

PROPOSED ALTERATIONS & ADDITIONS
LOUISE FOWLER & DAVID LORIMER
10 WILLANDRA ROAD
BEACON HILL NSW 2100

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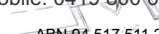
EXISTING REAR PERSPECTIVE



FRONT PERSPECTIVE
 SHOWING NEW ROOF LINE



PROPOSED REAR PERSPECTIVE

PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1 : 100mm	 Planning 2 Build Planning Design & Drafting DA & CDC Submissions  Phone: 9476 4983  Mobile: 0419 800 614 Licence No 6716C  planning2build.com.au  ABN 94 517 511 283	OFFICE 232 Galston Road Hornsby Heights NSW 2077 This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build	 ACCREDITED BUILDING DESIGNER	 Master Builders Association MEMBER MASTER BUILDER, BETTER BUILDER	
CLIENT:	LOUISE FOWLER & DAVID LORIMER	DATE:	8th FEBRUARY 2022					
SITE ADDRESS:	10 WILLANDRA ROAD BEACON HILL NSW 2100	SHEET:	Page 1 / 6					

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BUSH FIRE PRONE LAND

Construction shall comply with Australian Standard A53959-2009 "Construction of buildings in bush fire-prone areas" in accordance with the rating contained in the Bush Fire Hazard assessment.

Roof framing using H2 LVL rafters @ 600mm cts all to AS 1684.
New roofing, Fascia, guttering and eaves linings all to AS 3959-2009 Building in Bush Fire Prone land
Downpipes to existing stormwater service.

Existing Ridge Ht 115.380

Existing Ceiling Ht 113.635

Existing FFL 110.87

Existing GL 109.40

NORTH ELEVATION

REAR ELEVATION

Construct new timber framed walling and roof framing in H2 MGP 10 Timber all to AS 1684.
New RC slab and tiled terrace on brick foundation walling and strip footings to Engineers details.
Roofing supported on Galvanised SHS posts and PFC roof beams to engineers details.
Selected handrailing / RC & tiled stairs as shown.

Existing Ridge Ht 115.380

Existing Ceiling Ht 113.635

Min Roof pitch 5 degrees

Ex Driveway level 110.80

Existing GL 109.40

FRONT ELEVATION

SOUTH ELEVATION

Demolish existing timber deck & lounge room roof & walling to below Floor Level.
New Footings and subfloor using 110mm thick brickwork to foundation walling.
250mm brick veneer walling as shown to match existing.
Clean and reuse existing bricks where possible.
Replace new Floor bearers, joists & flooring as required as substrate to new floor coverings throughout.

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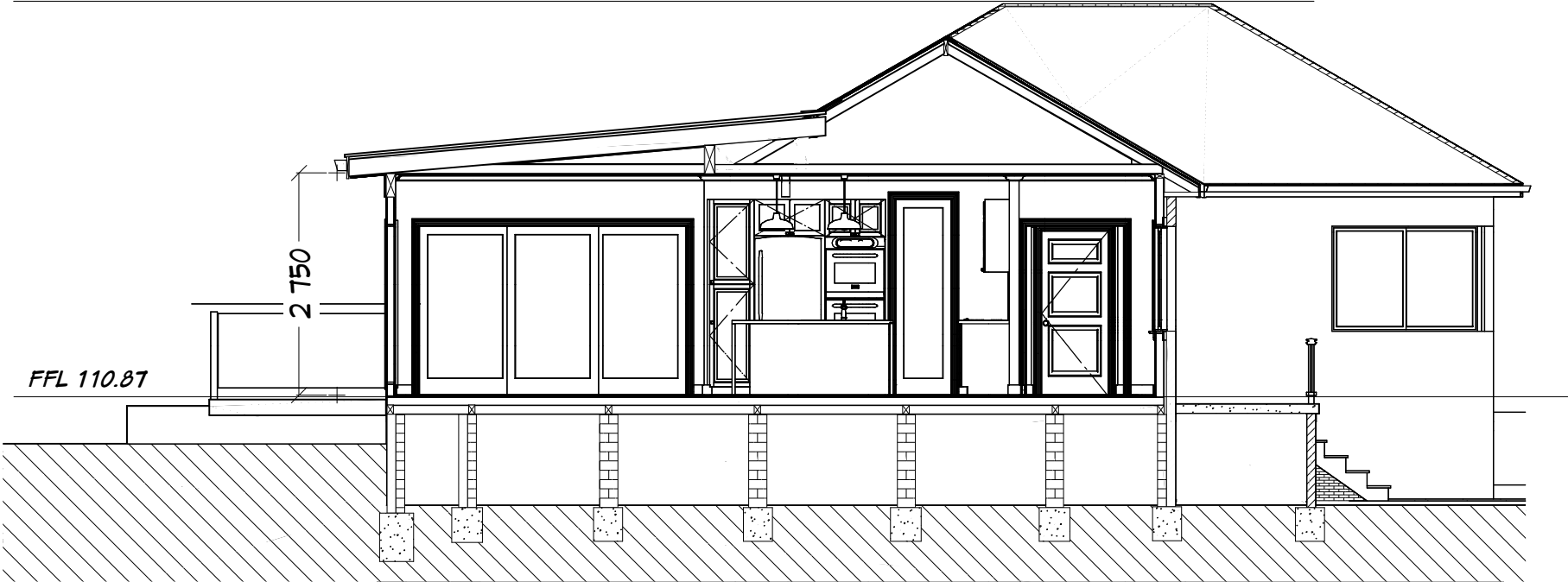
GENERAL SPECIFICATION

NO	ITEM	DESCRIPTION
1	Preliminaries	Provide safe access to site including all work zones. All scaffolding to be erected and installed to Australian Standards. Site to be kept clean of debris and materials kept stored appropriately
2	Site Setting out	All relative boundaries and levels are to be located and checked as per the current survey.
3	Demolition	All demolition as required to be carried to the required WH&S guidelines and the Scaffolding Safe Code of Practice. Remove all debris from site as required
4	Asbestos & Hazardous	Check for hazardous substances including asbestos and remove safely to WH&S guidelines and the Safe Code of Practice for removing asbestos.
5	Workplace Health & Safety	The principal contractor is to ensure all construction and PCBU have the current licencing and white card before commencing work.
6	Excavation	Excavate for RC strip footings to rear addition & pad footings to new decks.
7	Concreting	All structural concreting to RC strip footings and pad footings to engineers' details: > Residential slabs and footings AS 2870 – 2011 > Concrete structures AS 3600 - 2009
8	Masonry	All brickwork as required Reuse existing where required
9	Framework	All structural timber to be H2 treated and constructed in accordance with AS 1684
10	External finishes	Use Hardies Axon cladding as shown with Wall wrap breathable moisture barrier to wall framing.
11	Colour scheme	Selected by owner to match existing.
12	Roof & Guttering	New Colorbond metal roofing Min 5 degrees roof pitch on H2 framed roof timbers @ 600mm cts New 125mm Quad Colorbond guttering
13	Soffits	4.5mm Hardiflex eave linings
14	Fascia's & Barge boards	Use Colourbond fascia and barge cappings
15	Insulation	R2.5 Ceiling batts Throughout new ceilings
16	Windows	Aluminium framed windows all glazing as per BASIX requirements
17	External Doors	Aluminium framed sliding door all glazing as per BASIX requirements
18	Flooring	Matching Tongue & groove flooring on new H3 treated joists
19	Internal Linings	Plasterboard linings and 90mm cornice to match existing. W/P plasterboard to external ceilings.
20	Door Jambs	Primed 110x35 RB radiate pine
21	Internal Doors	NA
22	Architraves	Matching FJ pine selected mouldings.
23	Skirtings	Matching FJ pine selected mouldings
24	Timber Deck	NA
25	Kitchen	Supply & install kitchen cabinets, benchtops & glass splashbacks as per provisional list. Supply & install PC items as per PC list.

NOTES:

Insert new roof strutting beams as required throughout roof space.
Temporary support and remove existing post & beam over Kitchen area with new supporting U-Beam set flush with ceiling joists all to Engineers detail.
New Roof framing using H2 LVL rafters @ 600mm cts all to AS 1684.
New skillion Colorbond roofing, Fascia, guttering and eaves linings all to AS 3959 - 2009
Downpipes to existing stormwater service.

Existing Ridge Line 115.76



SECTION A-A

BASIX

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction Additional insulation required

Suspended floor with enclosed subfloor: framed (R0.7).	R.60 (Down) (or R1.30 including construction
External wall: framed (weatherboard)	R1.30 (or R1.70 including construction)
Flat ceiling, pitched roof	Ceiling: R1.95 (up), roof: foil backed blanket (55mm) Dark (solar absorptance >0.70)

Windows

Item	Height x Width	Shading device & Frame	Glazing requirements
W1	2.100 x 3.300	Veranda >=900 mm standard aluminium,	Standard aluminium, single clear, (Or U-Value 7.63, SHGC 0.75)
W2	2.100 x 3.300	eave >=750 mm standard aluminium,	Standard aluminium, single clear, (Or U-Value 7.63, SHGC 0.75)
W3	0.700 x 1.800	eave >=750 mm standard aluminium,	Standard aluminium, single clear, (Or U-Value 7.63, SHGC 0.75)
W4	0.700 x 1.800	None	Standard aluminium, single clear, (Or U-Value 7.63, SHGC 0.75)

NOTES

Demolish existing timber deck & lounge room roof & walling to below Floor Level.
New Footings and subfloor using 110mm thick brickwork to foundation walling.
Replace new Floor bearers, joists & flooring as required as substrate to new floor coverings throughout.
Construct new timber framed walling and roof framing in H2 MGP 10 Timber all to AS 1684.
New RC Slab and tiled terrace on 110mm thick foundation walling on RC strip footings all to Engineers details.
Selected handrailing & RC stairs as shown.

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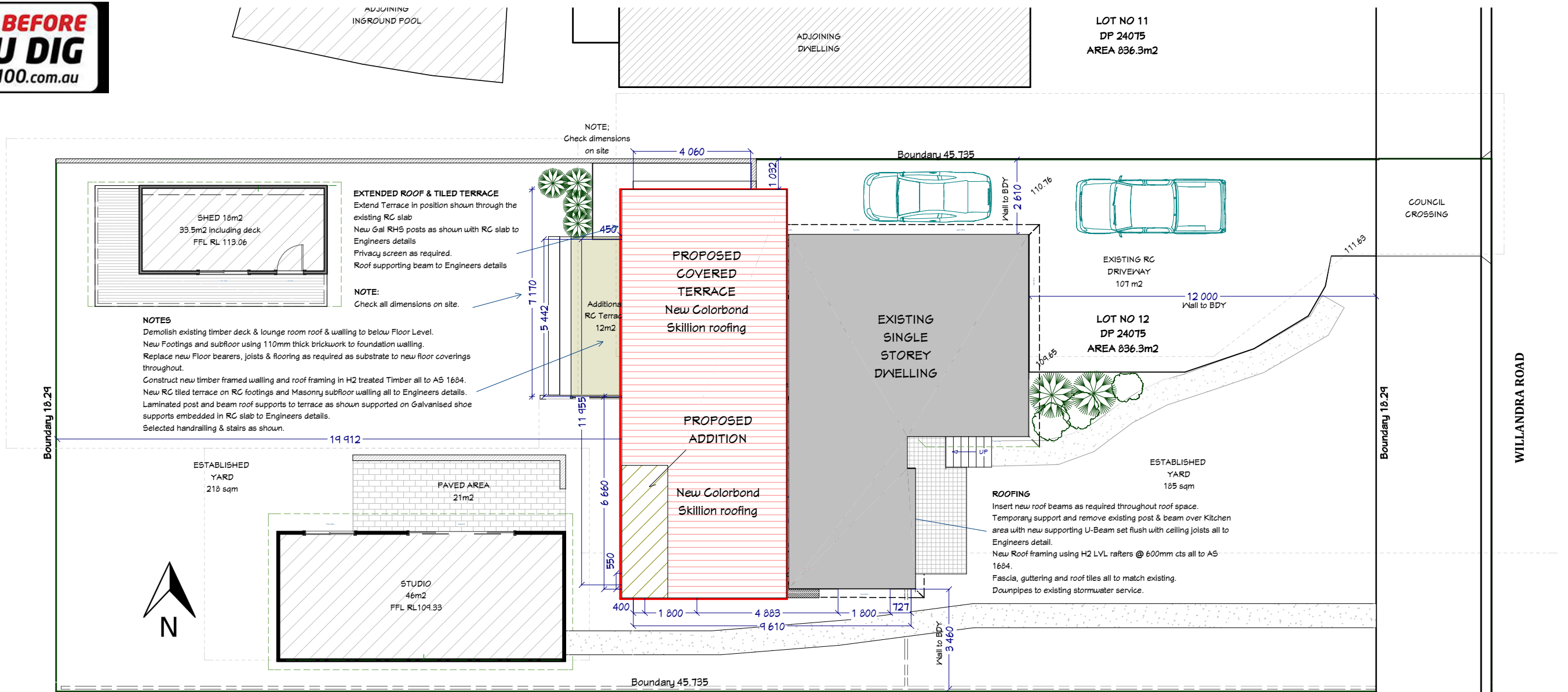
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SITE AREA	836.3 sqm
EXISTING FLOOR AREA	108.4 sqm
EXISTING SHED	18.0 sqm
EXISTING STUDIO	46 sqm
PROPOSED ADDITIONAL FLOOR AREA	4.2 sqm
PROPOSED TOTAL FLOOR AREA	176.6 sqm
FLOOR SPACE RATIO	21 %
SITE COVERAGE	
EXISTING ROOFED AREA	153.5 sqm
ADDITIONAL SITE COVERAGE (Terrace)	30 sqm
PROPOSED ROOFED AREA	183.5sqm
EXISTING DRIVEWAY	107 sqm
EXISTING SHED ROOFED AREA	33.5 sqm
EXISTING STUDIO ROOF & PAVING	67 sqm
PROPOSED SITE COVERAGE AREA	391 sqm
SITE COVERAGE RATIO	46.7 %
LANDSCAPED AREA 403 sqm	48 %

SEDIMENT CONTROL
Install 400mm high silt fencing or similar sediment barrier pegged as required.
Clear fencing of sediment periodically.
Sediment control barrier to be left in place until final surfaces have been established.

STORMWATER DRAINAGE & MANAGEMENT
All new guttering, downpipes and surface drainage is to be connected to the existing site service.
Existing stormwater drainage is to be checked for adequacy and repaired or replace if required.

PROPOSED SITE PLAN

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