



23 April 2015

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Development Application No. N0175/14 (N0175/14/S96/1)
2139 Pittwater Road, Church Point

For Council's information, please find enclosed **Modified** Construction Certificate No. 2014/5360A issued for alterations and additions to the dwelling including extended bedroom at rear and front deck extensions, extension to breakfast room and minor internal works, at the above address, accompanied by:

- Copy of **Modified** Construction Certificate application form
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours faithfully,

Tom Bowden
Insight Building Certifiers Pty Ltd

\$36 REC 137p82 24/4/15

Modified Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Modified Certificate No. 2014/5360A

Council	Pittwater
Determination Date of issue	23 April 2015
Subject land Address Lot No, DP No.	2139 Pittwater Road, Church Point Lot 1 DP 9242
Applicant Name Address Contact No.	Mrs Elsa Power 2139 Pittwater Road, Church Point NSW 2105 9979 3563 / 0407 076 437
Owner Name Address Contact No.	Mrs Elsa Power 2139 Pittwater Road, Church Point NSW 2105 9979 3563 / 0407 076 437
Description of Development Type of Work	Alterations & Additions to the Dwelling including Extended Bedroom at Rear & Front Deck Extensions, Extension to Breakfast Room & Minor Internal Works
Builder or Owner/Builder Name Contractor Licence No/Permit	Elsa Power Owner Builder Permit no. 415225P
Value of Work Building	\$65,640.00

Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Corporation receipt no. 178956 dated 24 September 2014
- ~~BASIX Certificate no. A189028 dated 10 June 2014~~ **BASIX Certificate no. A189028 02 dated 28 October 2014**

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- ~~Architectural Plans & Construction Specification, including Schedule of External Finishes & Sediment & Erosion Control Details, reference no. 1202b, drawing no's. CC-01 (REV E), CC-04 (REV A), CC-11 (REV G), CC-12 (REV F), CC-13 (REV E), CC-21 (REV E), CC-22 (REV D), CC-31 (REV F), CC-32 (REV E) & CC-41 (REV F), prepared by James De Soyres & Associates Pty Ltd dated 22 September 2014 as modified Architectural Plans & Construction Specification, including Sediment & Erosion Control Details, reference no. 1202c, drawing no's. CC-01, CC-11, CC-12, CC-13, CC-21, CC-22 & CC-31 (all Revision B), prepared by James de Soyres & Associates dated 20 March 2015~~
- Structural Details reference no. 28359, drawing no's. S5, S6, S7, S8 & S9 (all Revision C), prepared & endorsed by Jack Hodgson Consultants Pty Ltd dated 3 June 2014
- Stormwater Management Details reference no. 28359, drawing no. H1/A, prepared & endorsed by Jack Hodgson Consultants Pty Ltd dated 23 September 2014
- Completed Form 2 (Parts A & B) of Pittwater Council Geotechnical Risk Management Policy, endorsed by Jack Hodgson Consultants Pty Ltd dated 18 September 2014, respectively
- Sydney Water approval dated 22 September 2014

Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



23 APR 2015

Date of endorsement
Certificate No.

2014/5360A

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0175/14 (N0175/14/S96/1)
9 September 2014 (Modified 20 November 2014)

BCA Classification

1a

RECEIVED
20 MAR 2015

Insight
building certifiers pty ltd

Construction Certificate ☐

BY: Modified Construction Certificate ☒

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

alterations & additions to the
dwelling

Estimated cost of work

—

BCA Classification(s)

1a

Development Consent Reference no.

N0175/14

Date of Issue

9/9/14

Modified Consent Reference no. (if applicable)

N0175/14/596/1

Date of Issue (if applicable)

20/11/14

Property Address

Unit/Street no.

2139

Street name

Pittwater Road

Suburb

Church Point, NSW

Post code

2105

Lot no.

1

DP no.

9242

Accompanying Documents

i. Appropriate Architectural Plans and Specifications

ii. All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

Robert Fowler

Owner 2 Name:

Elsa Power

Owner's Signature:

Robert Fowler

Owner's Signature:

E. M. Power

Date:

18/3/2015

Date:

18/3/15

Owner's Address:

2139 Pittwater Road
Church Point, NSW 2105

Daytime Telephone:

029979 3563

Mobile:

0407076 437

—Robert—

[Office Use Only]: Date received by Accredited Certifier:

Suite 13/90 Mona Vale Road Mona Vale NSW 2103 PO Box 326 Mona Vale NSW 1660 ph: 9999 0003 fax: 9979 1555
email: info@insightcert.com.au web: www.insightbuildingcertifiers.com.au ABN 54 115 090 456

COUNCIL
COPY

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A189028_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A189028 lodged with the consent authority or certifier on 10 Jun 2014 with application N0175/14.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Director-General

Date of issue: Tuesday, 28, October 2014

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning &
Infrastructure

Description of project

Project address	
Project name	1202b_02
Street address	2139 Pittwater Road Church Point 2105
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 9242
Lot number	1
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: de soyres malone architects pty ltd

ABN (if applicable): 50084840648

**COUNCIL
COPY**

This plan / document
forms part of
Construction Certificate
no. 2014 / 5360A

Fixtures and systems				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water						
The applicant must install the following hot water system in the development: gas instantaneous.				✓	✓	✓
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.					✓	✓

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
1J-05	NE	6.93	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-01	SE	1.59	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-09	NW	1.4	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-10	NE	7.68	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-12	NW	1.4	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
2J-13	SW	1.4	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-14	S	0.85	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-15	SE	4.275	0	0	eave/verandah/ pergola/balcony ≥600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
2J-16	E	0.85	0	0	eave/verandah/ pergola/balcony ≥450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			

Skylights																			
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓													
The following requirements must also be satisfied in relation to each skylight:																			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.																			
<table border="1"> <thead> <tr> <th colspan="4">Skylights glazing requirements</th> </tr> <tr> <th>Skylight number</th> <th>Area of glazing inc. frame (m2)</th> <th>Shading device</th> <th>Frame and glass type</th> </tr> </thead> <tbody> <tr> <td>S01</td> <td>1.09</td> <td>no shading</td> <td>timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)</td> </tr> <tr> <td>S02</td> <td>1.09</td> <td>no shading</td> <td>timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)</td> </tr> </tbody> </table>							Skylights glazing requirements				Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type	S01	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)	S02
Skylights glazing requirements																			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type																
S01	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)																
S02	1.09	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)																

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "√" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "√" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "√" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

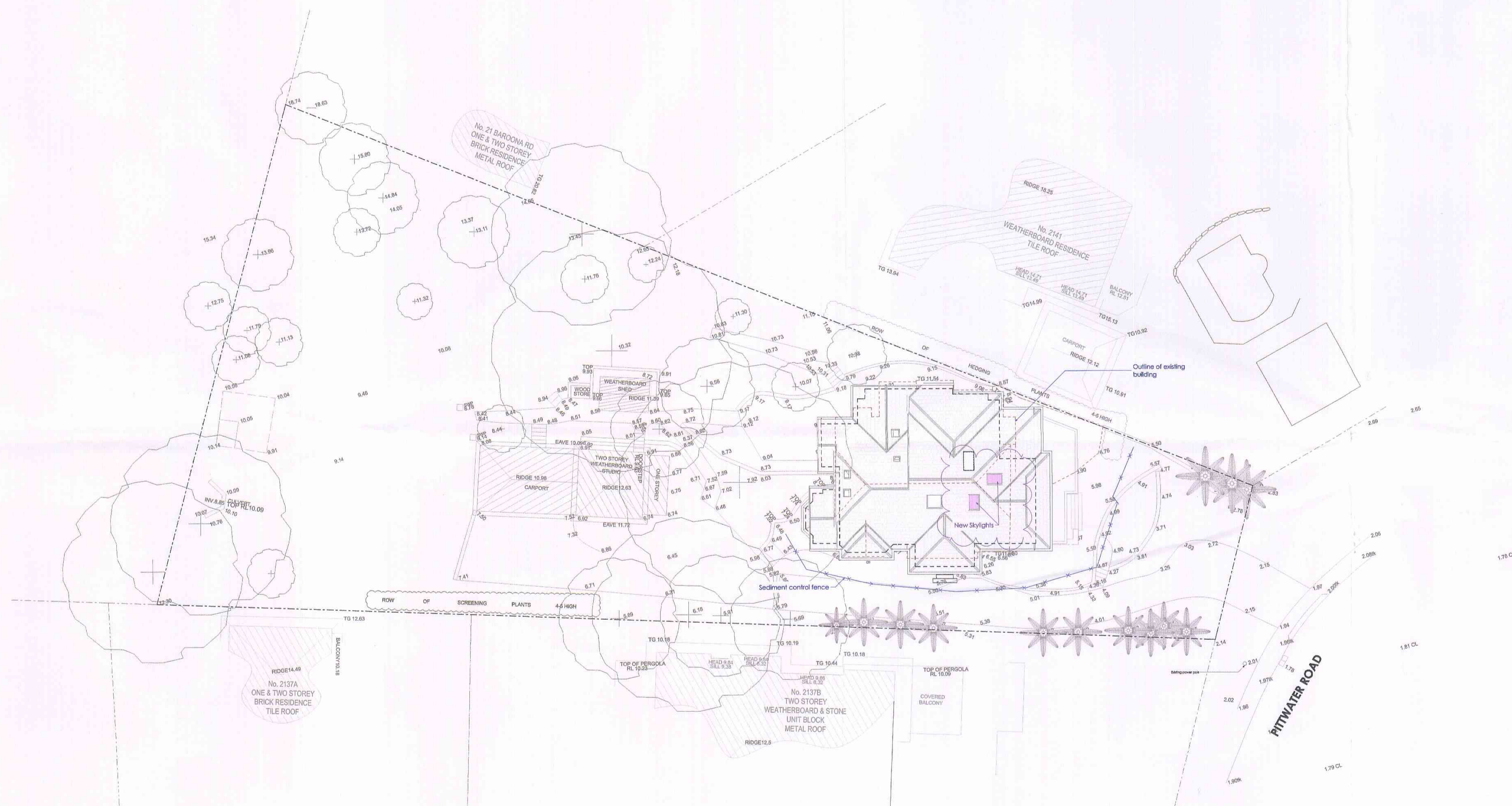
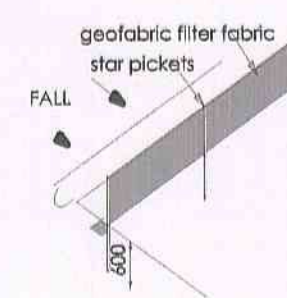
FOR
CONSTRUCTION
CERTIFICATE
NOT FOR CONSTRUCTION

Notes: Do not scale from drawings

NOTE: ALL RECOMMENDATIONS CONTAINED WITHIN GEOTECHNICAL REPORT REFERENCE NO. MN DATED 26 MAY 2014 & LETTER REFERENCE NO. MN 24359A DATED 24 OCTOBER 2014 ALL 20359 PREPARED BY JACK HODGSON CONSULTANTS PTY LTD ARE TO BE INCORPORATED & MAINTAINED OVER THE LIFE OF THE DEVELOPMENT.

NOTE: SEDIMENT & EROSION CONTROL & TREE PROTECTION MEASURES ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT IN ACCORDANCE WITH CONDITIONS D3, D4, D8 & D9 OF THE DEVELOPMENT CONSENT.

SEDIMENT CONTROL FENCE - TYPE 1
1.2m star pickets to be driven in a minimum of 600mm at a maximum of 1800mm centres.
Self-supporting geotextile fabric to be securely fastened to the upslope side of each picket with tie wires and turned upslope in a trench at least 200mm deep.
Avoid joints in the filter fabric if possible, but if necessary, joints are to be made at a support post with a minimum of 150mm overlap of fabric, securely stitched together with both ends fixed to the post.
Backfill the trench over the toe of the fabric.
Inspect for any sagging, undercutting or overlapping after rain and repair as necessary.



B 20/03/15 issued for CC: MH
A 24/10/14 issued for 596: MH
no date notes: 37

James de Soyres
+ Associates

architects
Nominated Architect: Reg. No. 4769
m PO Box 457, Newport Beach, NSW 2106
t (02) 9779 1823
e contact@jdesa.com.au
w www.jdesa.com.au

Section 96 Application
Alterations and Additions
of
2139 Pittwater Road,
Church Point, NSW, 2105.
Mr and Mrs R & E Power
Site Plan

WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:
• The applicant's responsibility to obtain approval from Sydney Water or other utilities.
• The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
• The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.

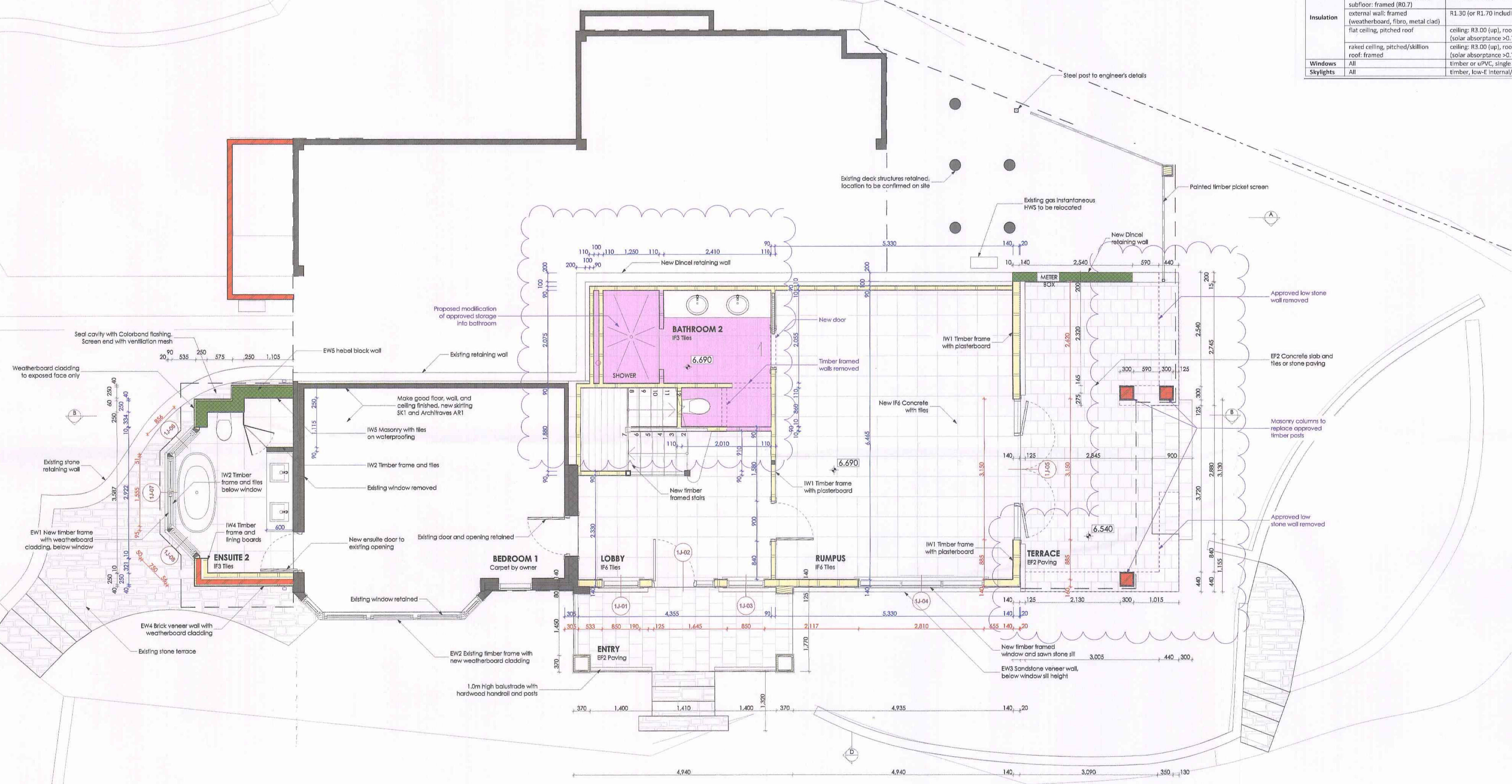
insight building certifiers pty ltd
CONSTRUCTION CERT. NO 2014/536.0A
CONSTRUCTION CERTIFICATE PLANS
I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979.
T. Bowden Accreditation No. BPC 0045

1:200
Date of stamping: 20/03/2015
1202c CC-01 B

FOR
CONSTRUCTION
CERTIFICATE

NOT FOR CONSTRUCTION
Notes: Do not scale from drawings

BASIX SCHEDULE		ALL WORK TO BE IN ACCORDANCE WITH BASIX CERTIFICATE NO. A389028_02 DATED 28 OCTOBER 2014
Hot Water	must install the following hot water system in the development: gas instantaneous	of new or altered light fixtures to be fluorescent or Compact fluorescent or Light Emitting Diode (LED)
Lights	40%	R0.8 (down) (or R1.50 including construction)
	suspended floor with open subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)
	suspended floor with enclosed subfloor: framed (R0.7)	R1.30 (or R1.70 including construction)
Insulation	external wall: framed (weatherboard, fibro, metal clad)	ceiling: R3.00 (up), roof: foil/sarking (Other specifications: dark (solar absorbance >0.70))
	flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking (Other specifications: dark (solar absorbance >0.70))
	raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking (Other specifications: dark (solar absorbance >0.70))
Windows	All	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
Skylights	All	timber, low-E internal/argon fill/clear, (or U-value: 2.5, SHGC: 0.456)



B 20/03/15 issued for CC	MH
A 24/10/14 issued for \$96	MH
Rev	Date

James de Soyres
+ Associates

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Nominated Architect: Reg. No. 6769
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Section 96 Application

Alterations and Additions
at
2139 Pittwater Road,
Church Point, NSW, 2105,
for
Mr and Mrs R & E Power
Basement Floor Plan

Scale	Date of printing
1:50	20/03/2015
Project No.	Drawing No.
2014/5360A	1202c CC-11 B

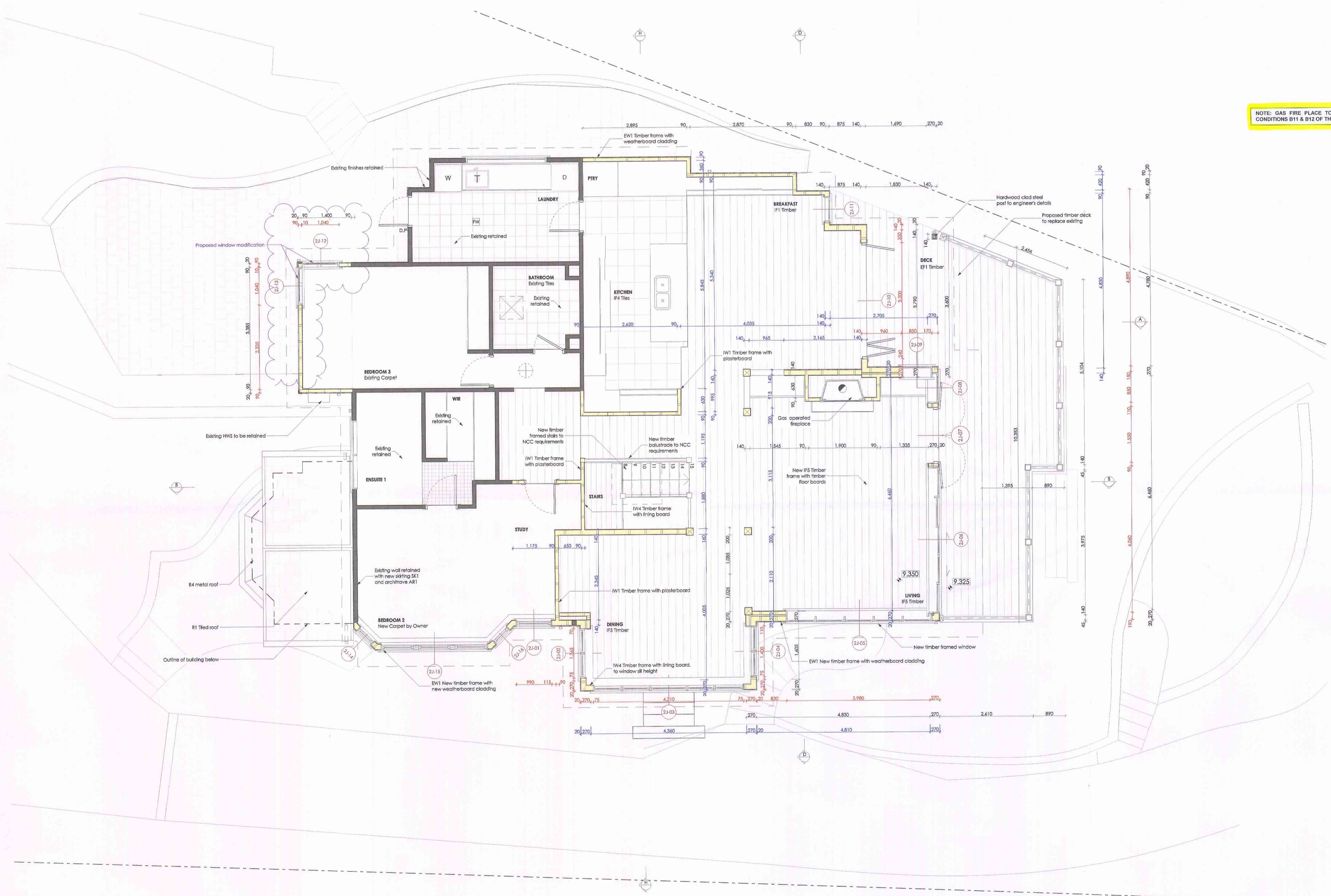
This plan / document
forms part of
Construction Certificate
no. 2014/5360A

**FOR
CONSTRUCTION
CERTIFICATE**

NOT FOR CONSTRUCTION

(Notes: Do not scale from drawings)

NOTE: GAS FIRE PLACE TO BE IN ACCORDANCE WITH
CONDITIONS B11 & B12 OF THE DEVELOPMENT CONSENT.



B 30/03/15 issued for CC
A24/15/14 issued for S94
MH
MH

**James de Soyres
+ Associates**

architects
Nominated Architect Reg. No. 6769
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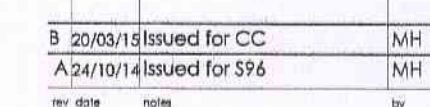
Section 96 Application

Alterations and Additions
at
2139 Pittwater Road,
Church Point, NSW, 2105,
for
Mr and Mrs R & E Power
Ground Floor Plan

Scale 1:50
Date of printing 20/03/2015
Drawing No. 1202c CC-12B

This plan / document
forms part of
Construction Certificate
no. 2014 / 5360A

Notes: Do not scale from drawings



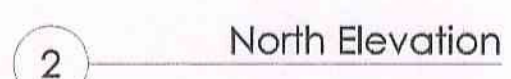
Section 96 Application

Scale: 1:50 Date of printing: 20/03/2015



Project No.	Drawing No.	Rev.
1202c	CC-13	E

Notes: Do not scale from drawings



B	20/03/15	Issued for CC	
A	24/10/14	Issued for S96	
rev	date	notes	

a r c h i t e c t s
Nominated Architect: Reg. No. 6769
m PO Box 657, Newport Beach, NSW 2106
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e contact@jdesa.com.au
w www.jdesa.com.au

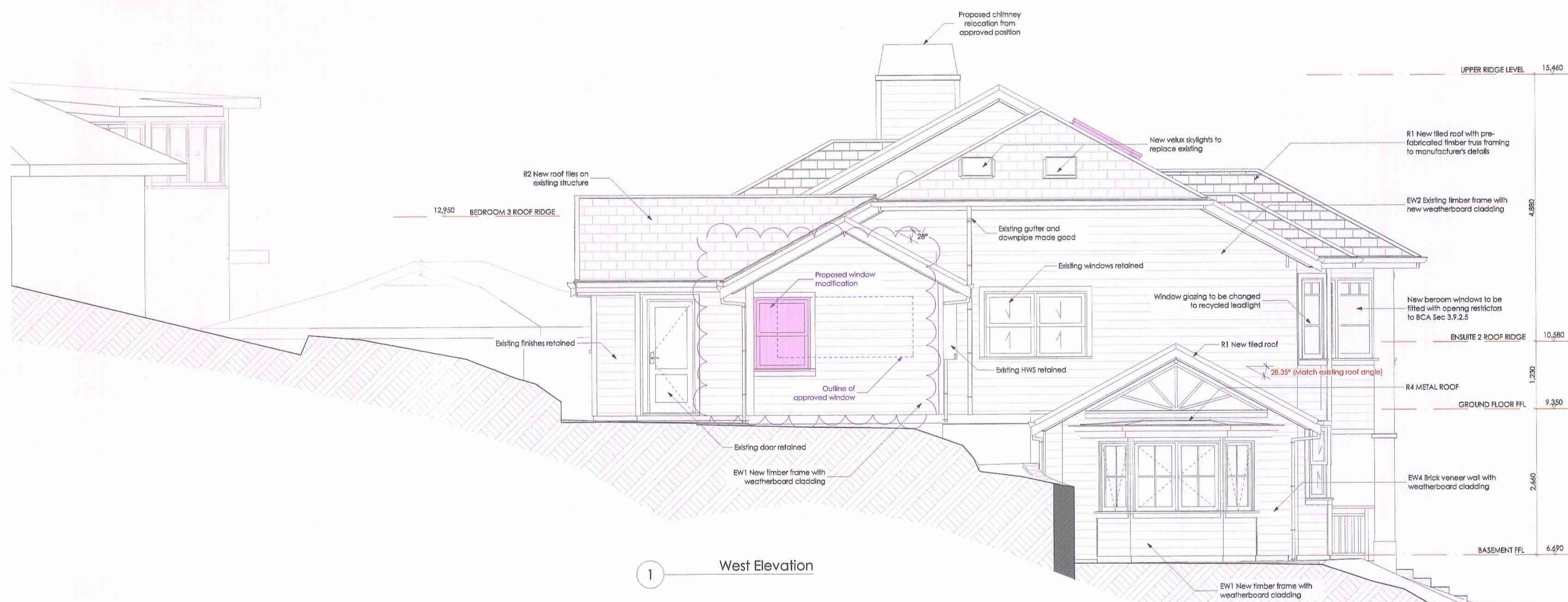
Alterations and Additions
at
2139 Pittwater Road,
Church Point, NSW, 2105,
for
Mr and Mrs R & E Power

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forms part of
Construction Certificate
no. 2014 / 5360A

Scale: 1:50 Date of printing: 20/03/2015
Project No: 1202c Drawing No: CC-21 B Rev:

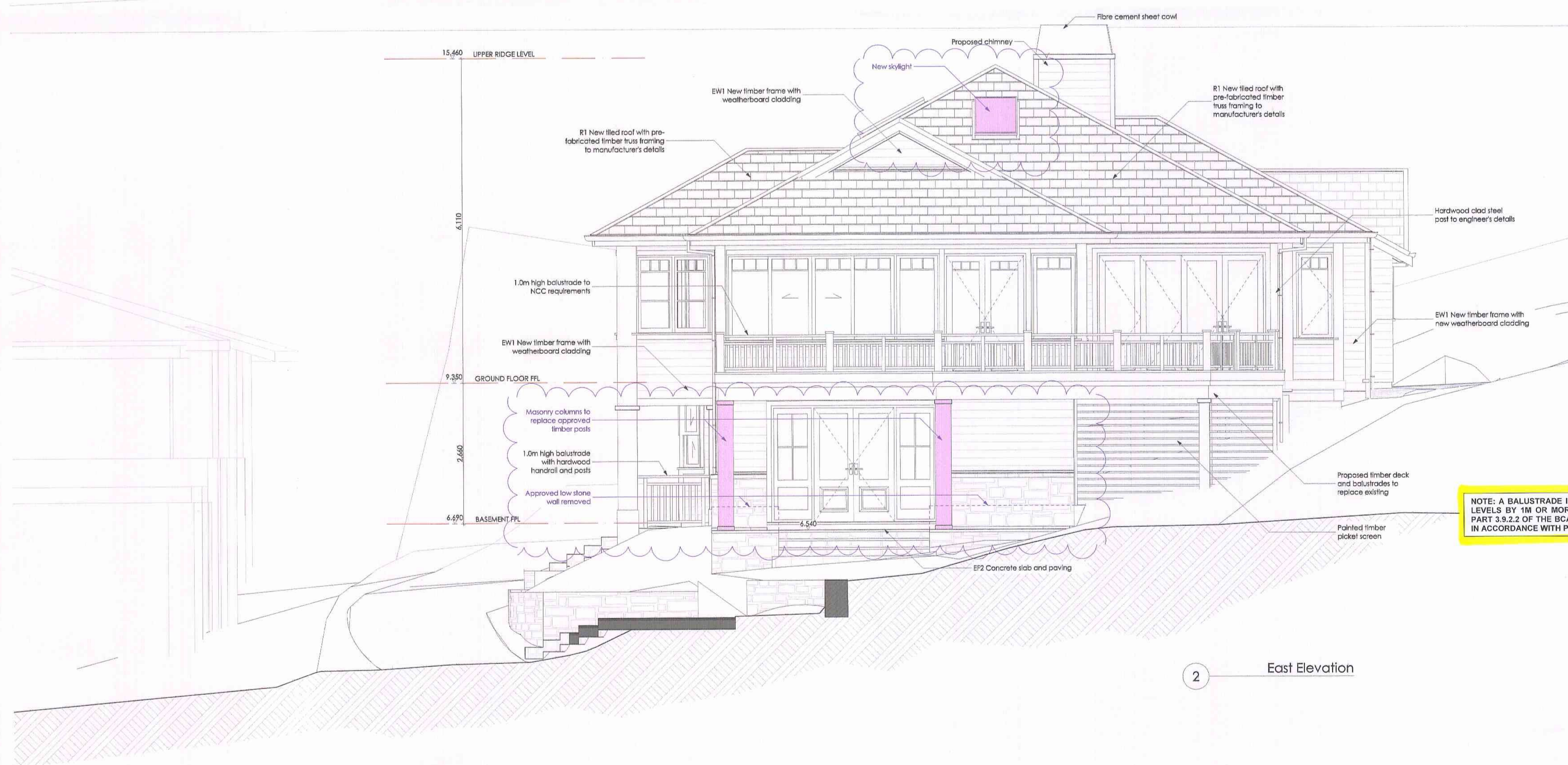
FOR CONSTRUCTION CERTIFICATE

NOT FOR CONSTRUCTION
Notes: Do not scale from drawings



West Elevation

- Building to incorporate BASIX commitments to comply with the attached BASIX Certificate No. A189028_02 dated 28 October 2014
- Smoke Alarms to be installed in accordance with AS 3786-1995 'Smoke alarms' & Part 3.7.2 - 'Smoke Alarms' of the Building Code of Australia (Please Note: Smoke alarms to be interconnected where there is more than one alarm)
- Termite Management to comply with AS 3660 - 2000 'Termite Management - New Building Work'
- Glazing to comply with AS 1288 - 2006 'Glass in Buildings - Selection & Installation' and AS 2047 - 1999 'Windows in Buildings - Selection & Installation'
- Waterproofing of wet areas to comply with AS 3740 - 2004 'Waterproofing of Wet Areas in Residential Buildings'
- Heating appliances to comply with Part 3.7.3 'Heating appliances' of the Building Code of Australia
- Doors to fully enclosed sanitary compartments to comply with Part 3.8.3 'Facilities' of the Building Code of Australia
- External Glazing & Cladding being of minimal reflectance (maximum of 20%)
- External Finishes being in natural, recessive, non-reflective colours and textures
- Stair construction to comply with Part 3.8.1 - 'Stair Construction' of the Building Code of Australia (Please Note: all stair treads are to have a surface that is slip resistant in accordance with Part 3.9.1.3 of the Building Code of Australia)
- Balustrades construction to comply with Part 3.9.2.3 - 'Balustrades' of the Building Code of Australia
- All new openable windows within a bedroom with a floor level 2m or more above a surface beneath to be protected in accordance with Part 3.9.2.5 of the Building Code of Australia
- Damp-proof membrane must be 'high impact', 0.2mm thick polyethylene film



East Elevation

NOTE: A BALUSTRADE IS REQUIRED IF THERE IS A CHANGE OF LEVELS BY 1M OR MORE TO SATISFY THE REQUIREMENTS OF PART 3.9.2.2 OF THE BCA. BALUSTRADING SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.9.2.3 OF THE BCA.

B 26/03/15 issued for CC MH
A 24/10/14 issued for S94 MH
rev. code notes by

James de Soyres
+ Associates

architects
Nominated Architect: Reg. No. 6769
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w www.jdesa.com.au

Section 96 Application

Alterations and Additions
at
2139 Pittwater Road,
Church Point, NSW, 2105,
for
Mr and Mrs R & E Power
East and West Elevations

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forms part of
Construction Certificate
no. 2014 / 5360A

Scale: 1:50 Date of printing: 20/03/2015
Project No: Drawing No: Rev:
1202c CC-22 B

- 2.4M TO ALL HABITABLE ROOMS, EXCLUDING A KITCHEN
- 2.1M TO ALL NON-HABITABLE ROOMS
- 2.0M TO STAIRWAYS, MEASURED VERTICALLY ABOVE THE NOSING LINE TO SATISFY PART 3.8.2 'ROOM HEIGHTS' OF THE BUILDING CODE OF AUSTRALIA.



This plan / document
forms part of
Construction Certificate

Scale: 1:50 Date of printing: 20/03/2015
Project No: 1202c Drawing No: CC-31