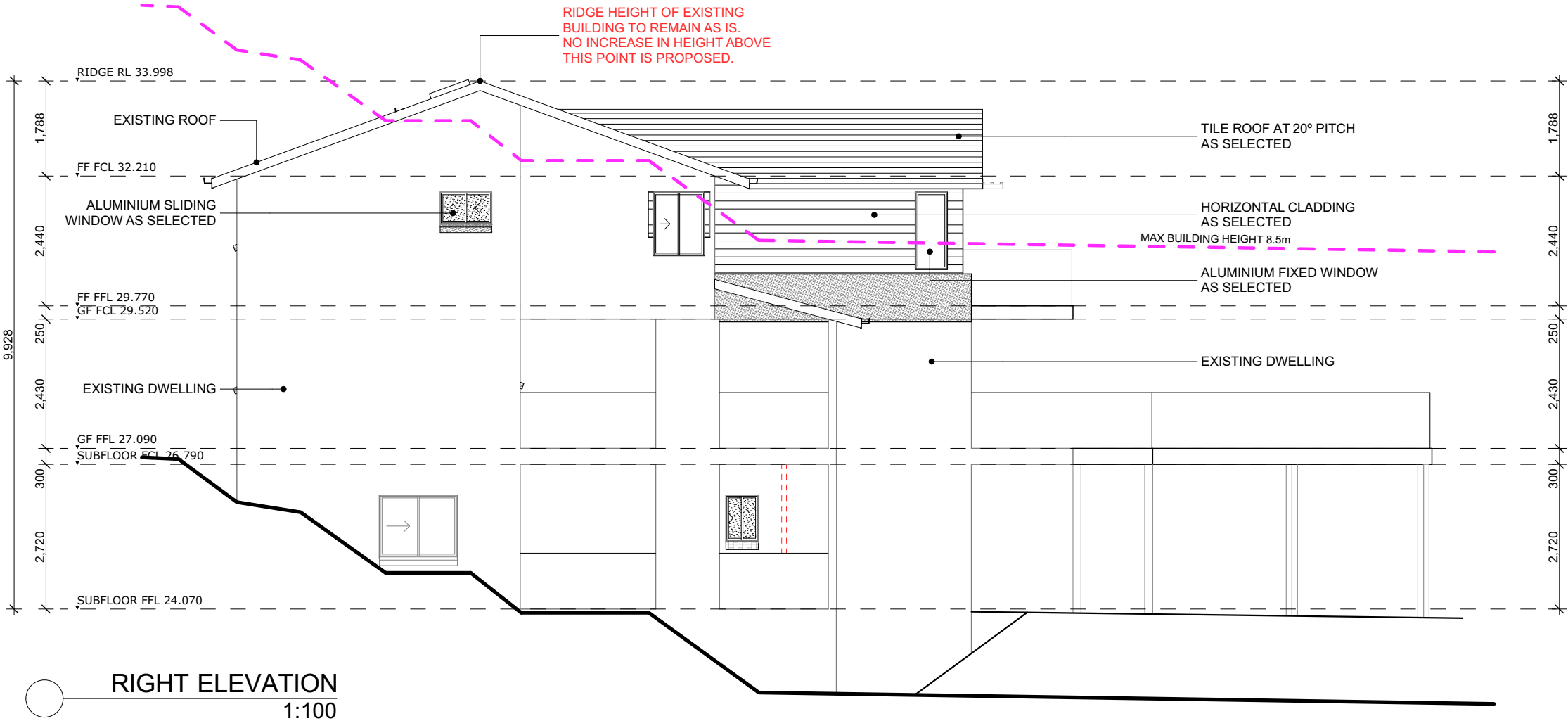
B03



DATE _____

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS



© COPYRIGHT
PLANS & DOCUMENTATION SHALL REMAIN THE EXCLUSIVE
PROPERTY OF SKETCH STUDIO 77 UNLESS A LICENCE IS
ISSUED STATING OTHERWISE.

SKETCH
STUDIO
77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

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LTD IS PETER GULIKOV.
ACCREDITATION NO: 6337

SPANNENBERG & SON PTY LTD
builders & contractors

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PROPOSED:
NEW RESIDENCE

CLIENT:
SPANNENBERG & SON

LOCATION:
**LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN:
HOUSE

PAPER:
A3

DRAWING:
ELEVATIONS

SHEET:
403

REFERENCE:
SB-00067

REVISION:
B03

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108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SECTION & DETAILS

SHEET:

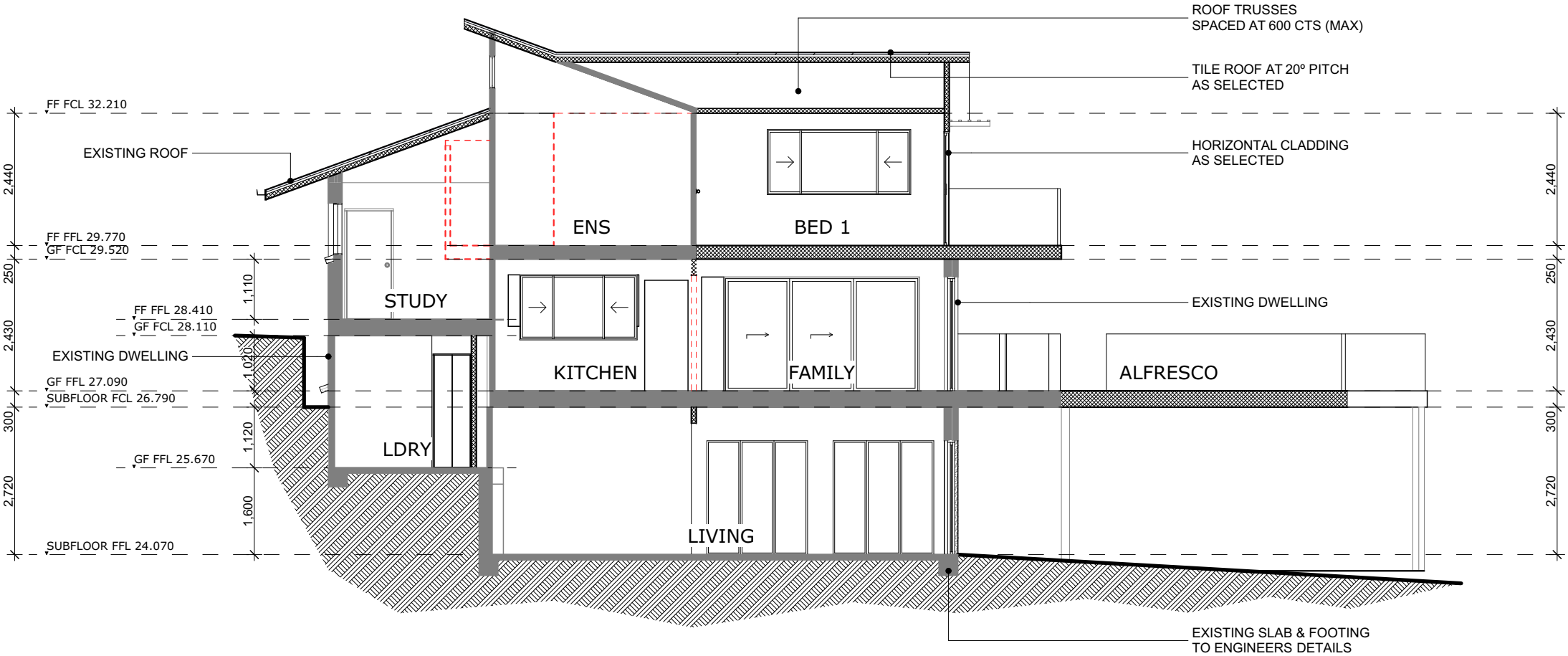
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REFERENCE:

SB-00067

REVISION:

B03



SECTION A-A
1:100

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External Schedule of Finishes

Client: Andrew Scully

Job Number: SB-00067

Site Address: 108 Cabarita Road, AVALON BEACH NSW 2107

Note: Selections to reflect Architectural Drawings.

Render

Colour: Shale Grey or Similar



Horizontal Cladding

Supplier:

Profile:

Colour: Shale Grey or Similar



Front Door

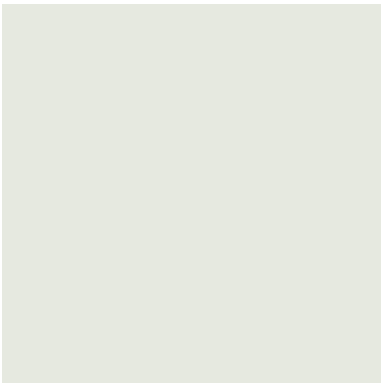
Design: Stained

Colour: Timber finish



Windows/Sliding Doors

Frame Colour: Surfmist or Similar



Roofing

Supplier:

Profile:

Colour: Windspray or Similar



Fascia

Colour: Windspray or Similar



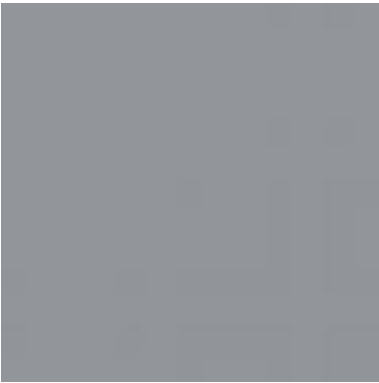
Gutter

Colour: Windspray or Similar



Downpipe

Colour: Windspray or Similar



Porch/Alfresco Tiles

Colour: Sandstone or Similar



Erected By: Builder / Owner