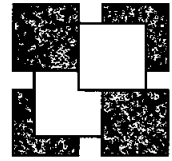


20 March 2012

Our Reference

CC10-027/A



benchmark
BUILDING CERTIFIERS

ABN 47 078 953 215

- Accredited Certifiers
- Principal Certifying Authority
- Town Planning
- BCA Fire Safety Consultants
- BASIX Section J Energy Ratings

□ □ □ □ □ □ □ □ □ □



The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Address of subject land
Development consent

Lot 8 DP 1080203 (No 1046) Barrenjoev Road Palm Beach
N0587/09 (Pittwater Council) dated 17 March 2010 as modified
via Section 96 N0587/09/S96/2 dated 4 March 2012

Dear Sir/Madam

Please find enclosed a copy of the following information for the above project

- Amended construction certificate relating to the above amended development consent
- Accompanying plans/specifications and other relevant documents
- Cheque for \$36 00 (lodgement fee)

If you wish to discuss any aspect of this application, please contact me on (02) 4732 6322

Yours faithfully

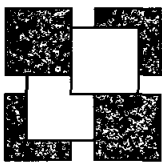
Anthony Krulich
Benchmark Building Certifiers

\$36 Rec 315613 21/3/12

PO Box 1274, Penrith NSW 2751
Tel 02 4732 6322
Fax 02 4732 6344
Email bbc@pnc.com.au
www.benchmarkbuildingcertifiers.com.au

Amended Construction Certificate

This certificate verifies that work completed in accordance with specified plans and specifications will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979



benchmark
BUILDING CERTIFIERS

ABN 47 078 953 215

Construction certificate number CC10-027/A

Diamantina Designer Homes Pty Ltd
Suite 1 53-55 Leabons Lane
SEVEN HILLS NSW 2147

- Accredited Certifiers
 - Principal Certifying Authority
 - Town Planning
 - BCA Fire Safety Consultants
 - BASIX Section J Energy Ratings
- □ □ □ □ □ □ □ □ □

The abovementioned being the applicant in respect of the development described as follows

Address of subject land	Lot 8 DP 1080203 (No 1046) Barrenjoev Road, Palm Beach
Details of the development consent	N0587/09 (Pittwater Council) dated 17 March 2010 as modified via Section 96 N0587/09/S96/2 dated 4 March 2012
Classification of building	Class 1a
Decision of the certifying authority	Issued

The certificate is issued

☒ Without any conditions

The issue of this certificate has been endorsed on the following plans and specifications that were lodged with the application

<u>Plans and specifications that are modified</u>	■ BAL 12.5 bushfire specification dated 14 March 2012
<u>Plans and specifications that remain approved as part of original construction certificate</u>	■ Architectural plans prepared by 'Diamantina Designer Homes' Issue C dated 1 June 2010, Sheets 1-2 (excluding bushfire requirements/schedule on plans)
	■ Stormwater Management Plan prepared by Storm Civil Engineering Solutions dated 17/11/09, Job No 105070 Drawing No D1-D2, Issue A
	■ Structural engineering plans prepared by Kneebone, Beretta & Hall dated 26/03/10, Dwg No 87219 Sheets 1-2

P.O. Box 1274, Penrith NSW 2751
Tel 02 4732 6322
Fax 02 4732 6344
Email bbc@pnc.com.au
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Plans and specifications that remain approved as part of original construction certificate (cont)

- Landscape plan prepared by 'Concept Landscape Architects' Issue C dated April 2010 Drawing No LPDA10-122/1C and Issue B dated November 2009 and Drawing No LPDA10-122/2B and accompanying certificate dated 22 April 2010
- BASIX Certificate No 275286S
- Accompanying building specification & other information

Certification

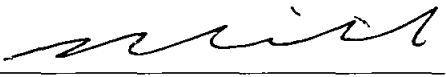
Anthony Krulich certifies that if the work is completed in accordance with the documentation accompanying the application for the certificate the development (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements Environmental Planning and Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979

Date of this certificate 20 March 2012

Information attached to this decision

- General application form
- Section 81A notice of critical stage inspections

Signature



Accredited certifier Anthony Krulich

Accreditation body Building Professionals Board

Accreditation number BPB0216

Applicant's right of appeal Nil

Horst Schurger
1044 Barrenjoey Road
Palm Beach NSW 2108

Benchmark Building Certifiers
Level 2-498 High Street
Penrith NSW 2750

14 03 2012

Attn: Anthony Krlich
Re: application for an amended construction certificate

Dear Anthony

I like to apply for an amendment of the original construction certificate CC10 027 dated 1 June 2010

Please send invoice for cost involved

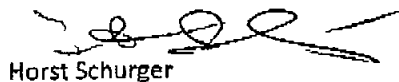
I had read the new bush fire requirements before and done all necessary improvements

The Form 3 of geotechnical report is also in the works and I should get soon

Please let me know when you will come for an inspection because I would like to be there as well

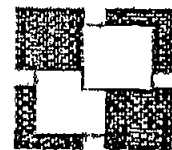
Looking forward to hear from you soon

Regards



Horst Schurger

Please send mail to 2/7 Jubilee Ave
Warriewood NSW 2102



benchmark
BUILDING CERTIFIERS

General Application Form

I/we the undersigned hereby make application to Benchmark Building Certifiers for the following service(s)

Office use only
• Application No CC10-027
• Date received 24/03/10

Tick box to nominate the service sought

- ☐ To lodge a Development Application with the relevant Council
- ☒ To issue a Construction Certificate
- ☐ To issue a Complying Development Certificate
- ☒ I/we appoint the person nominated on this form as our Principal Certifying Authority for building work only (no subdivision work) and would like for them to notify the consent authority of the appointment
- ☒ To issue an Occupation Certificate (Interim or Final)

DETAILS OF THE OWNER

- * All owners of the land must be included on the application form (or two director/sole director for a company)
- * In signing this form I/we advise that I/we are person(s) eligible to appoint a Principal Certifying Authority for the relevant development and make application for the relevant above service(s)
- * I/we acknowledge that the applicant for these services is as detailed below

Owner(s) name

Address

Contact telephone No s

Signature (of all owners)

HOLST + INGRID SCHLINGER
1044 BARREDOBY ROAD, PIMM BEACH
WEST WORE 9979 6722 MOB 0414 646 309
* Ingrid Schlinger

DETAILS OF THE APPLICANT

- * All correspondence and documentation will be forwarded to the applicant, if different from the owner

Applicant(s) name

Address

Contact telephone No s

Signature(s)

SAN HANNIGAN - DIAMANTINA DESIGNER HOMES
SUITE 1 53 55 VEBELS LANE, SEVEN HILLS
7676 4777 - 0422 10 640
San Hannigan

In completing this General Application Form the owner(s) and applicant agree to the terms and condition of this General Application Form and the Service Agreement that forms part of the application (Pages 1 to 4)

LAND TO BE DEVELOPED

Address 1046 BARRINGTON ROAD PALM BEACH
 Lot & DP No DP 1080203 ST 5

ESTIMATED COST OF THE DEVELOPMENT

Value of work \$ 427,094.20
 (including GST)

DEVELOPMENT DESCRIPTION

Approval No & Date DA No N0537/09 - 17-3-2010
 Consent authority MITCHELL COUNCIL
 Building work TWO STOREY RESIDENTIAL
 description DRAWING
 BCA classification 1a + 10a

OWNER-BUILDER OR PRINCIPAL CONTRACTOR DETAILS

- Required to be completed for residential building work

Name DIMMANTIAN DE KUNDEL HOMES PTY LTD
 Address & Phone No W/16 1-53 SS JAMES ST LANE GREEN HILLS
 Permit No / Licence No 619710 P: 9676 4777
 Home Warranty ☒ Yes ☐ No (required to be provided to the
 Insurance details BCA before the commencement of works)
 (if applicable for principal contractor)

LONG SERVICE LEVY PAYMENT (0.35% of value of work if \$25 000 in value or more)

Paid ☒ Yes ☐ No (required to be paid prior to the
 Receipt No _____ issue of CC/CDG)

CERTIFYING AUTHORITY DETAILS

Accredited certifier Anthony Knlich / Robert Valente
 Accreditation number BPB0216 / BPB0419

APPOINTED PRINCIPAL CERTIFYING AUTHORITY

Accredited certifier Anthony Knlich / Robert Valente
 Accreditation number BPB0216 / BPB0419
 Address Benchmark Building Certifiers
5/498 High Street, Penrith NSW 2750
 Contact details (02) 4732 6322 bbc@pnc.com.au (email)
(02) 4732 6344 (fax) www.benchmarkbuildingcertifiers.com.au

Refer to Pages 3-4 for Service Agreement details which form part of this application. The Particulars of the Proposal on Page 4 must also be completed for all proposed building work.

SERVICE AGREEMENT

The following service agreement applies between the owner(s)/applicant for the development and the nominated Principal Certifying Authority (PCA). This service agreement outlines the owner(s)/applicant and the PCA's tasks and responsibilities in undertaking the certifying authority role for the development.

Role of the Principal Certifying Authority

- The nominated PCA for the development shall undertake all works in accordance with the requirements of the Code of Conduct applicable to the accredited certifier / PCA (contained in Schedule 4 of the Building Professionals Board accreditation scheme).
- The nominated PCA shall ensure that the development complies with the provisions of the *Environmental Planning and Assessment Act, 1979* and *Environmental Planning and Assessment Regulation 2000*, the applicable development consent approved Construction Certificate or Complying Development Certificate (as relevant to the development).

Responsibilities of the owner(s) and the applicant

- The owner(s) and/or applicant shall abide by all conditions of the relevant development consent / Complying Development Certificate applying to the development and the requirements of the *Environmental Planning and Assessment Act, 1979* and the *Environmental Planning and Assessment Regulation 2000*.
- The owner(s) and/or applicant shall abide by all directions made by the PCA (or accredited certifier) and shall comply with all approved documentation including plans, specifications and other documents, applying for the development.
- The owner(s) and/or applicant shall notify the PCA within a reasonable time frame of any alterations or changes that may affect the proposed development and/or the service agreement.
- The owner(s) and/or applicant shall notify the PCA at least 48 hours before each critical stage inspections as applicable to the development.

Critical stage inspections

Critical stage inspections as defined under the *Environmental Planning and Assessment Act, 1979* and *Environmental Planning and Assessment Regulation 2000* must be undertaken for the development. The owner(s) and/or applicant must notify the PCA when a critical stage inspection is required (48 hours notice). Benchmark Building Certifiers will notify the applicant of all required inspections for the development.

The failure to inspect a critical stage inspection may result in an Occupation Certificate not being able to be issued.

Other inspections

Other inspections for the development may also be required. The owner(s) and/or applicant are to discuss other required inspections with Benchmark Building Certifiers.

Fees for service

Fees for service will be as per the quoted fee for the development or as per the tax invoice where a fee is not quoted. The fees for service shall be paid prior to the issue of an approval or within the time frame indicated on the tax invoice for the development. Alternative payment provisions may also specifically be agreed to between the owner(s) and/or applicant and the PCA.

The fee for service does not include the following matters:

- Works or services not forming part of the application and service agreement.
- Complaint investigation for the development (such as when a complaint is lodged to the PCA about activities undertaken by the builder/developer/owner).

- Assessing and determining applications against the 'alternative solution/performance' provisions of the Building Code of Australia (unless otherwise noted at the time of the lodgement of the application)
- Serving of a Notice to carry out works or undertake works/tasks (in accordance with the legal obligations of the PCA) under the requirements of the *Environmental Planning and Assessment Act 1979* and the *Environmental Planning and Assessment Regulation 2000*
- Other required works will be charged at an hourly rate (nominally \$125.00/hour or as recommended by the Australian Institute of Building Surveyors (NSW))
- Payment of other ancillary fees, such as Council fees, service provider fees, contribution, Long Service Levy, or the like (unless otherwise indicated on the application form/service agreement)

PARTICULARS OF THE PROPOSAL

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

2
425.02 m²
1075 m²

Residential buildings only

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?

1
1
1
Yes/No
Yes/No
Yes/No

Materials - residential buildings

Please circle the appropriate number next to each material that best describes the materials for the new work.

WALLS	ROOF	FLOOR	FRAME
11 Brick (double)	(10) Tile	(20) Concrete or slate	(40) Timber
(12) Brick (veneer)	20 Concrete or lat	10 Timber	60 Steel
20 Concrete or stone	30 Fibre cement	80 Other	70 Aluminium
30 Fibre cement	60 Steel	90 Not specified	80 Other
40 Timber	70 Aluminium		90 Not specified
50 Curran glass	80 Other		
60 Steel	90 Not specified		
70 Aluminium			
80 Other			
90 Not specified			

End of Application (January 2010)

28 April 2010

DIAMANTINA DESIGNER HOMES PTY LTD
SUITE 1
53-55 LEABONS LANE
SEVEN HILLS NSW 2147

Building and Construction Industry
Long Service Payments Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 546 007 558

Levy Receipt

Receipt No
00081556

Received from (Name of person or organisation paying for levy)

the amount of

DIAMANTINA DESIGNER HOMES PTY LTD

\$1,494.00

Payment details

Cheque 058169 \$1,494.00 DIAMANTINA DESIGNER HOMES

being payment for Long Service Levy as detailed below

Levy Payment Form number	0310591
Council/Department/Authority	PITTWATER COUNCIL
C C Number	NO587/09
Work address	1046 BARRENJOEY RD PALM BEACH NSW 2108
Estimated value of work	\$427,094.00
Levy payable (No exemption)	\$1,494.00
Total levy paid	\$1,494.00

Signed (Signature of authorised person)

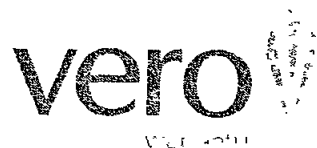
Date



28/4/10



Insurance services
YOUR INSURANCE PARTNER



Certificate of Insurance

Diamantina Designer Homes Pty Ltd
Suite 1
53-55 Leabons Lane
SEVEN HILLS NSW 2147
Australia

Builder's Copy
Policy Number RCW77897505
Date of Issue 08/04/2010
Broker Payment Reference ZDA D3837
Builder's Job Number 206

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract of Insurance Complies With	Section 92
Cf The	Home Building Act 1989
Issued By	Vero Insurance Limited ABN 48 005 297 807
Building Contract Details	
Contract Date	07/04/2010
Declared Building Contract Value	\$744,304.00 (Refer policy for indemnity limit)
Carried out By	Diamantina Designer Homes Pty Ltd
Trading As	Atf Diamantina Designer Homes Unit Trust
ABN	38 233 018 862
Licence Number	61897C
For	Horst & Ingrid Schurger
In Respect Of	Single Dwelling
At	House Number 1046 Barrenjoey Road PALM BEACH NSW 2108
Permit Authority	Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

COI000710499

Generated 08/04/2010

Signed for and on behalf of the Insurer

B → D

Insurer: Vero Insurance Limited ABN 48 005 297 807
Vero Warranty is a division of Vero Insurance Limited

3 5 29 24293

1046 BARRENJOEY ROAD, PALM BEACH

Bushfire Construction Requirements - AS3959-2009

The following bushfire specification applies to the development as depicted on the architectural plans prepared by 'Diamantina Homes', for 'Horst Schurger'. These bushfire construction requirements apply for all proposed new building works.

In accordance with Condition No. 16 in Section B of the modified development consent issued by Pittwater Council on the 4 March 2012, the site is a 'BAL-12.5' under AS3959-2009.

BAL 12.5 – Section 5

COMPONENT	CONSTRUCTION REQUIREMENTS
Flooring systems	Concrete slab on ground – OK.
Supporting posts – Alfresco/Balcony	Brick columns/piers are OK.
External walls	- Brick veneer walls – OK. - Upstairs lightweight cladding to rear elevation on upper floor to be fibre cement of a minimum 6mm thickness for external walls that are at a height of 400mm above roofs or floors or external surfaces (Blueboard 10mm OK).
Vents & weep holes	- To be protected with corrosion-resistant, steel, bronze or aluminium mesh (maximum aperture size of mesh is 2.0mm). - Includes any external wall vents or other openings.
Eaves	- Eaves shall be fully enclosed. - Eave ventilation openings (if installed) shall be screened with screens that are corrosion resistant, steel, bronze or aluminium mesh (maximum aperture size of mesh is 2.0mm).
Fascias	No requirements for fascia.
Gutters & Downpipes	All gutter guards & valley screens shall be non combustible.
Verandahs & Decks	- Alfresco and Porch to be concrete slab on ground – OK. - Alfresco timber deck on top of enclosed space (slab on ground below) – OK. - Upper balcony floor – Tiled enclosed floor – OK.
Water and gas pipes	All above ground water and gas exposed pipes shall be metal.
Windows	- All window assemblies shall be constructed of metal (aluminium framed windows are OK). - Where glazing is less than 400mm above external finished ground levels, the glazing shall be Grade A safety glass minimum 4mm thick. - All other glazing above 400mm shall be standard annealed glass (or better). - The openable portion of windows shall be screened internally or externally with screens that are corrosion resistant, steel, bronze or aluminium mesh (maximum aperture size of mesh is 2.0mm).

1046 BARRENJOEY ROAD, PALM BEACH

BENCHMARK BUILDING CERTIFIERS
Construction Certificate Approval

Date 20/3/12 CC No 1002717

Accredited Certifier Anthony Krilich
Accreditation No BPB 0216

Sliding doors – Alfresco/Living	- Door shall be non combustible metal construction (aluminium framed doors are OK) - All glazing shall be Grade A safety glass complying with AS1288 - Doors shall be tight fitting to the door frame and to an abutting door if applicable
Front door – Timber	<u>Front timber door shall comply with following</u> - Door is to be timber constructed as follows - A solid timber door having a minimum thickness of 35mm for the first 400mm above the door threshold, or - A door, including a hollow core door with a non combustible backplate on the outside for the first 400mm above the threshold or - A fully framed glazed door where the framing is made from materials required for bushfire shutters or from a timber species as specified in Paragraph E2, Appendix E - Where any part of the door frame is less than 400mm from the ground that part shall be made of one of the following - Bushfire resisting timber, or - A timber species as specified in Paragraph E1 Appendix E or - Metal, or - Metal reinforced P/C U The reinforcing members shall be made from aluminium stainless steel, or corrosion resistant steel - All glazing less than 400mm above floor level shall be Grade A safety glass a minimum of 4mm thick - All glazing more than 400mm above floor level shall be standard annealed glass (or better) - Weather strips draught excluders or draught seals shall be installed at the base of the side hung external doors Doors shall be tight fitting to the door frame and to an abutting door if applicable
Kitchen and Laundry doors – Timber	<u>The kitchen and laundry hinged doors shall comply with following</u> - Door is to be constructed as follows - Non combustible material (e.g aluminium door with glazing) or - A solid timber door having a minimum thickness of 35mm for the first 400mm above the door threshold or - A door including a hollow core door with a non-combustible backplate on the outside for the first 400mm above the threshold, or - A fully framed glazed door where the framing is made from materials required for bushfire shutters or from a timber species as specified in Paragraph E2 Appendix E or - The door is to be fully screened with screens that are corrosion resistant steel bronze or aluminium mesh (maximum aperture size of mesh is 2.0mm) - Where any part of the door frame is less than 400mm from the ground that part shall be made of one of the following - Bushfire resisting timber, or - A timber species as specified in Paragraph F1 Appendix F or - Metal, or - Metal reinforced P/C U The reinforcing member shall be made from aluminium stainless steel, or corrosion resistant steel - All glazing less than 400mm above floor level shall be Grade A safety glass a minimum of 4mm thick - All glazing more than 400mm above floor level shall be standard annealed glass (or better) - Weather strips draught excluders or draught seals shall be installed at the base of the side hung external doors Doors shall be tight fitting to the door frame and to an abutting door if applicable

Garage vehicle door	- The lower portion of the vehicle access door less than 400mm above the floor/ground shall be made of non-combustible material (Colorbond metal is OK) - Panel lift up doors or side hung doors shall be fitted with weather strips draught excluders draught seals or guide tracks with a maximum gap no greater than 3mm - Roller doors shall have guide tracks with a maximum gap no greater than 3mm and shall be fitted with a nylon brush that is in contact with the door - Vehicle access doors shall not include ventilation slots
Roofs	- All roof tiles sheets and roof-covering accessories shall be non-combustible (Concrete tiled roof and Colorbond roof – OK) - All roof/wall junctions shall be sealed to prevent openings greater than 3mm - All roofs are to be fully sarked. The grade sarking shall have a Flammability Index of not more than 5 and is to be located directly below the roofing battens and shall cover the entire roof area including the ridge <u>Roof Penetrations (if applicable) shall have</u> - A non combustible material shall be used to seal all gaps greater than 3mm - Fired ember guards made from corrosion resistant steel bronze or aluminium mesh with a maximum aperture of 2mm. - Fire retardant material for all flashing elements of tubular skylights with a flammability index of no greater than 5 - Vent pipes made from PVC are permitted

IMPORTANT

- Certification / verification of materials & installation will be requested by the certifying authority upon completion
- The above list of construction requirements is based on the **approved plans**. Any variations must be discussed with Benchmark Building Certifiers
- The above measures must be implemented and completed prior to occupation or use of the dwelling or prior to an Occupation Certificate being issued


 OWNER – HORST & INGRID SCHÜRGER

DATE 14-03-2012

1046 BARRONJOEY ROAD PAIM BEACH