

GRECH HOUSE

5 Marine Parade  
Avalon Beach  
NSW 2107

DEVELOPMENT APPLICATION TO NORTHERN BEACHES COUNCIL - ISSUE A

JUNE 2025

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BASIX Commitments, Secondary Dwelling :

Project address	5 Marine Parade, Secondary Dwelling	Assessor details and thermal loads	Assessor name NathEERS NathEERS certificate number Climate zone Area adjusted cooling load (MJ/ m² year) Area adjusted heating load (MJ/ m² year) Project type Project type dwelling house (detached) - secondary dwelling No. of bedrooms Site details Site area (m²) Roof area (m²) Conditioned floor area (m²) Unconditioned floor area (m²) Total area of garden and open (m²) Roof area of the existing dwelling (m²) Number of bedrooms in the existing dwelling
Project type	dwelling house (detached) - secondary dwelling	Project score	Water Thermal Performance Energy Materials
Site details	Site area (m²) Roof area (m²) Conditioned floor area (m²) Unconditioned floor area (m²) Total area of garden and open (m²) Roof area of the existing dwelling (m²) Number of bedrooms in the existing dwelling	Target 40 Pass Target 66 Target n/a	
Schedule of BASIX commitments	The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.		
Water Commitments	Show on DA plans Show on CC/CDC plans & specs Certifier check		
Landscape			
Features			
Alternative water			

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	
The cold water tap that supplies each clothes washer in the development		✓	✓	
<b>Stormwater tank</b>				
The applicant must install a stormwater tank with a capacity of at least 3000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓	
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.		✓	✓	
The applicant must configure the stormwater tank to collect runoff from:		✓	✓	
• at least 54 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)		✓	✓	
• at least 70 square metres of impervious areas		✓	✓	
• at least 150 square metres of garden and lawn		✓	✓	
• at least 50 square metres of planter box area		✓	✓	
The applicant must connect the stormwater tank to:		✓	✓	
- a sub-surface or non-sensory irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (note: NBNHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)		✓	✓	
Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	
<b>Do-it-yourself Method</b>				
<b>General features</b>				
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 stories.	✓	✓	✓	
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓	
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓	
The dwelling must not contain third level habitable attic room.	✓	✓	✓	
<b>Floor, walls and ceiling/roof</b>				
The applicant must construct the floors, walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓	
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floors, walls and ceiling/roof of the dwelling.	✓	✓	✓	
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓	
Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab	53.7	not specified	no	
floor - suspended floor above garage, treated (plyform) frame, light steel frame	33.7	no fiberglass batts or roll	no	
garage floor - concrete slab on ground	28.5	not specified	no	

external wall: framed (solid or reconstructed timber weatherboard), frame: timber - untreated soffited	13	2.50 (or 3.00 including construction)/fibreglass batts or roll	no	no	wall colour: Medium (solar absorbance 0.48-0.7)	Other specifications						
external wall: brick veneer, frame: timber - untreated soffited	67	2.44 (or 3.00 including construction)/fibreglass batts or roll	no	no	wall colour: Medium (solar absorbance 0.48-0.7)							
external wall: framed (metal sheet), frame: timber - untreated soffited	12.5	2.50 (or 3.00 including construction)/fibreglass batts or roll	no	no	wall colour: Medium (solar absorbance 0.48-0.7)							
external garage wall: brick veneer, frame: timber - untreated soffited	35	none	no	no								
internal wall: shared with (section weatherboard), frame: timber - untreated soffited	11.7	no/fibreglass batts or roll	no	no								
internal wall: plasterboard, frame: timber - untreated soffited	96.19	fibreglass batts or roll	no	no								
ceiling and roof: raked ceiling (pitched or section roof: framed - metal roof, light steel frame)	63.5	ceiling: 4 (up), roof: fullinsulating with the measure to address thermal bridging/ceiling: fibreglass batts or roll, roof: fullinsulating	• install continuous insulation layer with at least R0.6 above or below the roof frame members		roof colour: medium (solar absorbance 0.48-0.55), ceiling area fully insulated							
ceiling and roof: flat ceiling (flat roof: framed - metal roof, light steel frame)	54.4	ceiling: 4 (up), roof: fullinsulating with the measure to address thermal bridging/ceiling: fibreglass batts or roll, roof: fullinsulating	• install continuous insulation layer with at least R0.6 above or below the roof frame members		roof colour: medium (solar absorbance 0.48-0.55), ceiling area fully insulated							
Note + insulation specified in this Certificate must be installed in accordance with the ASBC Housing Provisions (Part 13.2.2) of the National Construction Code												
Note + if the additional ceiling insulation listed in the table above is greater than R0.5, refer to the ASBC Housing Provisions (Part 13.2.1.6(i)) of the National Construction Code												
Note + in some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials												
Note + Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ASBC Housing Provisions of the National Construction Code												
Thermal Performance and Materials commitments												
			Show on DA plans	Show on CC/CDC plans & specs	Certifier check							
Ceiling fans												
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.												
+ The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ASBC Housing Provisions (Part 13.2.2) of the National Construction Code												
Glazed windows, doors and skylights												
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overglazing specifications must be satisfied for each glazed window and door.												
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.												
The following requirements must also be satisfied in relation to each window and glazed door:												
+ The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.												
+ Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U-values and SHGC must be calculated in accordance with National Federation of Building (NFB) conditions.												
+ Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.												
+ Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.												
+ Overhanging buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overhanging' column.												
The applicant must install the windows described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).												
Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (downward within 10%)	Overhanging							
North facing												
W01	1765.00	1850.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	not overhatched							
Glazed window/door no.							Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (downward within 10%)	Overhanging	
W02	1800.00	2280.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	not overhatched							
W03	1800.00	900.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	not overhatched							
East facing												
W04	2400.00	280.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	solid overhang 2201 mm, 0 mm above head of window or glazed door	not overhatched							
W05	2400.00	3960.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	pergola (adjustable battens) 2201 mm, 0 mm above head of window or glazed door	+4 m high, 8-12 m away							
W06	1190.00	2160.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	slate 880 mm, 765 mm above head of window or glazed door	not overhatched							
South facing												
W07	1100.00	1000.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	+4 m high, +2 m away							
W08	1100.00	1000.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	+4 m high, +2 m away							
W09	1800.00	2045.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	+4 m high, +2 m away							
W10	1800.00	2280.00	aluminium, single glazed (U-value <=4.0, SHGC 0.49 - 0.60)	none	+4 m high, +2 m away							
Energy Commitments												
Hot water												
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted tank.												
The following requirements must also be satisfied for each water system installed:												
Each water or glazed water with storage (water tank or water tankless) must be installed in accordance with the specifications listed in the table below.												
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning, energy rating: EER 2.5 - 3.0.												
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning, energy rating: EER 2.5 - 3.0.												
Heating system												
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning, energy rating: EER 2.5 - 3.0.												
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning, energy rating: EER 2.5 - 3.0.												
Ventilation												
The applicant must install the following exhaust systems in the development:												
At least 1 Bathroom: no mechanical ventilation (ie. natural). Operation control: n/a												
Kitchen: no mechanical ventilation (ie. natural). Operation control: n/a												
Laundry: natural ventilation only, or no laundry. Operation control: n/a												
Artificial lighting												
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.												
Natural lighting												
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.												
The applicant must install a window and/or skylight in 2 bedrooms/bedrooms in the development for natural lighting.												



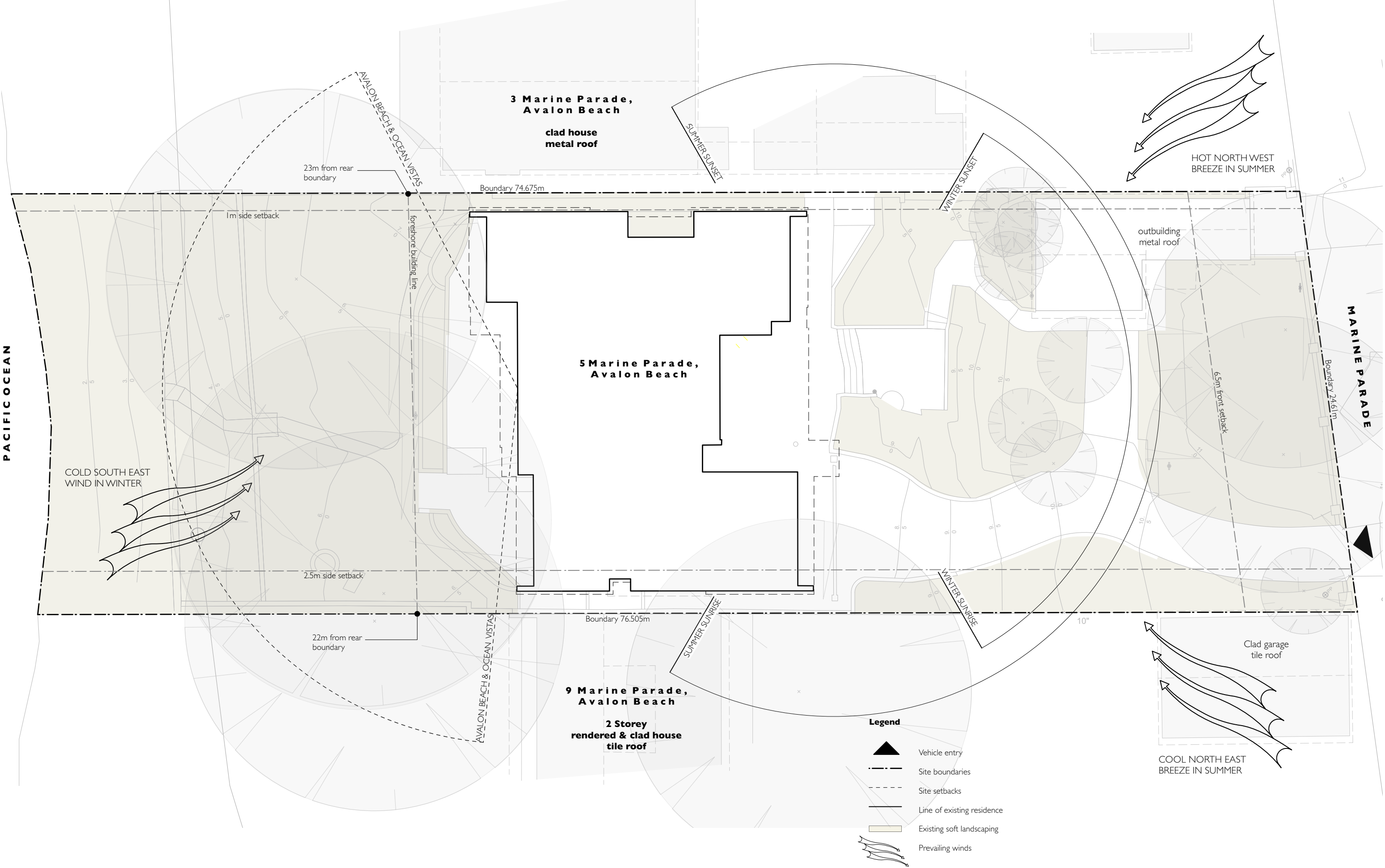
Location Plan 5 Marine Parade, Avalon Beach

BASIX Commitments, Main Dwelling :

SIXS "Certificate"		Project address	
Building Sustainability		PROJECT NAME	
New development - Single use development and assessment tools		COUNCIL NAME	
Alterations and Additions		SIXS NUMBER	
Certificate number: 19/01/2020		PROJECT TYPE	
The certificate number is the project development will not be the NSW government also may be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. It is a public document with the public and can be used for advertising. 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Minimum and glazed energy saving requirements						
Construction number	Construction	Area of glazing (m²)	Overhanging height (m)	Overhanging distance (m)	Shading device	Frame and glass type
W1	N	1.47	0.9	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W2	W	0.37	0.1	0.8	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W3	W	0.07	0.1	0.0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D1	N	0.07	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D2	N	0.08	0.2	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D1 + D2	N	0.16	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W4	E	0.8	0.4	0.8	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W5	E	0.8	0.1	0.8	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D3	N	0.08	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D4	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D5	N	0.0	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D6	N	0.2	0.7	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W7	W	0.0	0.7	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D7	N	0.4	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D8	E	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
W8	W	0.2	0.4	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D9	N	0.2	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D10	N	0.2	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D11	E	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D12	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D13	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D14	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D15	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D16	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D17	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D18	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D19	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D20	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D21	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D22	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D23	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D24	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D25	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D29	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D30	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D32	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D33	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D34	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D35	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D36	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D37	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D38	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D39	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D40	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D41	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D42	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D43	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D44	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D45	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D46	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D47	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D65	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D66	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D67	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D71	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D72	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D74	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D75	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D76	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
D77	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D79	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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D98	N	0.3	0	0	none	aluminium, single glazed (U-value <= 4.0, SHGC <= 0.70)
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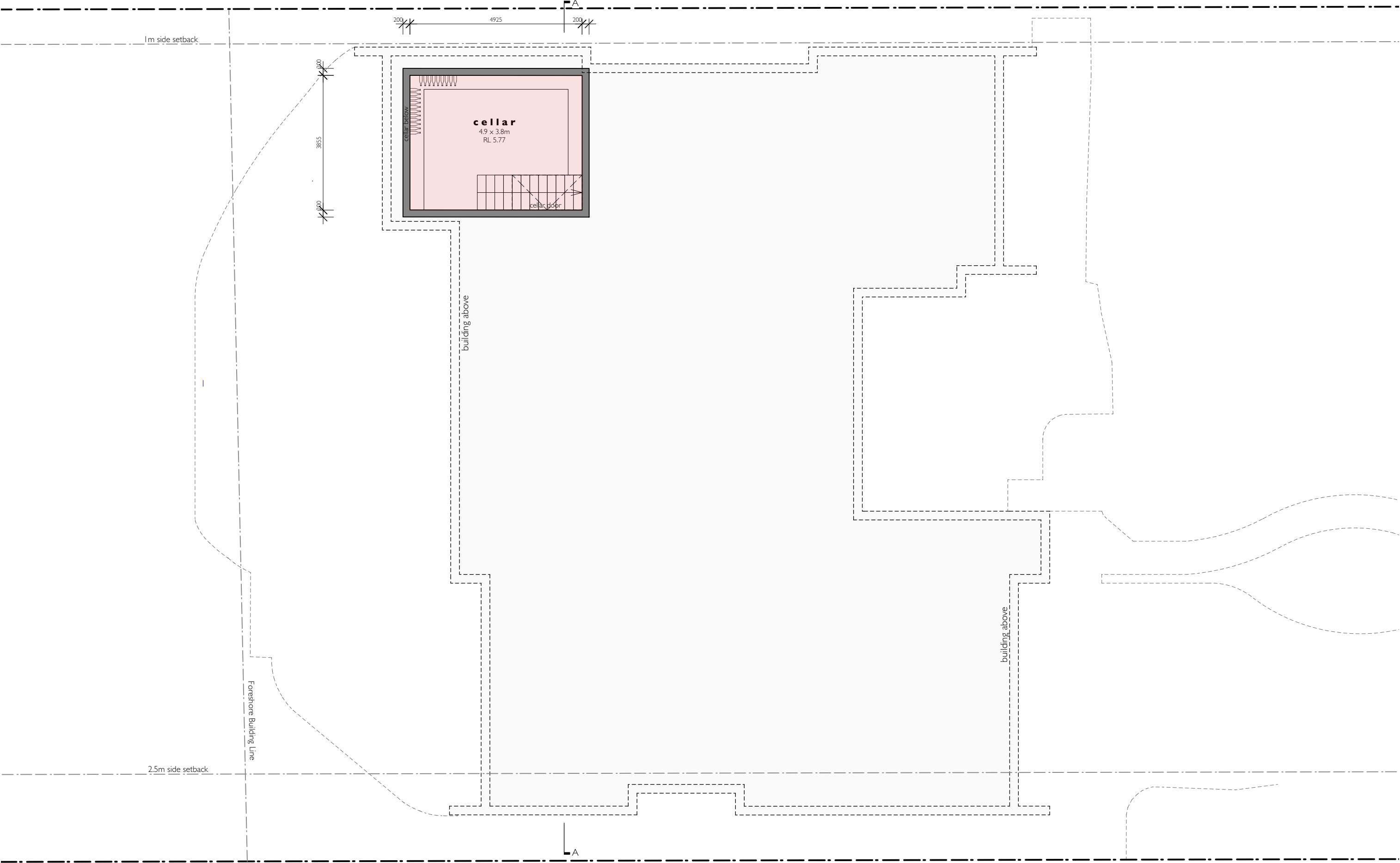




<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div> <div><div><div></div></div><div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div>	Revisions:			Drawing: <b>SITE ANALYSIS PLAN</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>
	Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	
	A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:200 @ A3</b>	<b>DA - 01</b>  Issue: <b>A</b>	
							Client: <b>Joe + Margaret Grech</b>

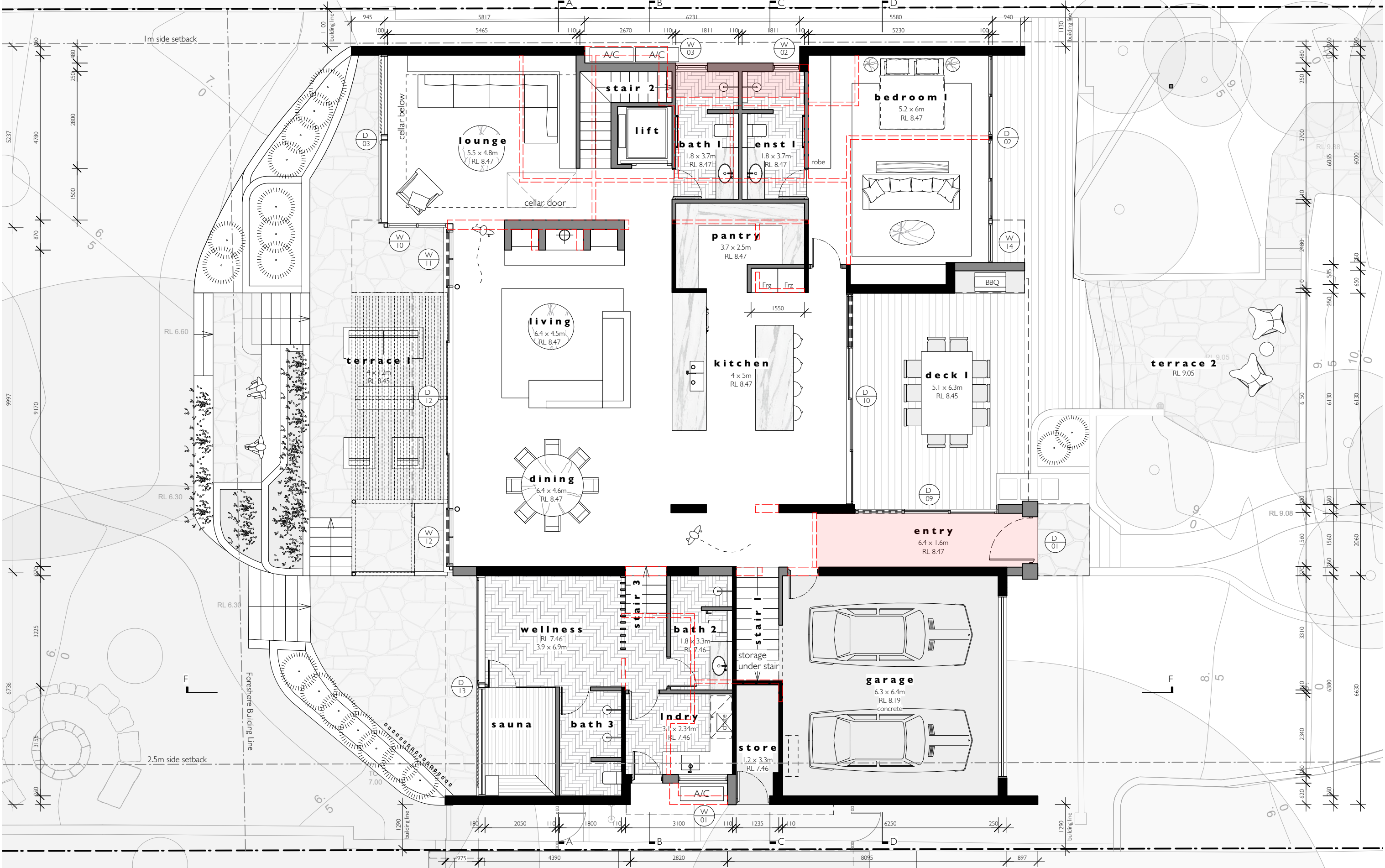




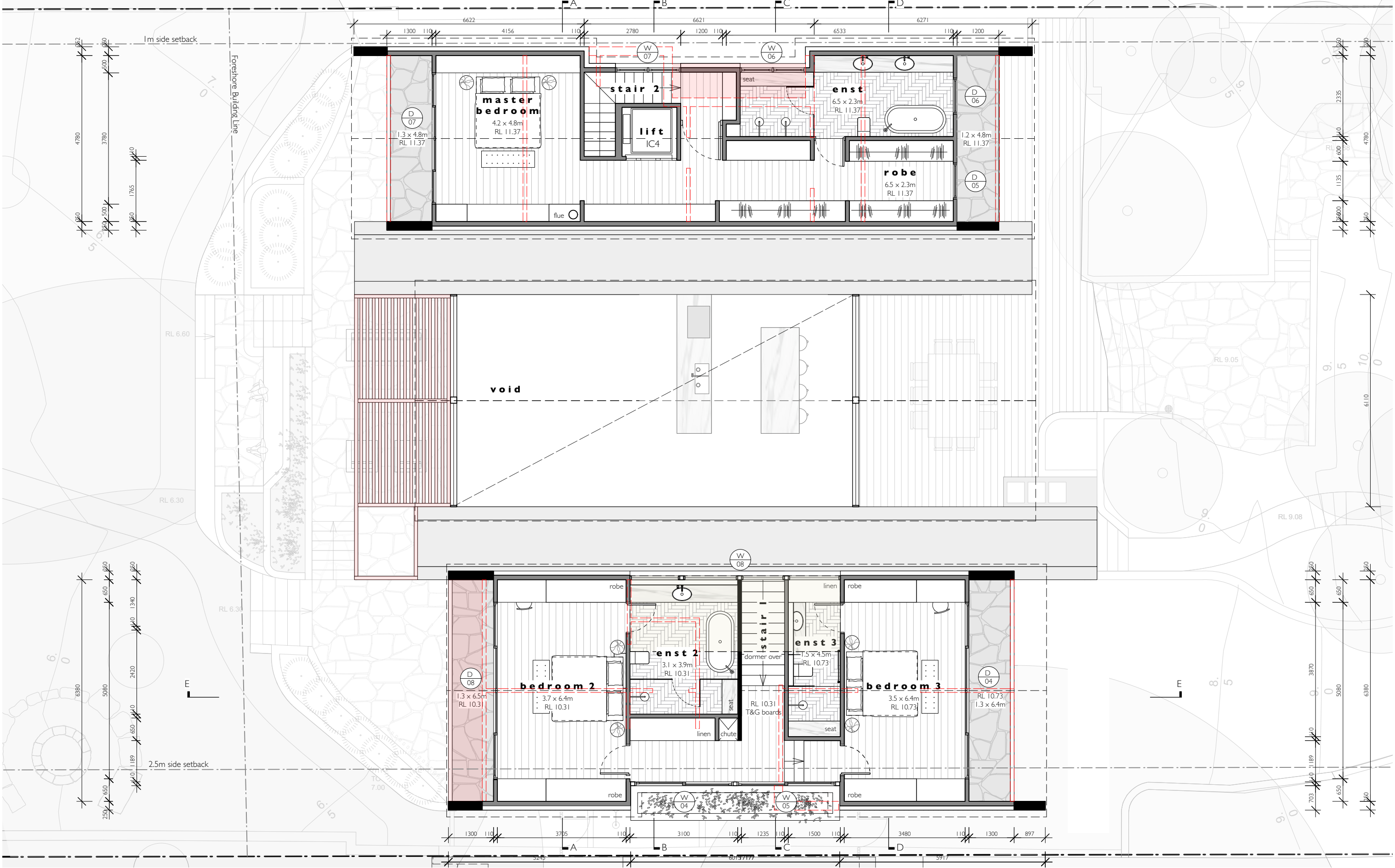


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		Issue:	Date:	Amendment:	Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 04</b>	Client: <b>Joe + Margaret Grech</b>	
		A	26.06.25	DA issue		Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>		

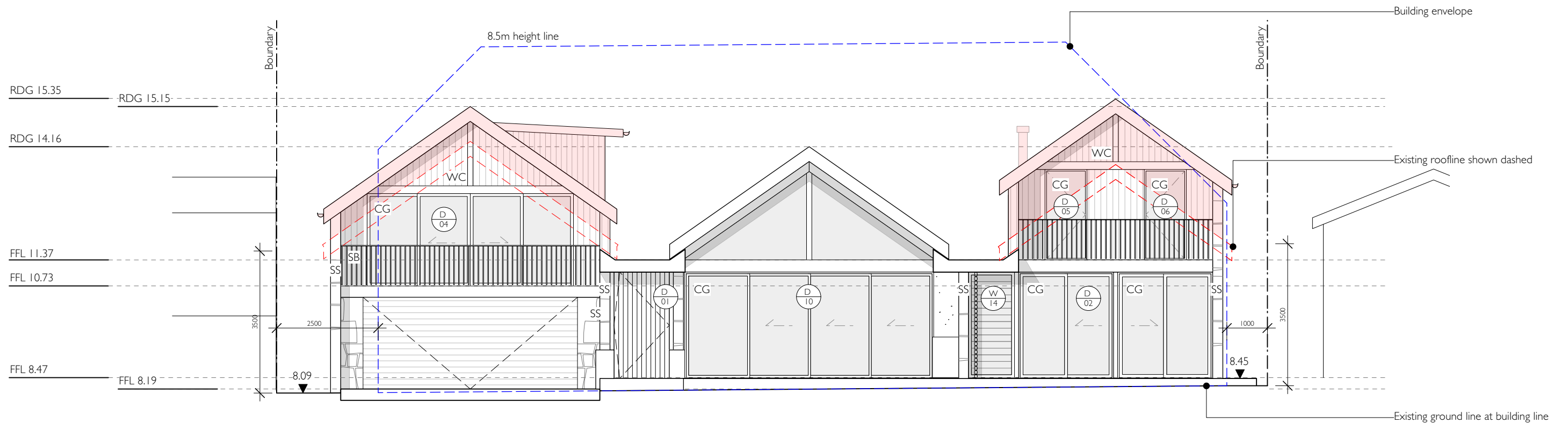




<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div><div><div></div></div><div><div>existing walls to be retained</div><div>existing walls/structures to be demolished</div></div><div><div>proposed walls</div><div>extent of new works</div></div></div><div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div>	Revisions:			Drawing: <b>GROUND FLOOR PLAN</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>	
		Issue:	Date:	Amendment:	Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 05</b>	Client: <b>Joe + Margaret Grech</b>	
		A	26.06.25	DA issue		Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>		



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		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	Client: <b>Joe + Margaret Grech</b>	
		A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:100 @ A3</b>	<b>DA - 06</b>  Issue: <b>A</b>		

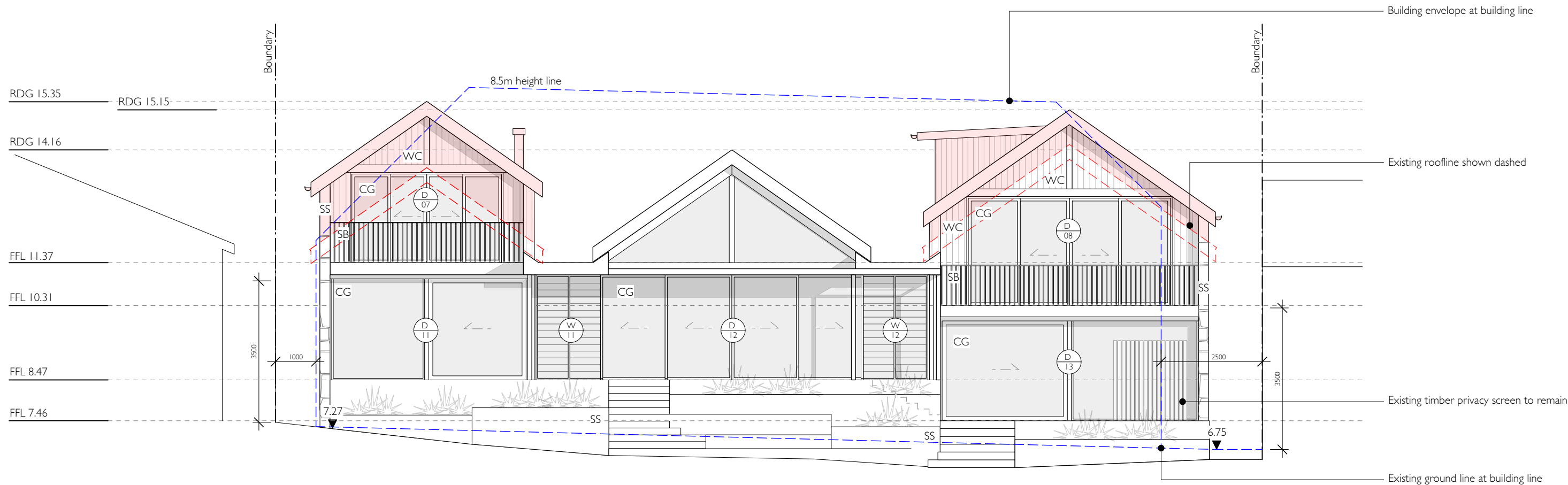


ELEVATION NORTH

- CG Clear glazing
- OG Opaque glazing
- SB Steel balustrade
- RM Rendered masonry
- OC Off-form concrete
- SS Sandstone
- WC Weatherboard cladding
- TF Timber frame
- LS Louvre screen
- PS Privacy screen
- CB Colorbond
- DP Down pipe

<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div><div><div>existing walls to be retained</div><div>existing walls/structures to be demolished</div></div><div><div>proposed walls</div><div>extent of new works</div></div></div><div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div>	Revisions:			Drawing: ELEVATION - NORTH			Project: ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING 5 Marine Parade Avalon Beach NSW 2107
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	Client: Joe + Margaret Grech
		A	26.06.25	DA issue	204	Scale: 1:100 @ A3	DA - 07	
							A	





ELEVATION SOUTH

- CG Clear glazing
- OG Opaque glazing
- SB Steel balustrade
- RM Rendered masonry
- OC Off-form concrete
- SS Sandstone
- WC Weatherboard cladding
- TF Timber frame
- LS Louvre screen
- PS Privacy screen
- CB Colorbond
- DP Down pipe

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- existing walls to be retained
- existing walls/structures to be demolished
- proposed walls
- extent of new works

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Revisions:

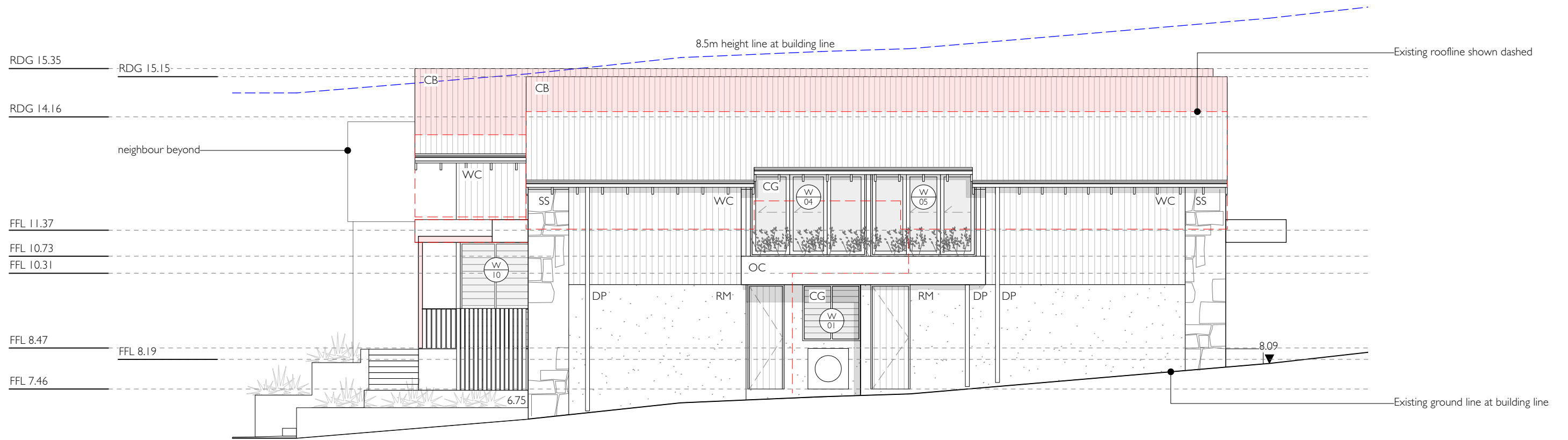
Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**ELEVATION - SOUTH**

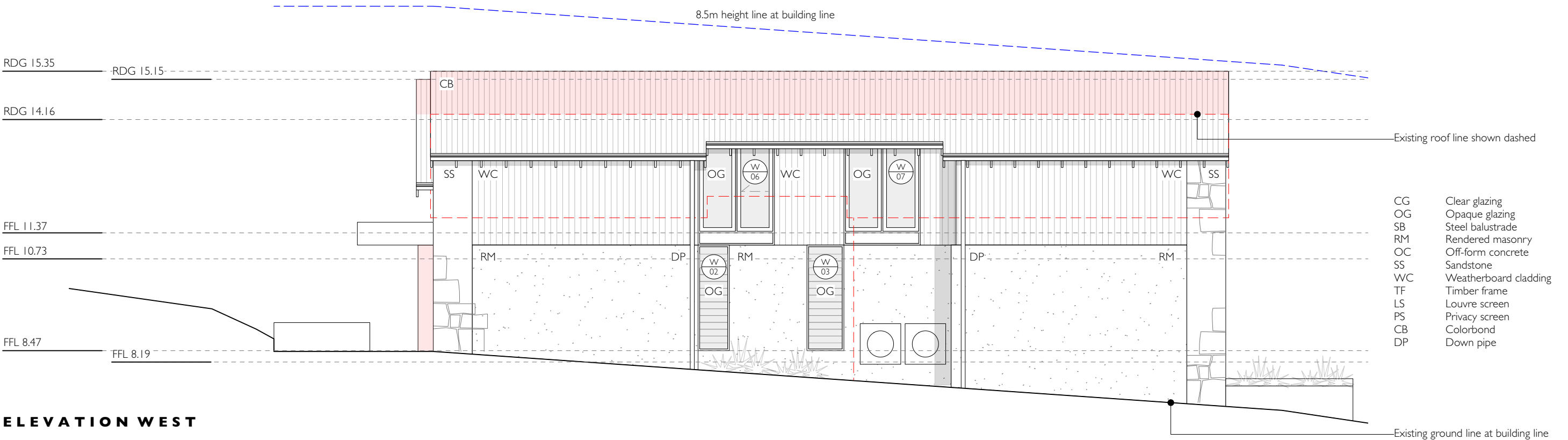
Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 08</b>
	Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>

Project:  
**ALTERATIONS + ADDITIONS  
inc. SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

Client:  
**Joe + Margaret Grech**



ELEVATION EAST



ELEVATION WEST

- CG Clear glazing
- OG Opaque glazing
- SB Steel balustrade
- RM Rendered masonry
- OC Off-form concrete
- SS Sandstone
- WC Weatherboard cladding
- TF Timber frame
- LS Louvre screen
- PS Privacy screen
- CB Colorbond
- DP Down pipe

**RH/a**

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- existing walls to be retained
- existing walls/structures to be demolished
- proposed walls
- extent of new works

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Revisions:

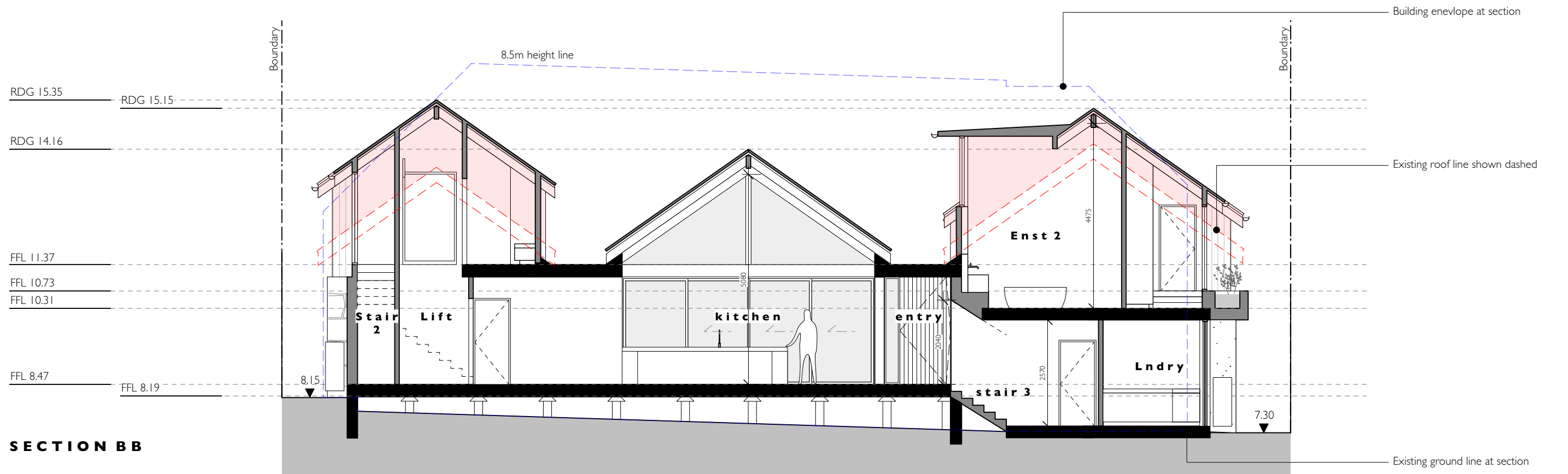
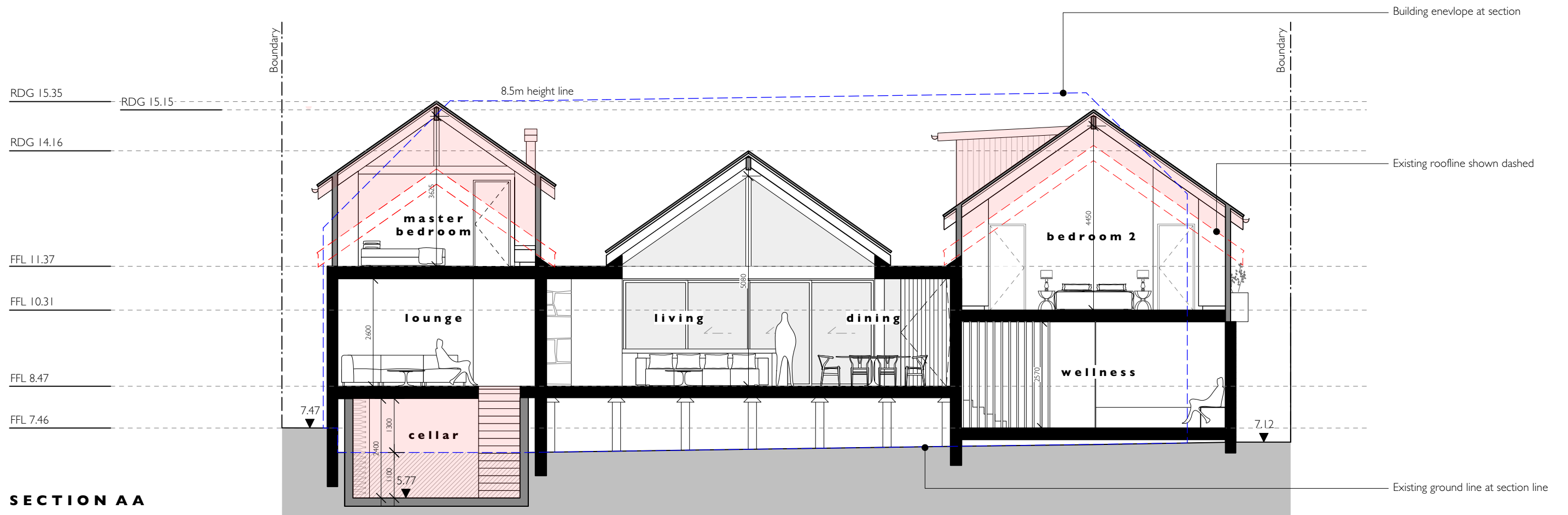
Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**ELEVATIONS - EAST & WEST**

Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 09</b>
	Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>

Project:  
**ALTERATIONS + ADDITIONS  
inc. SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

Client:  
**Joe + Margaret Grech**



**RH/a**

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existing walls to be retained  
existing walls/structures to be demolished  
proposed walls  
extent of new works

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Revisions:

Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**SECTIONS AA & BB**

Job Number:  
**204**

Lot No. 18  
DP 12979

Scale:  
**1:100 @ A3**

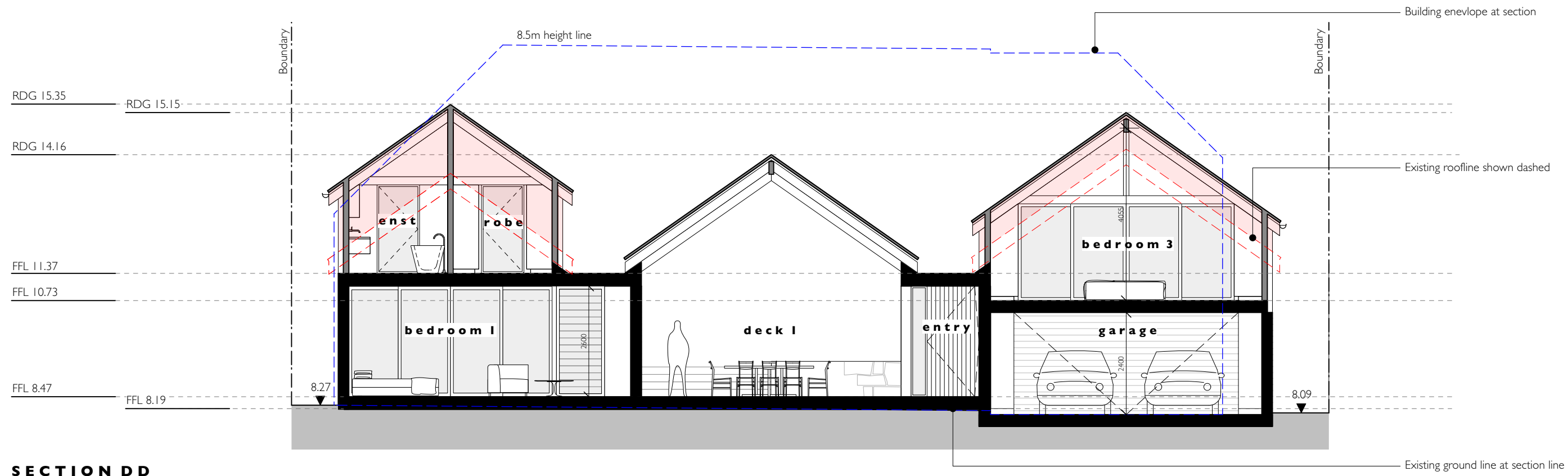
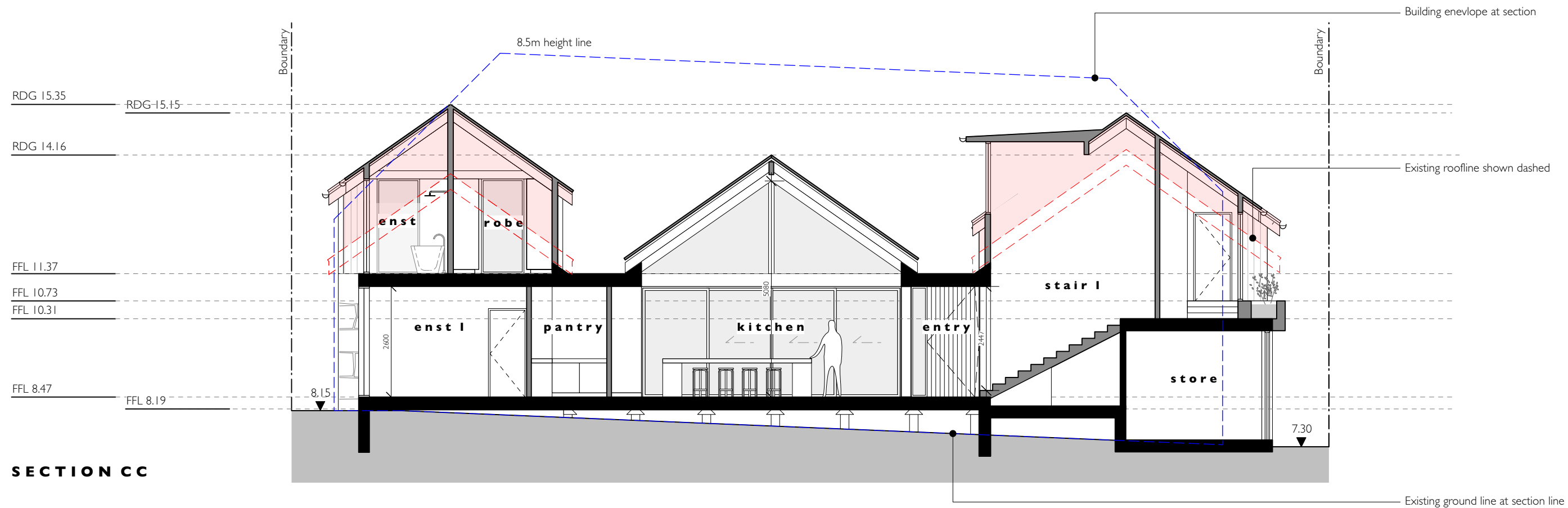
Drawing Number:  
**DA - 10**

Issue:  
**A**

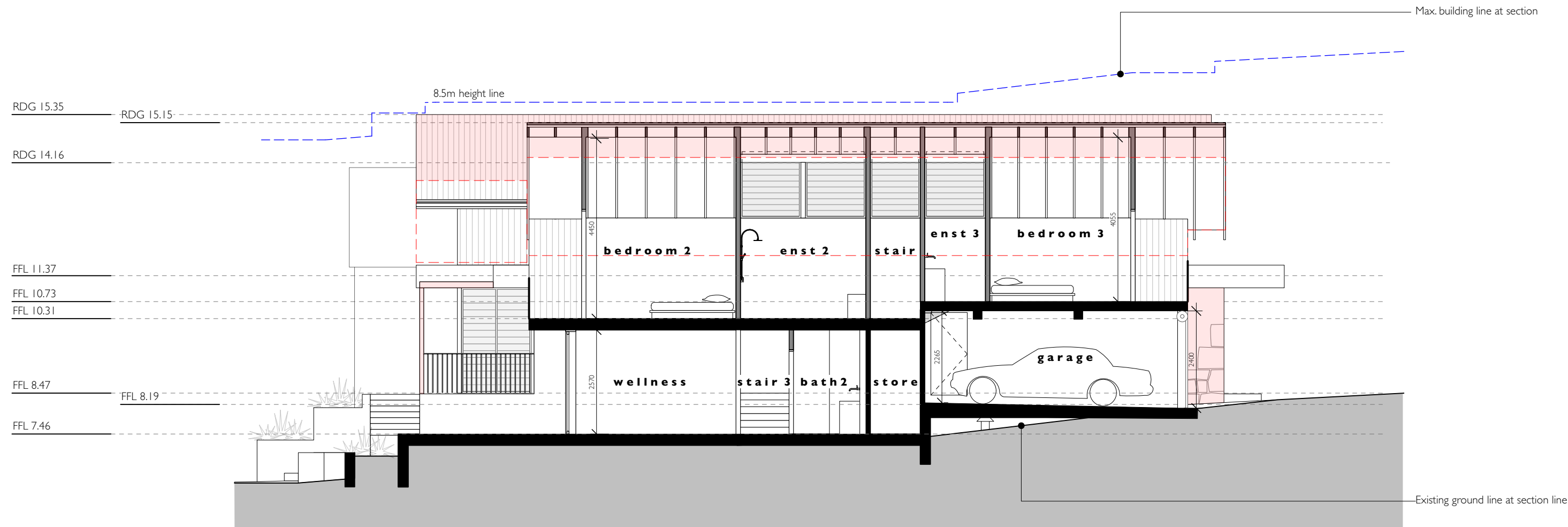
Project:  
**ALTERATIONS + ADDITIONS  
inc. SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

Client:  
**Joe + Margaret Grech**



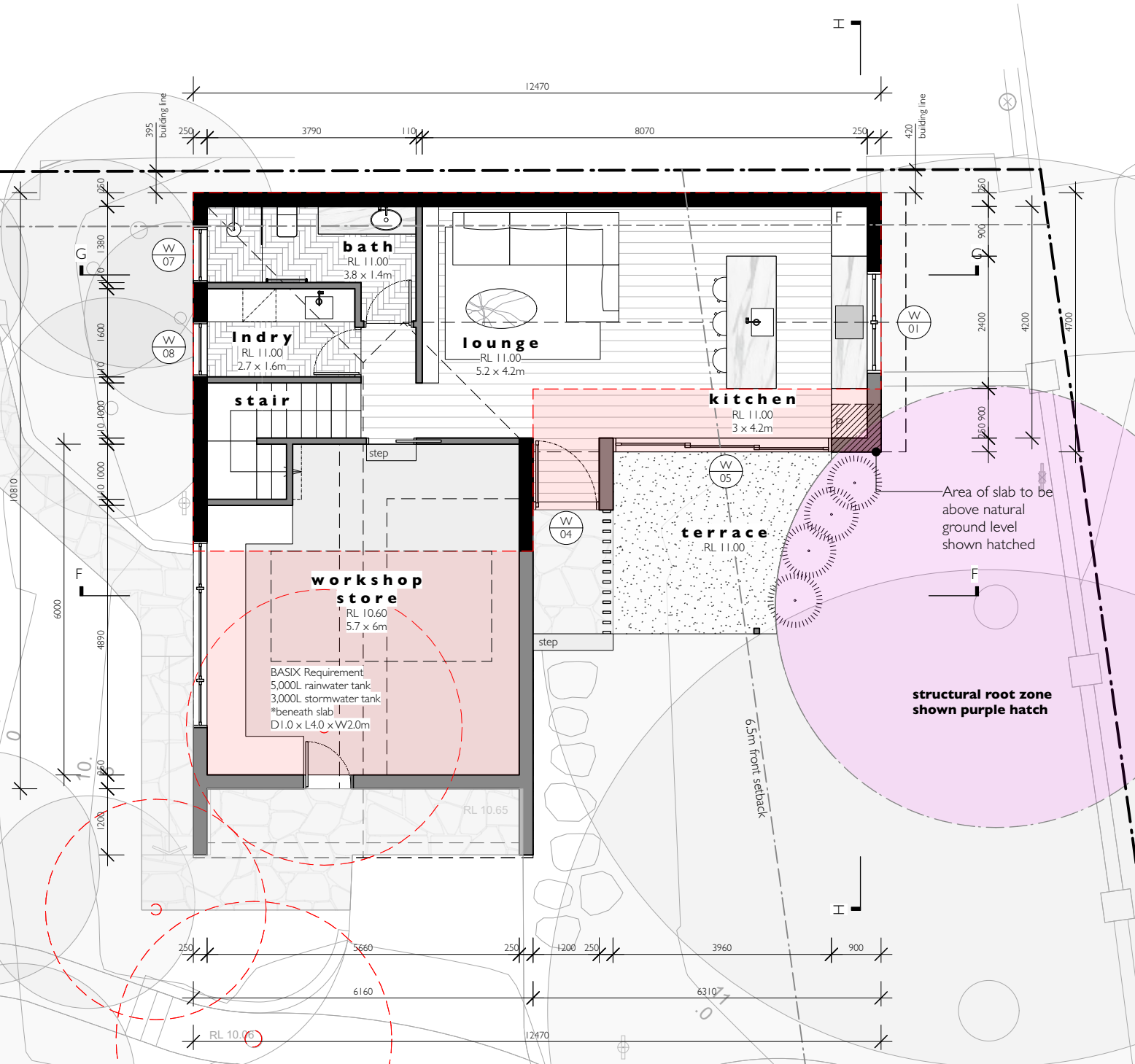


<b>RH/a</b> rachel hudson architect 0410 323 564 www.rachelhudson.com.au rachel@rachelhudson.com.au	<div> <div>existing walls to be retained</div> <div>existing walls/structures to be demolished</div> </div> <div> <div>proposed walls</div> <div>extent of new works</div> </div> <p><small>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figure dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</small></p>	Revisions:		Drawing: <b>SECTION CC &amp; DD</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>	
		Issue:	Date:	Amendment:	Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 11</b>	Client: <b>Joe + Margaret Grech</b>
		A	26.06.25	DA issue		Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>	

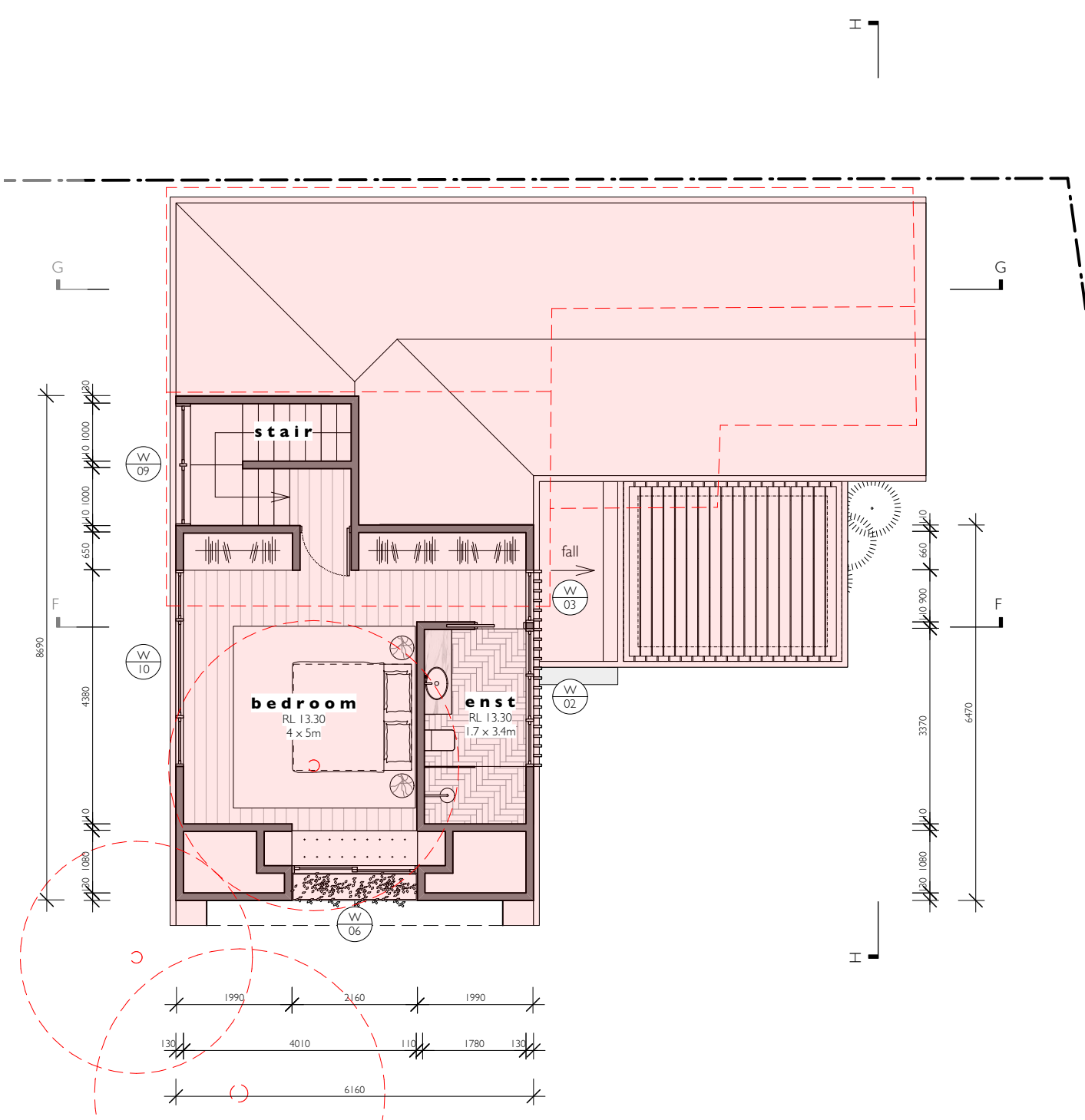


SECTION EE

<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div><div><div><div></div></div><div>existing walls to be retained</div></div><div><div><div></div></div><div>existing walls/structures to be demolished</div></div></div><div><div><div></div></div><div>proposed walls</div></div><div><div><div></div></div><div>extent of new works</div></div></div> <div><div><div><div><div></div></div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div></div>	Revisions:			Drawing: <b>SECTION EE</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING 5 Marine Parade Avalon Beach NSW 2107</b>	
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	Client: <b>Joe + Margaret Grech</b>	
		A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:100 @ A3</b>	<b>DA - 12</b>  <b>A</b>		



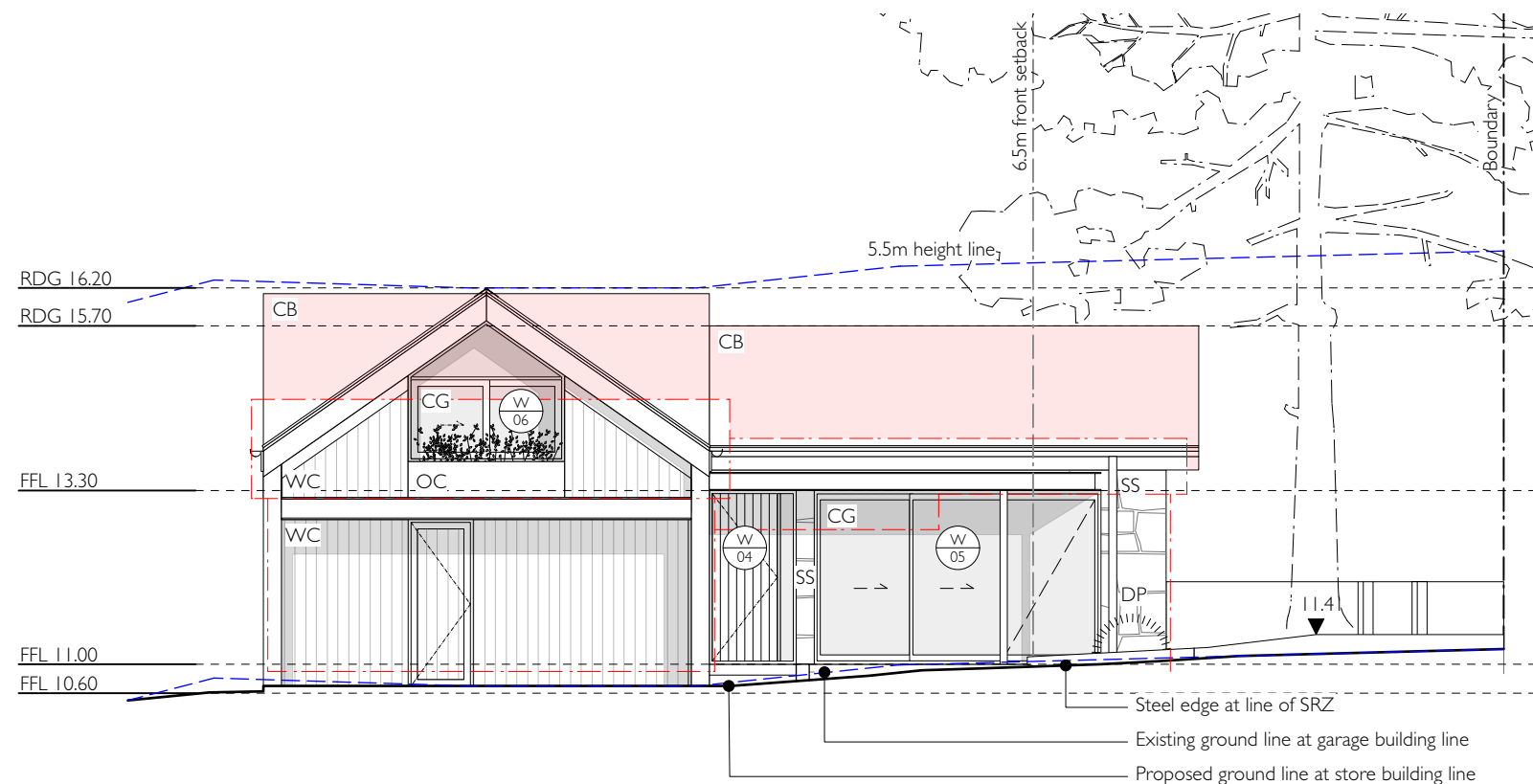
GROUND FLOOR PLAN



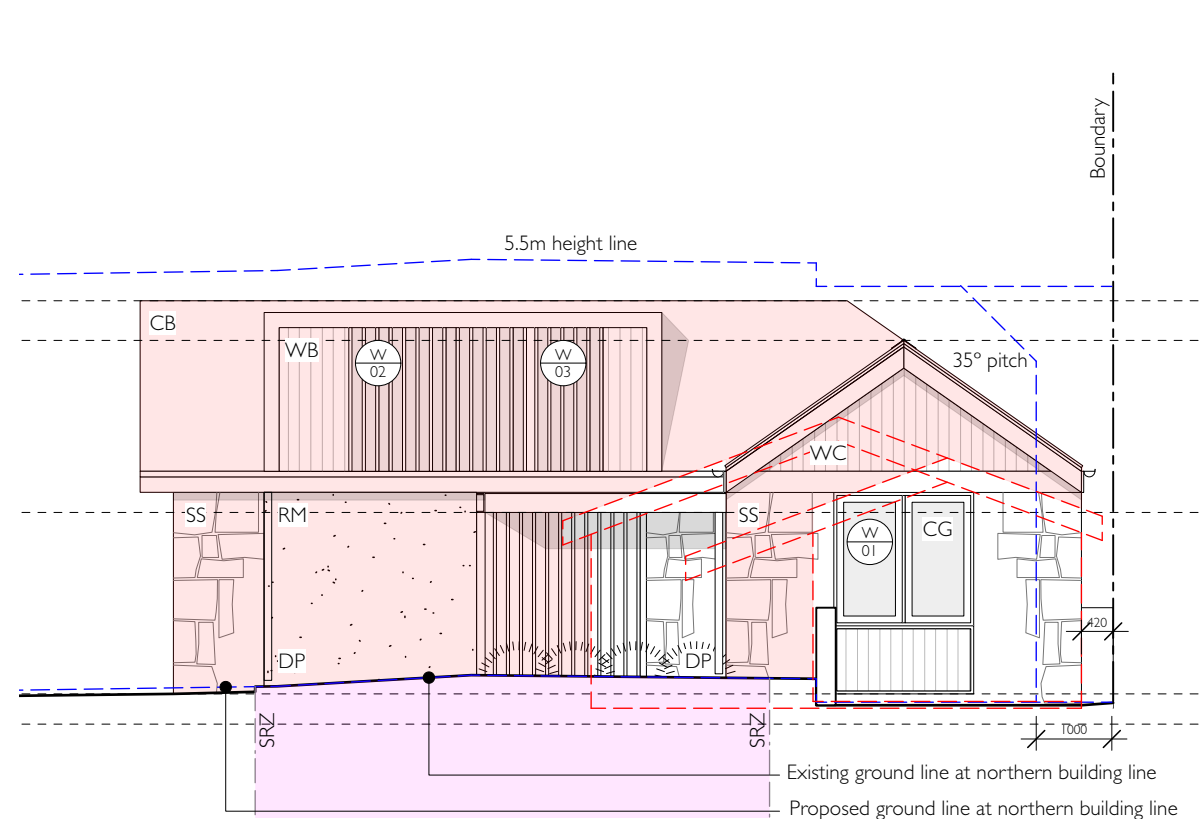
UPPER FLOOR PLAN

<div><div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div><div><div><div><div></div><div></div></div><div><div><div>existing walls to be retained</div><div>existing walls/structures to be demolished</div></div><div><div>proposed walls</div><div>extent of new works</div></div></div><div><div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div></div></div></div>	Revisions:			Drawing: <b>SECONDARY DWELLING - GROUND &amp; UPPER FLOOR PLAN</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>
	Issue:	Date:	Amendment:	Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 13</b>	
	A	26.06.25	DA issue		Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>	
							Client: <b>Joe + Margaret Grech</b>

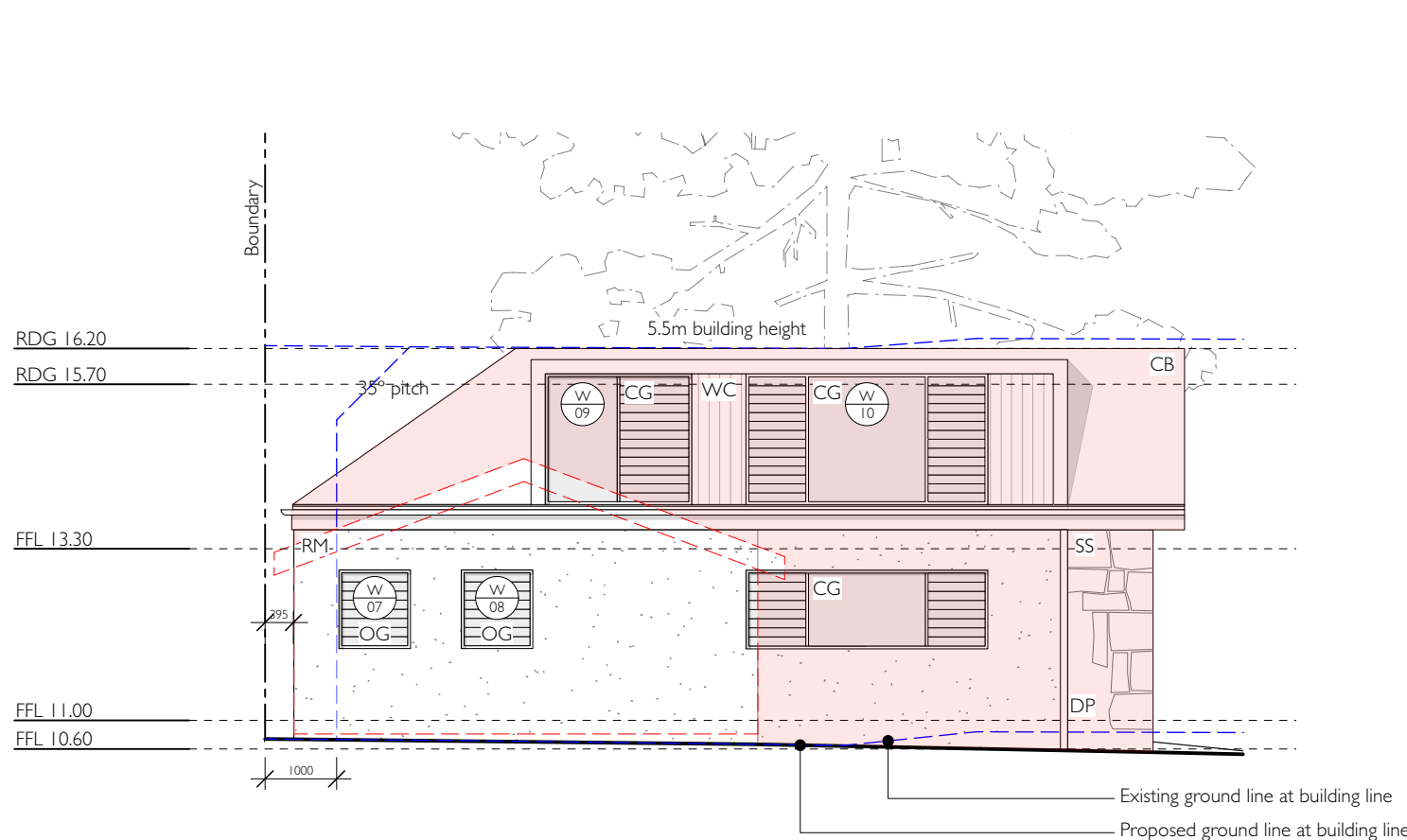




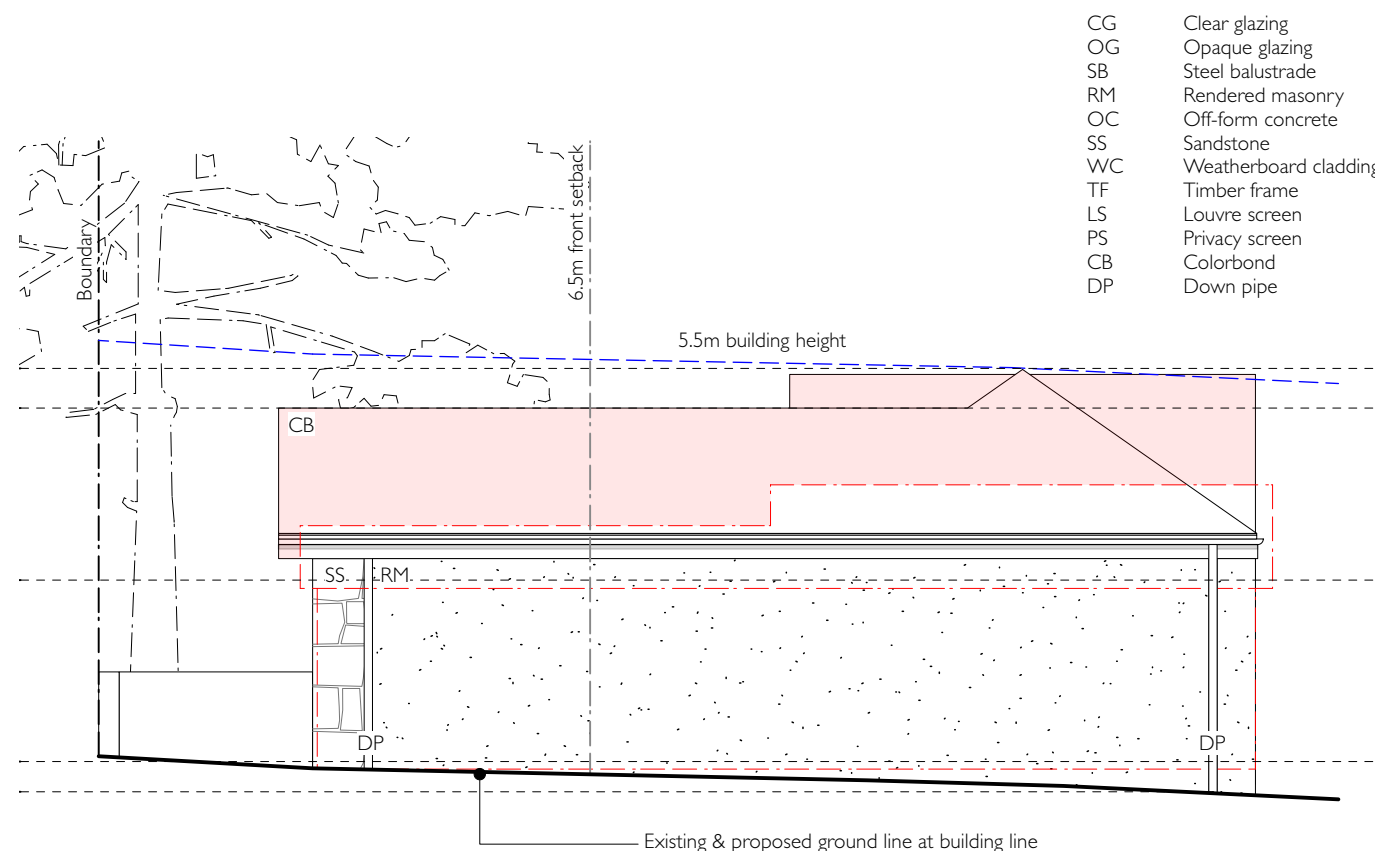
ELEVATION EAST



ELEVATION NORTH



ELEVATION SOUTH



ELEVATION WEST

- CG Clear glazing
- OG Opaque glazing
- SB Steel balustrade
- RM Rendered masonry
- OC Off-form concrete
- SS Sandstone
- WC Weatherboard cladding
- TF Timber frame
- LS Louvre screen
- PS Privacy screen
- CB Colorbond
- DP Down pipe

**RH/a**

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- existing walls to be retained
- existing walls/structures to be demolished
- proposed walls
- extent of new works

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Revisions:

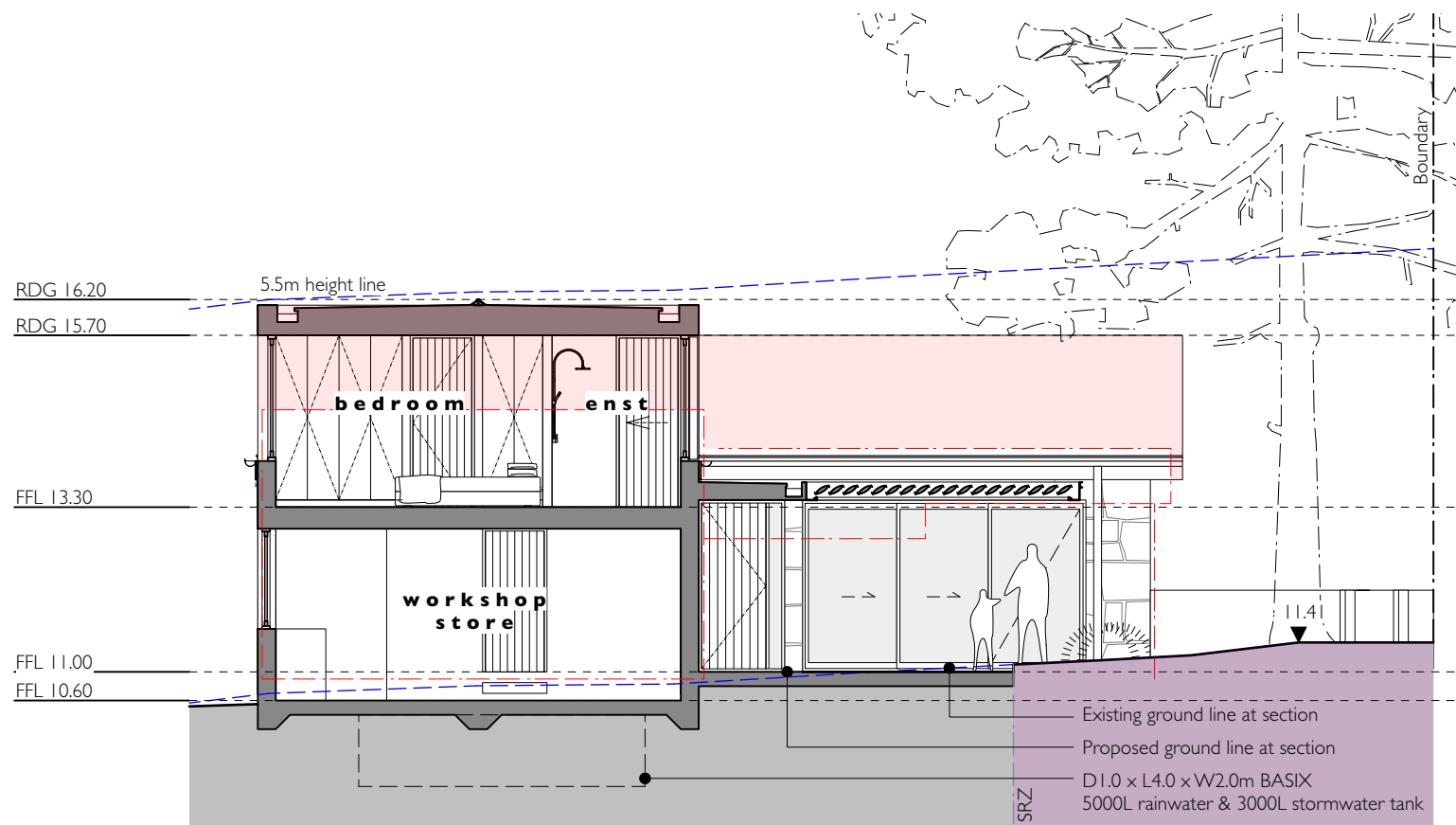
Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**SECONDARY DWELLING - ELEVATIONS**

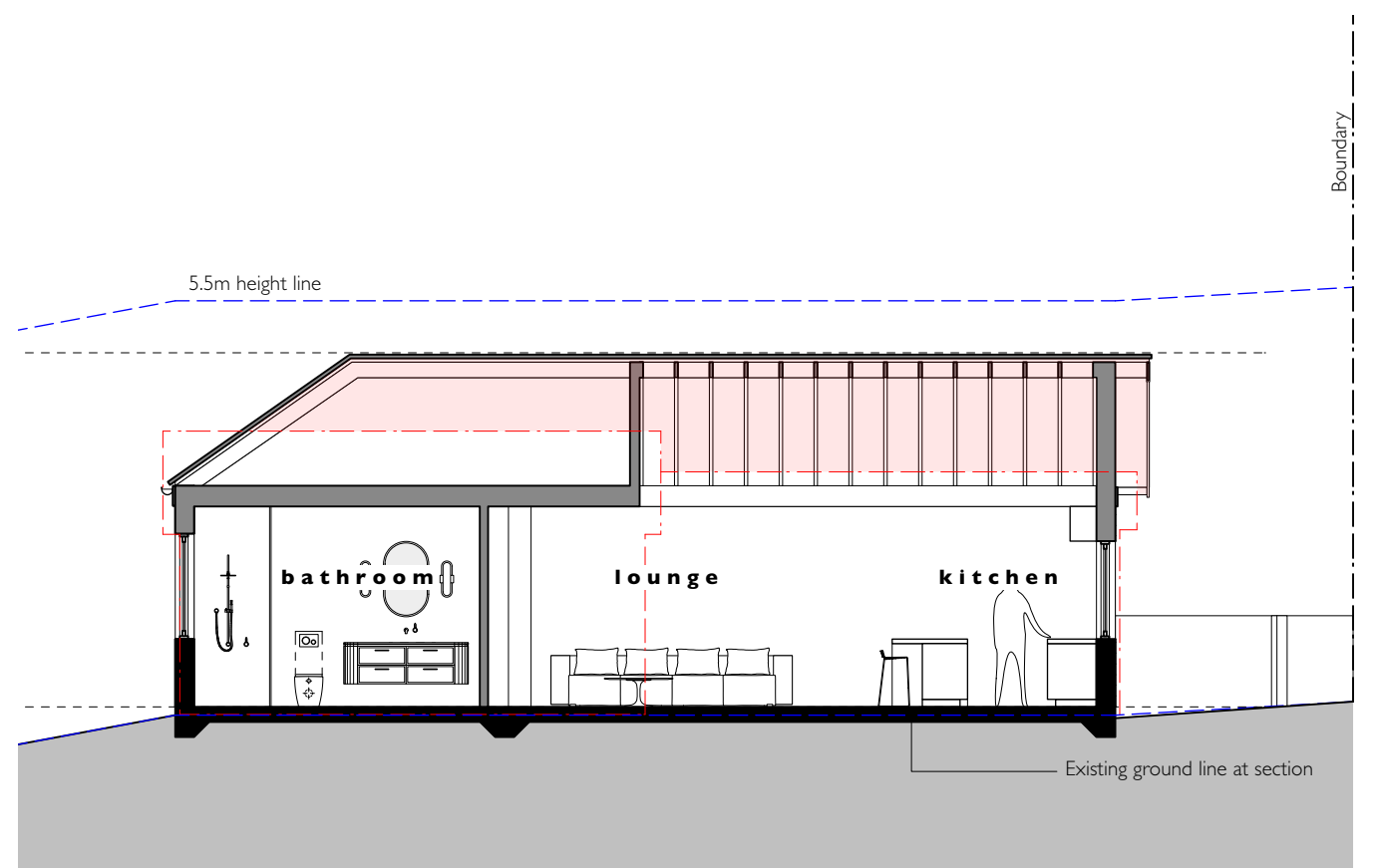
Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 14</b>
	Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>

Project:  
**ALTERATIONS + ADDITIONS  
inc. SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

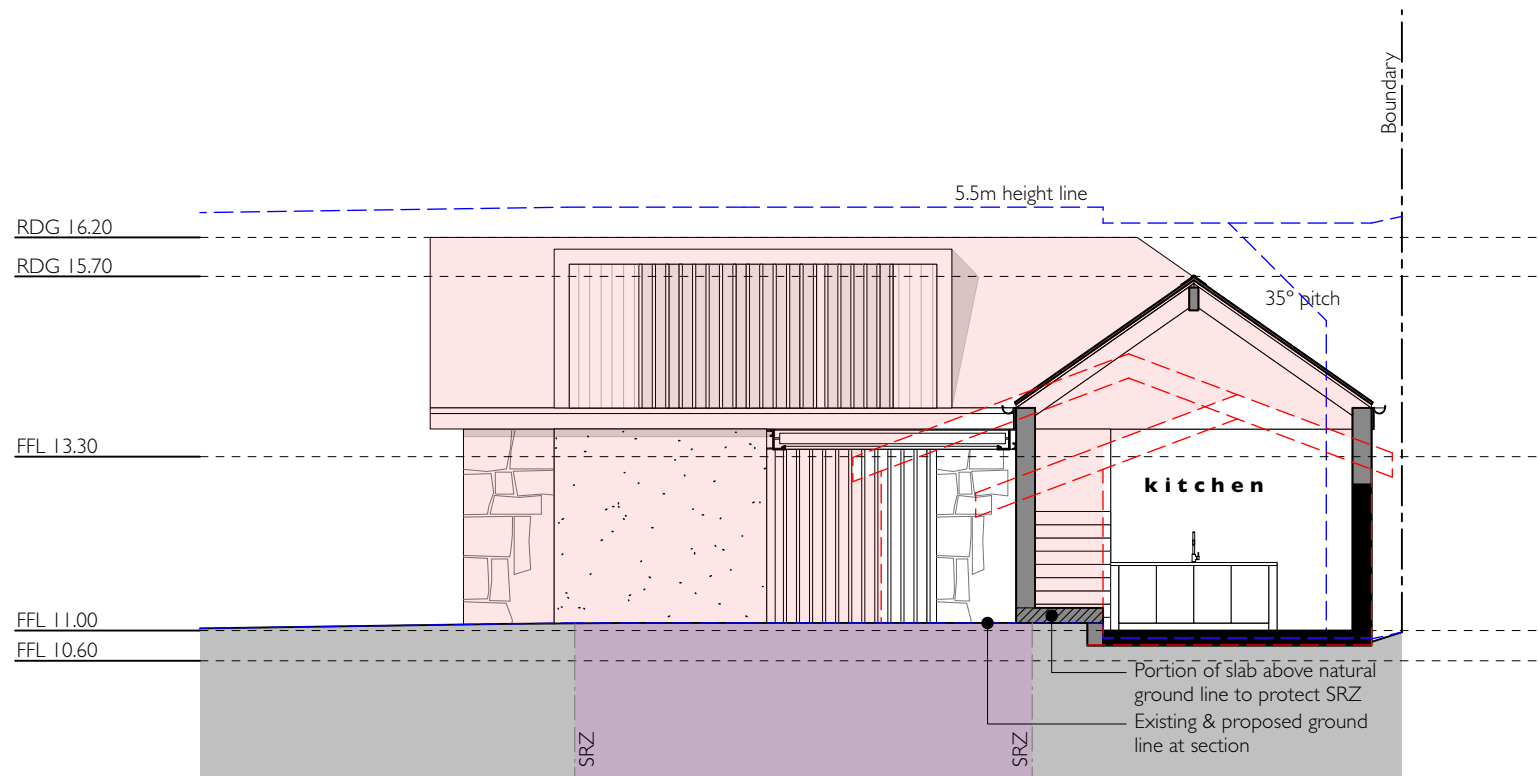
Client:  
**Joe + Margaret Grech**



SECTION FF



SECTION GG



SECTION HH

**RH/a**

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existing walls to be retained  
existing walls/structures to be demolished  
proposed walls  
extent of new works

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Revisions:

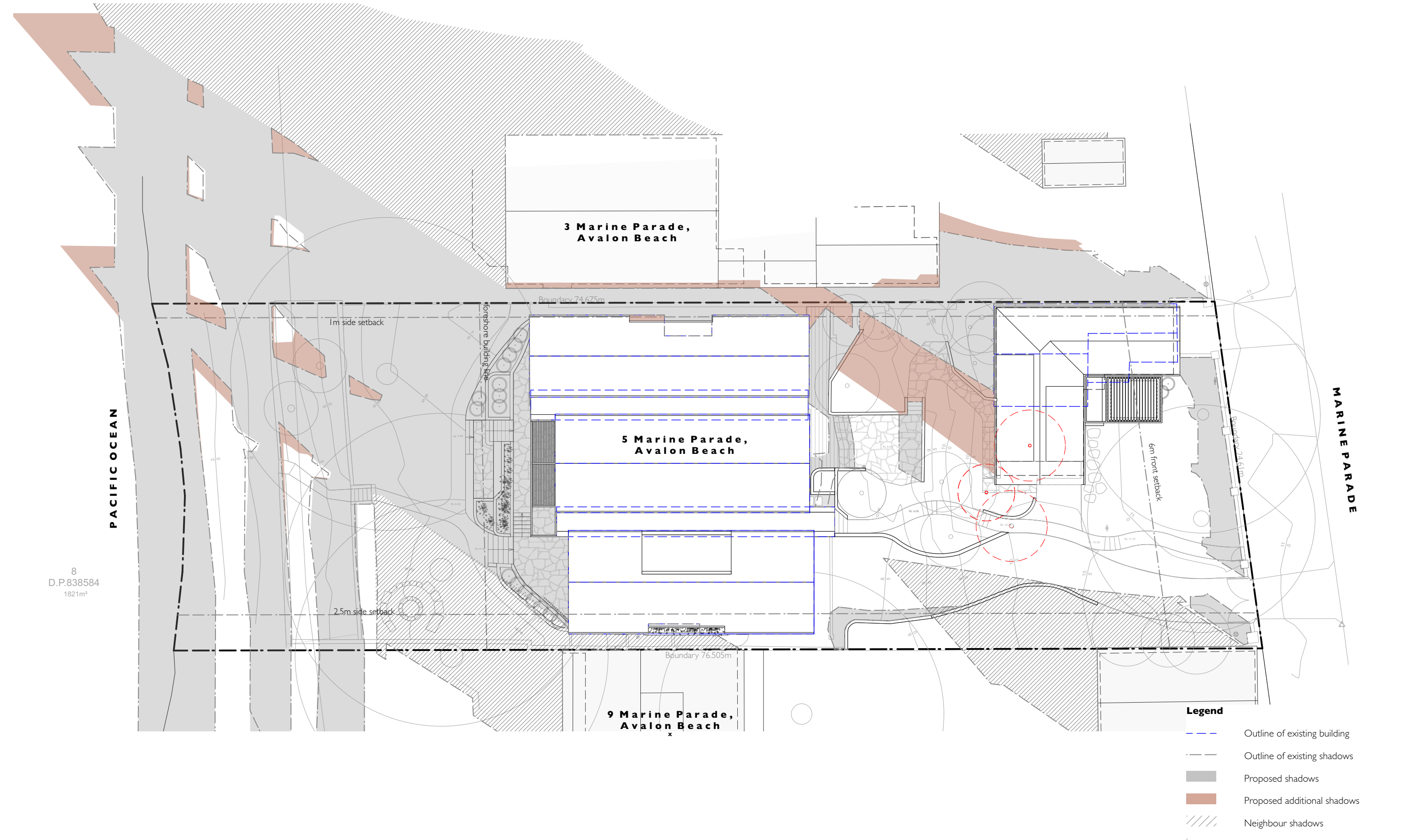
Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**SECONDARY DWELLING - SECTIONS**

Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 15</b>
	Scale: <b>1:100 @ A3</b>	Issue: <b>A</b>

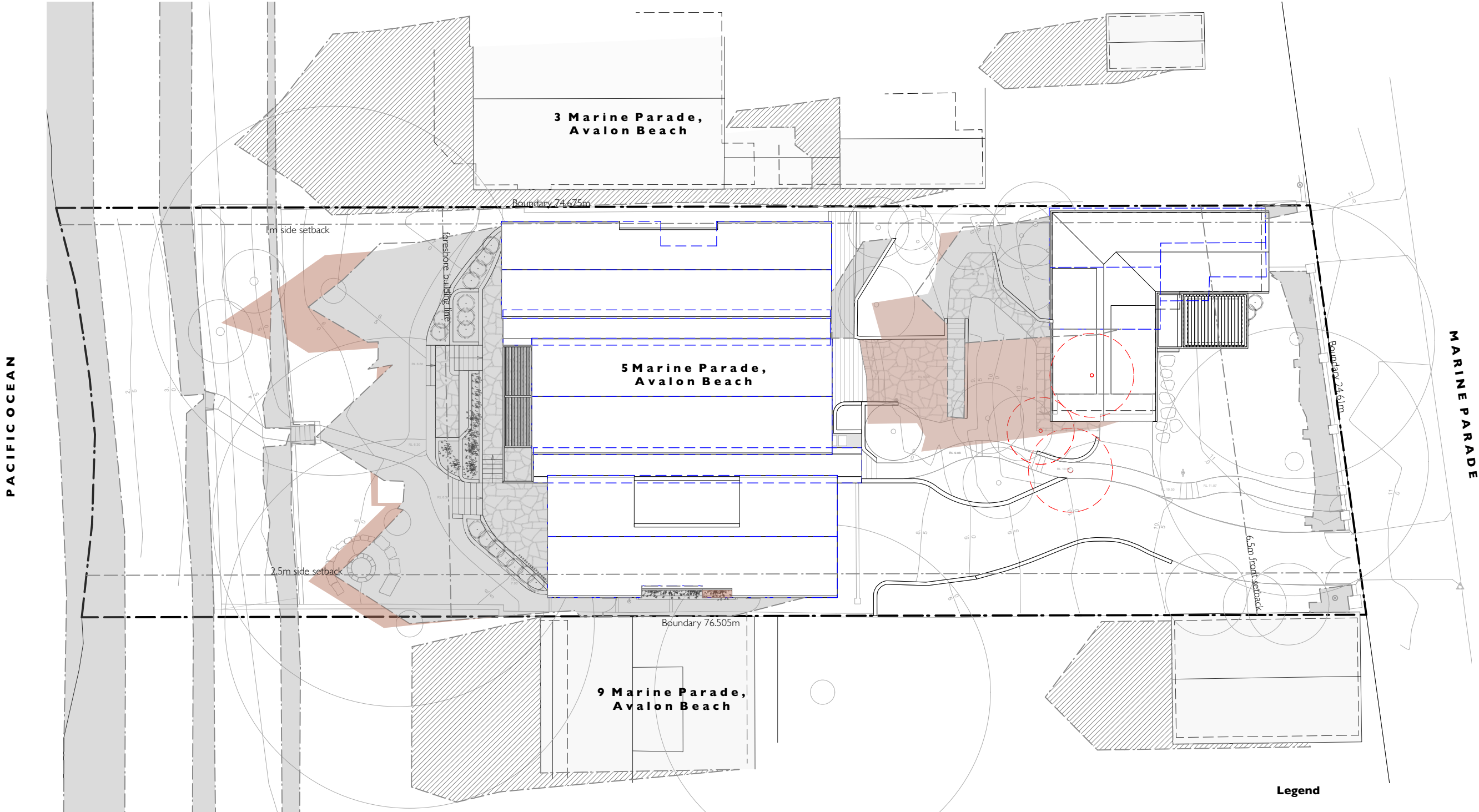
Project:  
**ALTERATIONS + ADDITIONS  
SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

Client:  
**Joe + Margaret Grech**

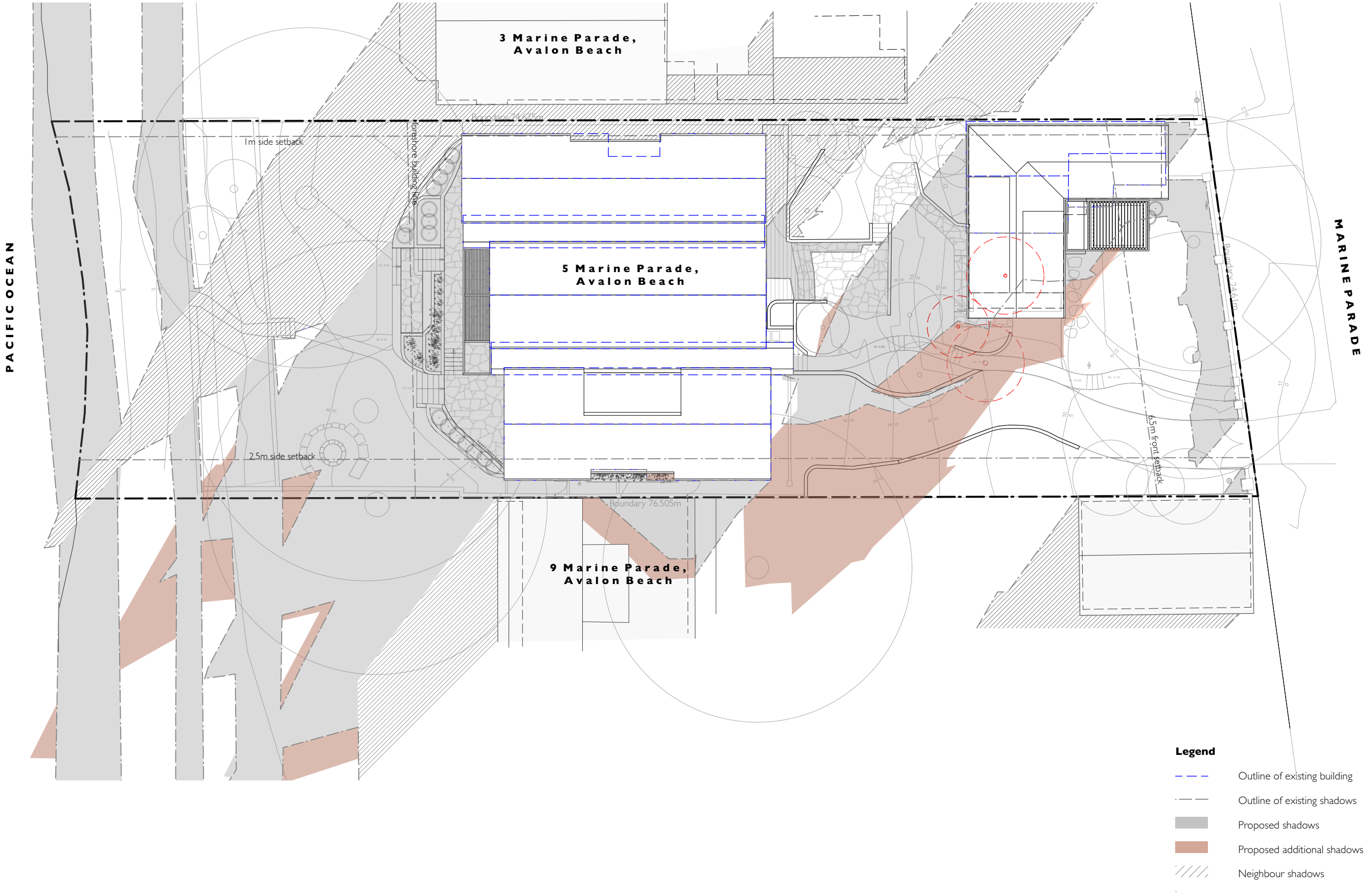


<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div></div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div>	Revisions:			Drawing: <b>SHADOW DIAGRAM - 9AM, 21ST JUNE</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	
		A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:250</b>	Issue: <b>A</b>	Client: <b>Joe + Margaret Grech</b>





<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div></div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div>	Revisions:			Drawing: SHADOW DIAGRAM - 12PM, 21ST JUNE			Project: ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING 5 Marine Parade Avalon Beach NSW 2107
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	
		A	26.06.25	DA issue	204	Scale: 1:250	Issue: A	Client: Joe + Margaret Grech



- Legend**
- Outline of existing building
  - Outline of existing shadows
  - Proposed shadows
  - Proposed additional shadows
  - Neighbour shadows

<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div><div></div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div>	Revisions:			Drawing: <b>SHADOW DIAGRAM - 3PM, 21ST JUNE</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING 5 Marine Parade Avalon Beach NSW 2107</b>
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	
		A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:250</b>	Issue: <b>A</b>	Client: <b>Joe + Margaret Grech</b>



**Soft Landscaping**  
- garden surrounds



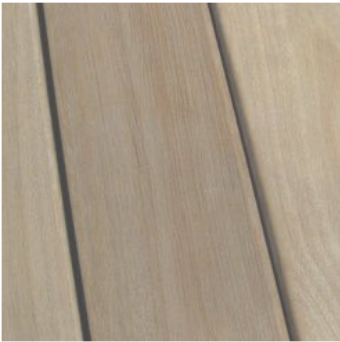
**Sandstone Cladding**  
- main dwelling & secondary dwelling  
- dwelling accents & fire place



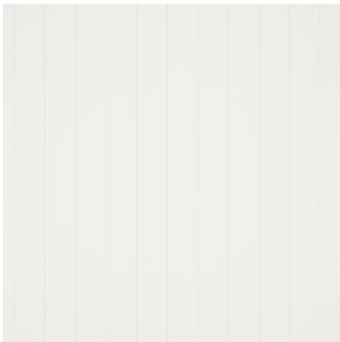
**Concrete**  
- box gutters main dwelling  
- dwelling accents main & secondary dwelling  
- landscaping features



**Sandstone Pavers**  
- landscaping features  
- terrace | main dwelling & terrace secondary dwelling



**Tallowwood**  
- decking - deck | main dwelling



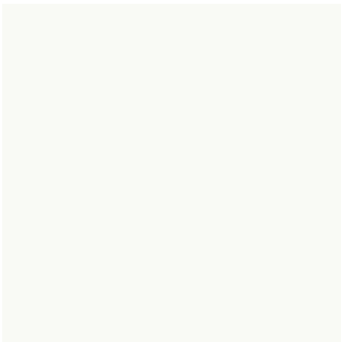
**Shiplap Cladding**  
- main dwelling & secondary dwelling  
- DULUX Snowy Mtns half or similar



**Textured render finish**  
- main dwelling & secondary dwelling  
- DULUX Snowy Mountains half or similar



**Colorbond Windspray**  
- main dwelling & secondary dwelling  
- roofing, gutters, downpipes



**Trims & Soffits**  
- DULUX Vivid white or similar



**Window Frames**  
- light colour aluminium

<div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564</div><div>www.rachelhudson.com.au</div><div>rachel@rachelhudson.com.au</div></div>	<div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div>	Revisions:			Drawing: <b>SCHEDULE OF EXTERNAL FINISHES</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>
		Issue:	Date:	Amendment:	Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 19</b>	
		A	26.06.25	DA issue		Scale: <b>N/A</b>	Issue: <b>A</b>	Client: <b>Joe + Margaret Grech</b>



<div><div>STORMWATER DRAINAGE NOTES</div><div><div><div>- ALL PIPES TO BE 100mm Ø uPVC, LAID AT 1% MINIMUM GRADE TO AS1254.2002 U.N.O.</div><div>- ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D BELOW PAVEMENTS. (NO COMPACTION IS REQUIRED BELOW LANDSCAPING).</div><div>- COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.</div><div>- DOWNPIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.</div><div>- PROVIDE CLEANING EYES AND LEAF CATCHERS TO ALL DOWNPIPES.</div><div>- ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.</div><div>- ALL LEVELS SHOWN ARE TO AHD.</div><div>- ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.</div><div>- ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.</div><div>- ALL WORKS TO BE IN ACCORDANCE WITH AS3500.3-2003 NATIONAL PLUMBING AND DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.</div><div>- SUBSOIL DRAINS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3500.3 ALONGSIDE WALLS THAT IMPEDE THE NATURAL FLOW OF GROUNDWATER. THIS MAY ALSO INVOLVE TRENCHING INTO THE CLAY OR ROCK SUBGRADE TO DIRECT GROUNDWATER AWAY FROM STRUCTURES.</div><div>- EXISTING ROOF DRAINAGE AND SITE DRAINAGE SYSTEM TO BE CHECKED AND UPGRADED AS REQUIRED. BUILDER TO INSPECT AND UPGRADE DRAINAGE IN ACCORDANCE WITH AS3500.3 IF REQUIRED.</div></div></div></div>			<div><div>RAINWATER STORAGE/REUSE NOTES</div><div><div><div>- THE RAINWATER TANK IS TO BE INSTALLED AND USED AS PER BASIX REQUIREMENTS AND SYDNEY WATER AND NSW HEALTH REQUIREMENTS FOR NON DRINKING USE ONLY.</div><div>- ALL CONNECTIONS TO PLUMBING AND RAINWATER TANKS IS TO BE IN ACCORDANCE WITH SYDNEY WATERS 'GUIDE TO INSTALLING A RAINWATER TANK' AVAILABLE AT: WWW.SYDNEYWATER.COM.AU.</div><div>- PROVIDE DUAL SUPPLY SYSTEM AND BACKFLOW PREVENTION SYSTEM IN ACCORDANCE WITH 'BASIX - DESIGN GUIDE FOR SINGLE DWELLINGS' BY NSW DEPARTMENT OF INFRASTRUCTURE, PLANNING AND NATURAL RESOURCES.</div><div>- IF NOT SPECIFIED ON PLANS,THE FIRST FLUSH SYSTEM IS TO HAVE A MINIMUM SIZE OF 20L PER 100 m2 OF ROOF CATCHMENT AREA PRIOR TO ENTERING THE RAINWATER TANK. INDIVIDUAL SITE ANALYSIS IS REQUIRED IN HEAVILY POLLUTED AREAS TO DETERMINE IF LARGER VOLUMES OF FIRST FLUSH RAINWATER ARE TO BE DIVERTED. IF IN DOUBT,CHECK WITH LOCAL HEALTH AUTHORITIES.</div><div>- SCREENED DOWNPIPE RAINWATER HEAD OR OTHER SUITABLE LEAF AND DEBRIS DEVICE TO BE INSTALLED ON EACH DOWNPIPE. SCREEN MESH TO BE 4-6mm AND DESIGNED TO BE SELF-CLEANING.</div><div>- FIRST FLUSH DEvised, OR APPROVED ALTERNATIVE TO BE INSTALLED WITH AND AUTOMATED DIVERSION AND DRAINAGE SYSTEM,THAT IS, NO MANUAL DIVERSION AND DRAINAGE VALVES. REFER TYPICAL FLUSH OUT PIT FOR DETAILS.</div><div>- BEFORE PURCHASING MATERIALS OR PAINT TO BE USED ON ROOF CATCHMENT AREAS,THE MANUFACTURER'S RECOMMENDATIONS ON LABELS AND BROCHURES FOR RAINWATER TANK SUITABILITY TO BE READ AND ADHERED TO.</div><div>- BUILDER/PLUMBER TO ENSURE THE INSTALLATION OF THE RAINWATER TANK SYSTEM IS IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND THE RAINWATER TANK DESIGN AND INSTALLATION HANDBOOK - HB 230-2008. IF IN DOUBT CONTACT ENGINEER.</div><div>- RAINWATER TANK TO BE WATERPROOFED IN ACCORDANCE WITH HB-230-2008.</div><div>- ORIFICE PLATE (IF APPLICABLE) TO BE INSTALLED PRIOR TO THE INSTALLATION OF THE ROOF DRAINAGE SYSTEM AND CONNECTION OF THE STORMWATER SYSTEM TO THE OSD TANK.</div></div></div></div>			<div><div>WATER MANAGEMENT REPORT</div><div><div><div><b>B5.8 Stormwater Management - Water Quality – Low Density Residential</b><div>The controls seek to achieve the outcomes: No increase in pollutants discharged with stormwater into the environment. (En) Development is compatible with Water Sensitive Urban Design principles. (En)</div></div><div><div><i>Roofwater from the new roof areas will be connected to the existing system and as there is no substantial change to the runoff characteristics of the site, the retention of the existing arrangements is reasonable in this instance.</i></div></div></div><div><div><b>B5.10 Stormwater Discharge into Public Drainage System</b><div>The controls seek to achieve the outcomes: All new development to have no adverse environmental impact at the discharge location (En, S)</div></div><div><div><i>The stormwater from the roof areas will be connected to the existing system which disperses stormwater within the rear yard and ultimately to Avalon Beach.</i> <i>As such, there will not be any substantial change to the existing stormwater discharge arrangements.</i></div></div></div><div><div><b>B5.11 Stormwater Discharge into Waterways and Coastal Areas</b><div>The controls seek to achieve the outcomes: All new development to have no adverse environmental impact at the discharge location (En, S)</div></div><div><div><i>The stormwater from the roof areas will be connected to the existing system which disperses stormwater within the rear yard and is naturally directed to Avalon Beach.</i> <i>As such, there will not be any substantial change to the existing stormwater discharge arrangements.</i></div></div></div><div><div><b>B5.13 Development on Waterfront Land</b><div>The controls seek to achieve the outcomes: Protection of waterways and improved riparian health (En) Stormwater and creek flows are safely managed. (S) Appropriate setback between waterways and development (En)</div></div><div><div><i>The proposed alterations and additions will maintain the stability and stormwater flows of the site.</i> <i>The proposal will therefore comply with this control.</i></div></div></div><div><div><b>B5.15 Stormwater</b><div>The controls seek to achieve the outcomes: Improve the quality of water discharged to our natural areas to protect and improve the ecological and recreational condition of our beaches, waterways, riparian areas and bushland; Minimise the risk to public health and safety; Reduce the risk to life and property from any flooding and groundwater damage; Integrate Water Sensitive Urban Design measures in new developments to address stormwater and floodplain management issues, maximise liveability and reduce the impacts of climate change.</div></div><div><div>Mimic natural stormwater flows by minimising impervious areas, reusing rainwater and stormwater and providing treatment measures that replicate the natural water cycle Reduce the consumption of potable water by encouraging water efficiency, the reuse of water and use of alternative water sources Protect Council's stormwater drainage assets during development works and to ensure Council's drainage rights are not compromised by development activities.</div></div><div><div><i>Roofwater from the new roof areas will be connected to the existing system and as there is no substantial change to the runoff characteristics of the site, the retention of the existing arrangements is reasonable in this instance.</i></div></div></div></div></div>			
<div><div><div>RH/a</div><div>rachel hudson architect</div><div>0410 323 564 www.rachelhudson.com.au rachel@rachelhudson.com.au</div></div><div><div>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</div></div></div>			Revisions:		Drawing: <b>STORMWATER MANAGEMENT PLAN - GENERAL NOTES</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>	
			Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	Client: <b>Joe + Margaret Grech</b>
			A	26.06.25	DA issue	<b>204</b>	Scale: <b>N/A</b>	<b>DA - 20</b>  Issue: <b>A</b>	

NOTES:

THE BUILDER IS TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER IF EXISTING STORMWATER PIPES ARE TO BE RE-USED. THE PIPES SHOULD BE IN GOOD CONDITION OR REPAIRED AS REQUIRED.

ALL EXISTING SURFACE DRAINAGE TO BE RETAINED IS TO BE UPGRADED BY THE BUILDER IN ACCORDANCE WITH AS3500.3.

ALL DRAINAGE LINES SHOWN ARE INDICATIVE ONLY. LOCATION MAY VARY ON SITE DUE TO CONSTRAINTS.

ADDITIONAL SUBSOIL AND SURFACE DRAINAGE TO BE PROVIDED AS REQUIRED IN ACCORDANCE WITH AS.3500.3 AND NCC REQUIREMENTS.

PACIFIC OCEAN

3 Marine Parade,  
Avalon Beach

new DP to be  
connected to existing  
stormwater line

Boundary 74.675m

1m side setback

operable louvre system  
not catchment

5 Marine Parade,  
Avalon Beach

retain existing box gutter

new DPs to be  
connected to existing  
stormwater line

Proposed  
Secondary  
Dwelling

operable louvre  
system not  
catchment

BASIX requirement  
5,000L rainwater tank  
3,000L stormwater tank  
\*beneath slab  
D1.0 x L4.0 x W2.0m

overflow directed to  
existing stormwater  
system

MARINE PARADE

Boundary 24.61m

Builder to locate existing stormwater  
pipeline and clean out, inspect and  
upgrade if required. All work to be in  
accordance with AS 3500.3 NCC and  
Council requirements

The stormwater from the roof areas will  
be connected to the existing system  
which disperses stormwater within the  
rear yard and ultimately to Avalon Beach

2.5m side setback

approximate existing  
stormwater line

Boundary 76.505m

9 Marine Parade,  
Avalon Beach



**DIAL 1100**  
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DIAL BEFORE YOU DIG NOTICE

NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE.  
ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY  
EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY  
THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGE CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

STORMWATER CONCEPT LEGEND

DP1	100mmø downpipe to stormwater outlet
DP2	100mmø downpipe to rainwater & stormwater tank
EDP	Approximate location of existing downpipe, builder to confirm onsite
SP	Denotes spreader pipe to roof below
	100mmø uPVC stormwater pipeline, UNO - gravity line, provide 1% (min) fall in direction indicated
	Existing 100mmø uPVC stormwater pipeline, UNO - gravity line, provide 1% (min) fall in direction indicated
	Grated drain
	Surface fall in direction indicated by arrow, 1% minimum fall

CALCULATIONS

Site Area	1821sqm
Min. soft landscape area (54%)	983.34sqm
Min. outdoor recreational area (6%)	76.9sqm
Proposed soft landscape area	989sqm (54.3%)
Proposed outdoor recreational area	127sqm (7%)
Existing soft landscaping	1020.7sqm
Soft landscaping to be retained	959sqm
Proposed hard surface area	832sqm
Existing hard surface area	800.3sqm
Hard surface area to be retained	790sqm
	proposed soft landscaping
	proposed outdoor recreational area
	new roof area - 41.2m2

**RH/a**

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Revisions:

Issue:	Date:	Amendment:
A	26.06.25	DA issue

Drawing:  
**STORMWATER MANAGEMENT PLAN - SITE DRAINAGE PLAN**

Job Number: <b>204</b>	Lot No. 18 DP 12979	Drawing Number: <b>DA - 21</b>
	Scale: <b>1:200 @ A3</b>	Issue: <b>A</b>

Project:  
**ALTERATIONS + ADDITIONS  
inc. SECONDARY DWELLING  
5 Marine Parade Avalon Beach NSW 2107**

Client:  
**Joe + Margaret Grech**

BASIX COMMITMENTS - RWT + SWT

RAINWATER TANK (RWT)

The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 62 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.

STORMWATER TANK (SWT)

The applicant must install a stormwater tank with a capacity of at least 3000 litres on the site.

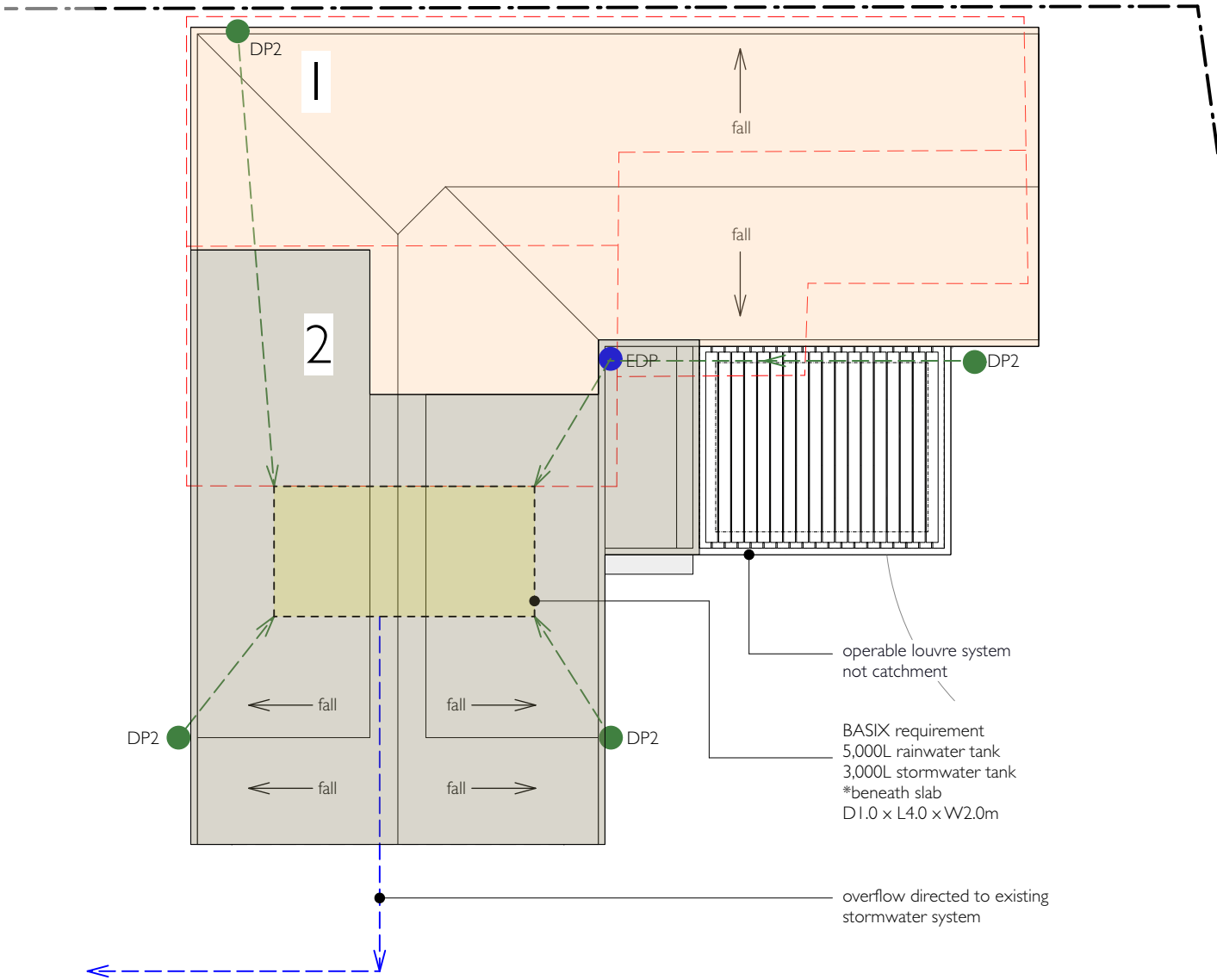
This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the stormwater tank to collect overflow from the rainwater tank.

The applicant must configure the stormwater tank to collect runoff from:

- at least 54 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)

STORMWATER CONCEPT LEGEND		ROOF CATCHMENT TABLE		
DP1 ●	100mmø downpipe to stormwater outlet	KEY	CATCHMENT AREA	AREA TO DOWNPIPE
DP2 ●	100mmø downpipe to rainwater & stormwater tank		1	62m2
EDP ●	Approximate location of existing downpipe, builder to confirm onsite			
SP ●E	Denotes spreader pipe to roof below			
← - -	100mmø uPVC stormwater pipeline, UNO - gravity line, provide 1% (min) fall in direction indicated		2	54m2
← - -	Existing 100mmø uPVC stormwater pipeline, UNO - gravity line, provide 1% (min) fall in direction indicated			
▣	Grated drain			
←	Surface fall in direction indicated by arrow, 1% minimum fall			



SECONDARY DWELLING ROOF PLAN

<div><b>RH/a</b></div> <div>rachel hudson architect</div> <div>0410 323 564</div> <div>www.rachelhudson.com.au</div> <div>rachel@rachelhudson.com.au</div>	<div></div> <div><small>This drawing is subject to copyright and is not to be used or reproduced for purposes other than construction of the subject building on the subject site without the consent of RH/a. Figured dimensions take precedence. All dimensions are to be verified on site prior to ordering any materials and/or building elements and prior to commencement of the affected works. Any discrepancies are to be reported to the authority immediately. This drawing not to be used for construction unless it is issued for construction and so marked in amended column and is approved and signed by RH/a</small></div>	Revisions:			Drawing: <b>STORMWATER MANAGEMENT PLAN - ROOF DRAINAGE PLAN</b>			Project: <b>ALTERATIONS + ADDITIONS inc. SECONDARY DWELLING</b> <b>5 Marine Parade Avalon Beach NSW 2107</b>
		Issue:	Date:	Amendment:	Job Number:	Lot No. 18 DP 12979	Drawing Number:	
		A	26.06.25	DA issue	<b>204</b>	Scale: <b>1:100 @ A3</b>	<b>DA - 22</b>  Issue: <b>A</b>	Client: <b>Joe + Margaret Grech</b>