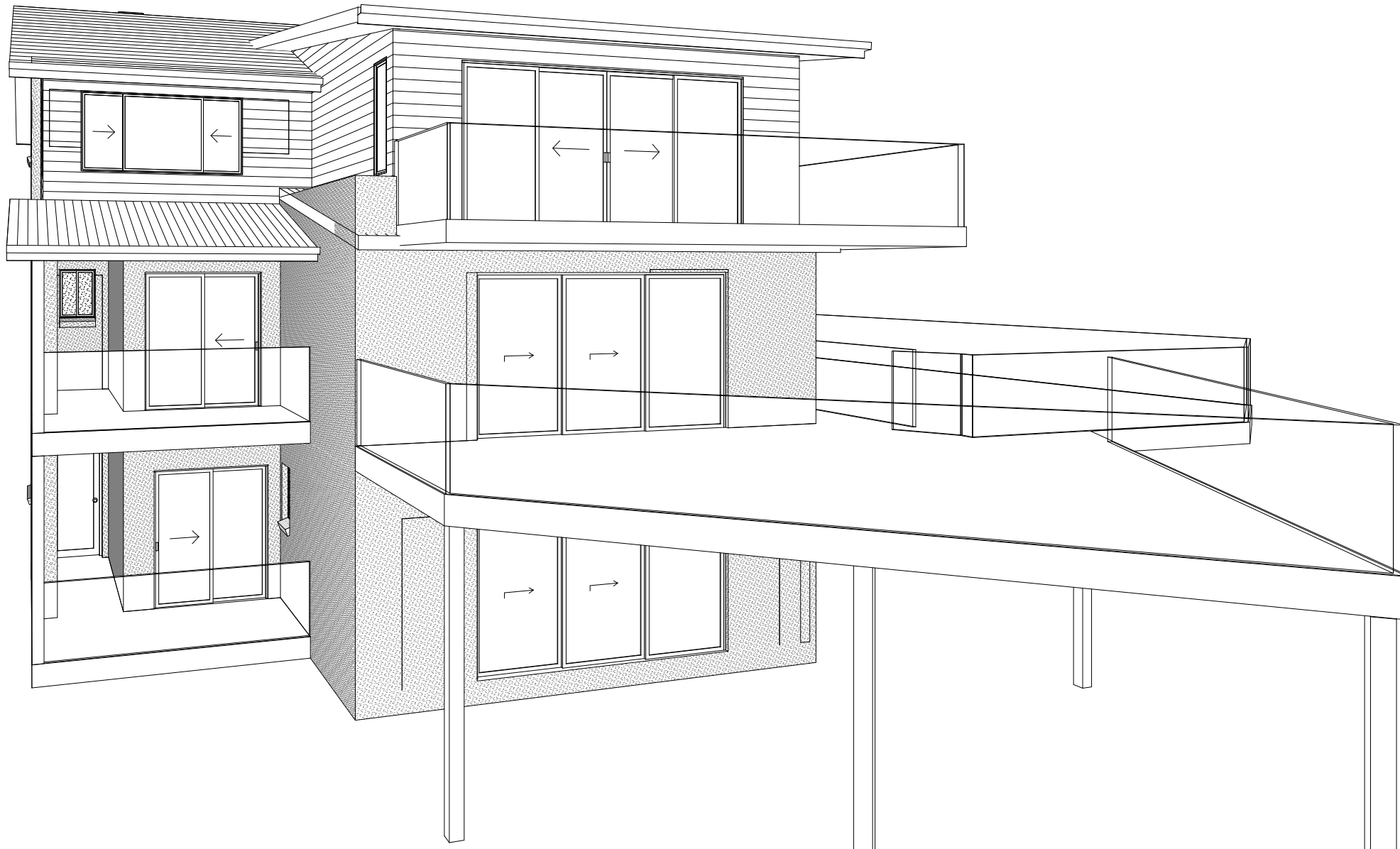


SKETCH STUDIO

77



INTRODUCES...

HOUSE

LOCATION...

**LOT:5 DP:237925
108 CABARITA ROAD,
AVALON BEACH**

CLIENT...

SPANNENBERG & SON

DRAWING SCHEDULE		
0 INTRO		
001	COVER PAGE	
002	CONTENTS	
1 SITE PLANS		
101	SITE PLAN	
2 EXISTING/DEMO PLANS		
201	SUBFLOOR	
202	GROUND FLOOR	
203	FIRST FLOOR	
3 GENERAL ARRANGEMENT		
301	SUBFLOOR	
302	GROUND FLOOR	
303	FIRST FLOOR	
4 ELEVATIONS		
401	ELEVATIONS	
402	ELEVATIONS	
403	ELEVATIONS	
5 SECTIONS/DETAILS		
501	SECTION & DETAILS	
6 COUNCIL		
601	SHADOWS	
602	SHADOWS	
603	SHADOWS	

AMENDMENT SCHEDULE			
DATE	REV	AMENDMENT	
30.03.22	A01	CONCEPT PLANS 1 of 1	
09.06.22	A02	AMENDMENTS	
09.06.22	A03	AMENDMENTS	
14.06.22	A04	AMENDMENTS	
21.07.22	B01	DA APPROVAL	
22.07.22	B02	AMENDMENTS	
10.08.22	B03	BASIX NOTES	
30.01.23	B04	AMENDMENTS	
01.02.23	B05	SHADOWS	

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OWNER SIGNATURE	DATE

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SKETCH STUDIO 77 2/85 LASSO RD, GREGORY HILLS NSW 2557 02 9043 1498 admin@ss77.com.au	
THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY LTD IS PETER GULIKOV. ACCREDITATION NO: 6337	
SPANNENBERG & SON builders & contractors	
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PROPOSED: ALTERATION	
CLIENT: SPANNENBERG & SON	
LOCATION: LOT: 5 DP: 237925 108 CABARITA ROAD, AVALON BEACH 2107	
COUNCIL: NORTHERN BEACHES	
DESIGNED BY: PETER GULIKOV	
DRAWN BY: P. GULIKOV	
DESIGN: HOUSE	PAPER: A3
DRAWING: CONTENTS	SHEET: 002
REFERENCE: SB-00067	REVISION: B05

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS

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SKETCH
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SPANNENBERG & SON PTY LTD
builders & contractors

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SPANNENBERG & SON

LOCATION:

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SITE PLAN

SHEET:

101

REFERENCE:

SB-00067

REVISION:

B05

DEVELOPMENT CALCULATIONS

LOT AREA: 695.50sqm

EXISTING AREAS

GROUND FLOOR: 111.73sqm
SUBFLOOR: 110.99sqm
FIRST FLOOR: 68.06sqm
SUBFLOOR DECK: 13.01sqm
POOL AREA: 96.16sqm
PORCH: 3.29sqm
GF DECK 1: 12.57sqm
GF DECK 2: 13.01sqm
GF DECK 3: 2.32sqm

PROPOSED AREAS

FIRST FLOOR: 27.55sqm
GF DECK: 36.14sqm
FF DECK: 19.36sqm

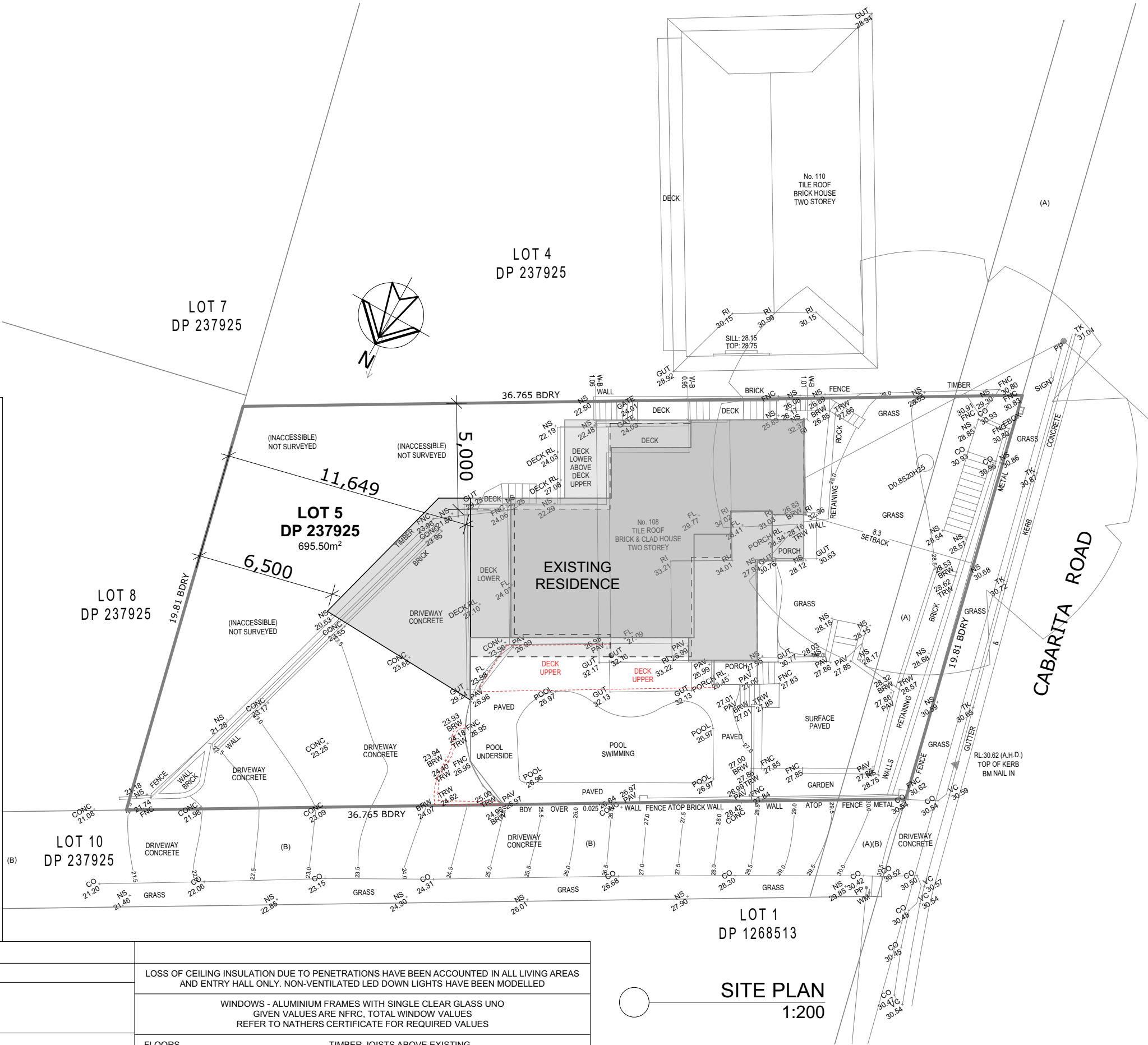
TOTAL AREA: 514.19sqm

FLOOR AREA: 318.33sqm
FLOOR COVER AREA: 222.72sqm
SITE COVER RATIO: 32.02%

LANDSCAPING AREA: 248.30sqm
LANDSCAPING RATIO: 35.70%

ROOF AREA: 149sqm

BASIX NOTES			
STORMWATER DETAILS			
RAINWATER TANK / RETICULATED	N/A	LOSS OF CEILING INSULATION DUE TO PENETRATIONS HAVE BEEN ACCOUNTED IN ALL LIVING AREAS AND ENTRY HALL ONLY. NON-VENTILATED LED DOWN LIGHTS HAVE BEEN MODELLED	
MIN. RAINWATER TANK SIZE	N/A		
HARVESTED ROOF AREA	N/A		
CONNECT TO:	N/A		
WATER			
KITCHEN & BATHROOM TAP RATING	3 STARS	FLOORS FLOOR COVERINGS HOT WATER SYSTEM AIR CONDITIONING EER or STAR RATING VENTILATION COOKING APPLIANCES: OTHER	
SHOWER HEAD RATING	3 STAR (>7.5L BUT <= 9L/MIN)		
TOILET RATING	3 STARS		
THERMAL COMFORT / ENERGY			
EXT. WALL INSULATION (EXCL GARAGE)	R1.7		
EXT. WALL COLOUR	LIGHT	TIMBER JOISTS ABOVE EXISTING N/A	
INT. WALL INSULATION (GARAGE)	R1.7		
ROOF MATERIAL	TILE/METAL		
ROOF INSULATION	SARKING/ANTICON BLANKET		
ROOF COLOUR	MEDIUM ROOF - SA 0.475-0.70	ENERGY EFFICIENT LIGHTING THROUGHOUT	
CEILING INSULATION (EXCL GARAGE)	R1.45		
FLR INSULATION			
UPPER FLOOR AND GARAGE/OUTDOOR	R2.0 (2-STOREY DWELLINGS ONLY)		
IN ADDITION TO THE BASIX REQUIREMENTS; ALL NEW RESIDENTIAL DWELLINGS MUST COMPLY WITH; NSW PART 3.12.1 BUILDING SEALING & 3.12.5.0 - 3.12.5.3 IN VOLUME TWO OF THE NCC			
VENTILATED ROOF SPACE			



SITE PLAN

1:200

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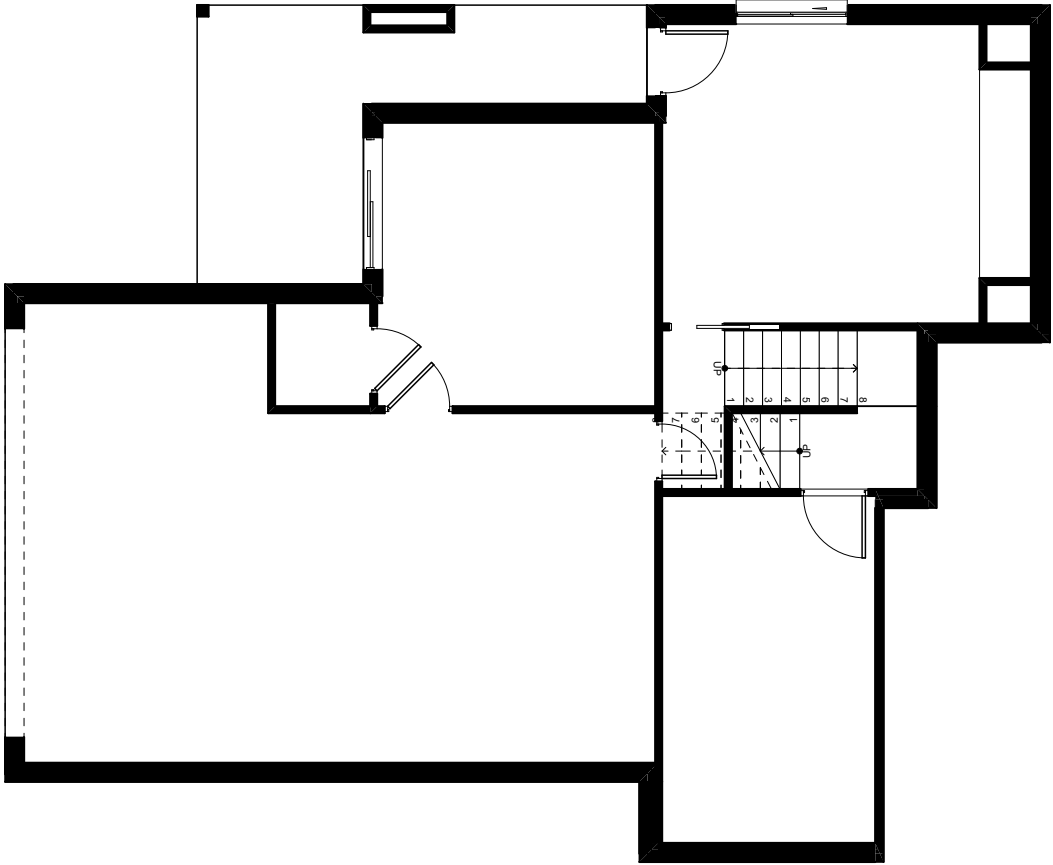
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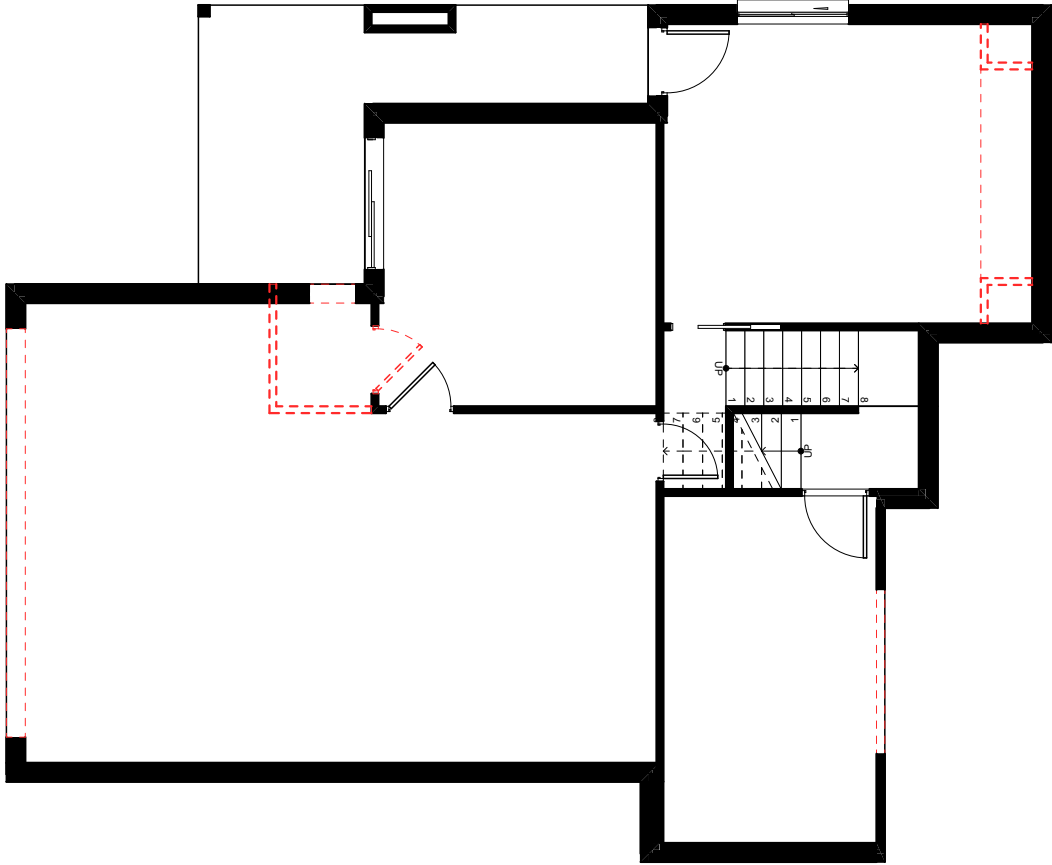
DATE

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

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AND SITE CONDITIONS



EXISTING SUBFLOOR
1:100



DEMO SUBFLOOR
1:100

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SKETCH
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02 9043 1498 | admin@ss77.com.au

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ACCREDITATION NO: 6337

SPANNENBERG & SON PTY
LTD
builders & contractors

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PROPOSED:
ALTERATION
CLIENT:
SPANNENBERG & SON

LOCATION:
LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
------------------	--------------

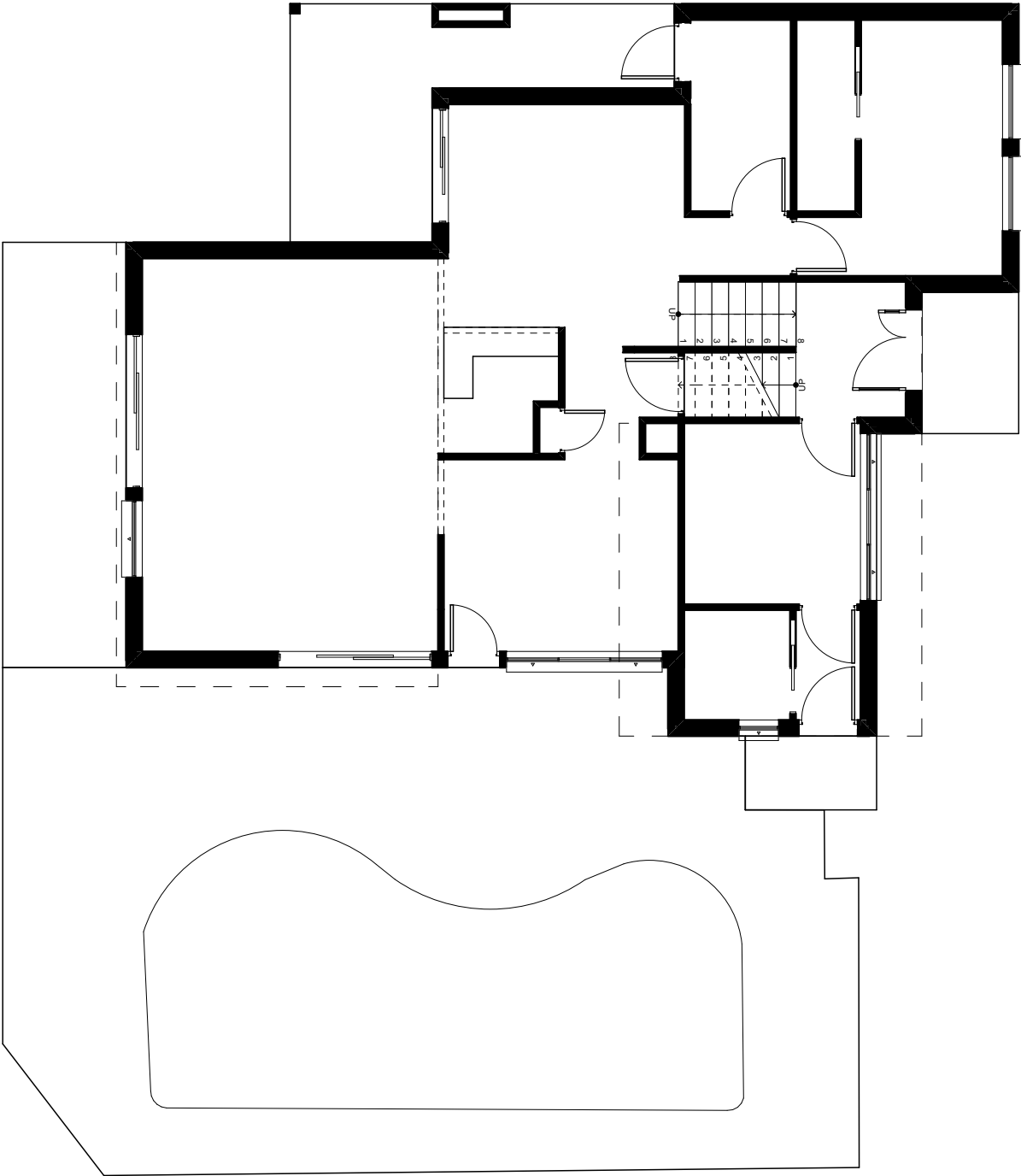
DRAWING: SUBFLOOR	SHEET: 201
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REFERENCE: SB-00067	REVISION:
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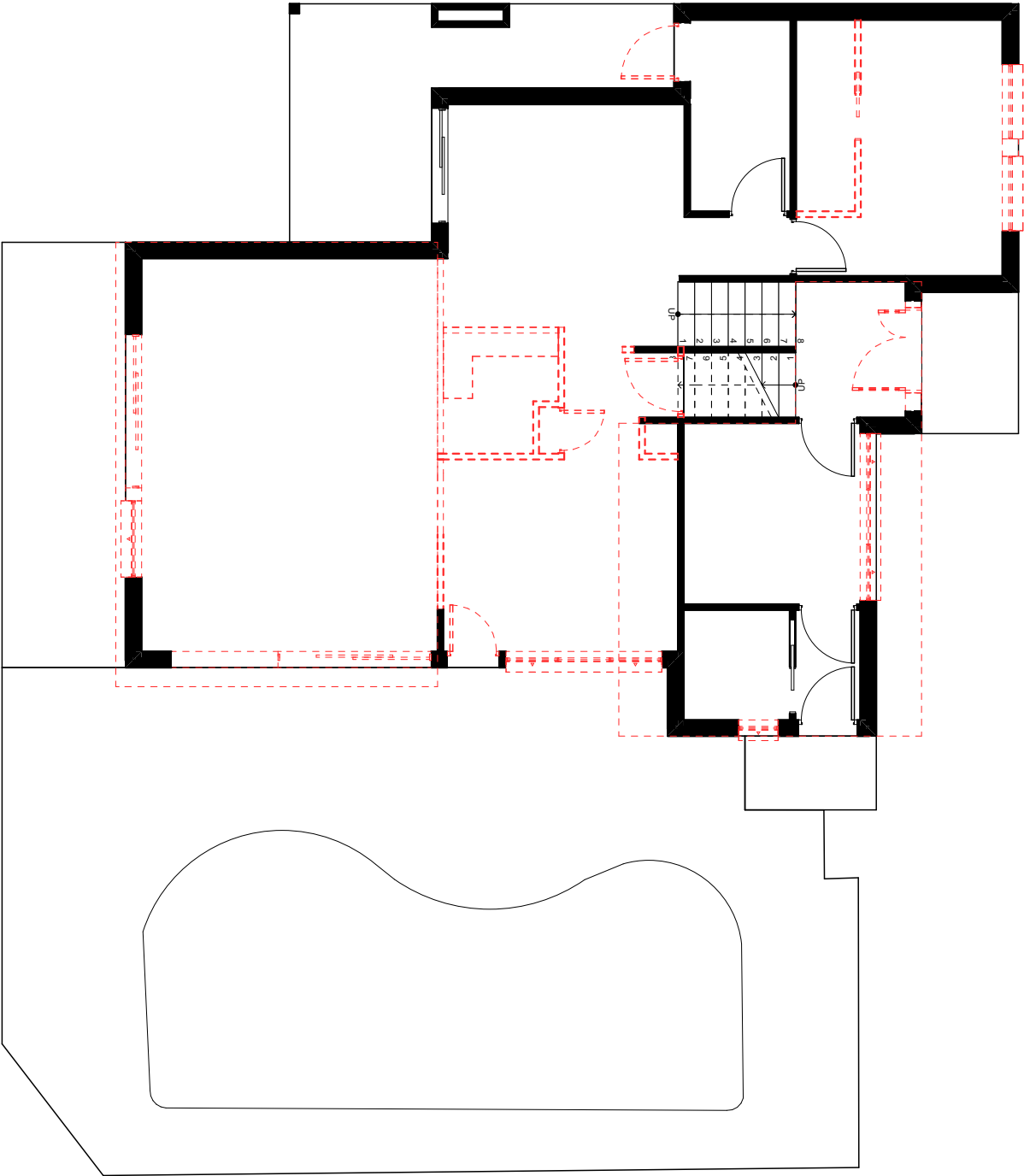
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EXISTING GROUND FLOOR
1:100



DEMO GROUND FLOOR
1:100

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AVALON BEACH 2107

COUNCIL:
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DESIGNED BY:
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DRAWN BY:
P. GULIKOV

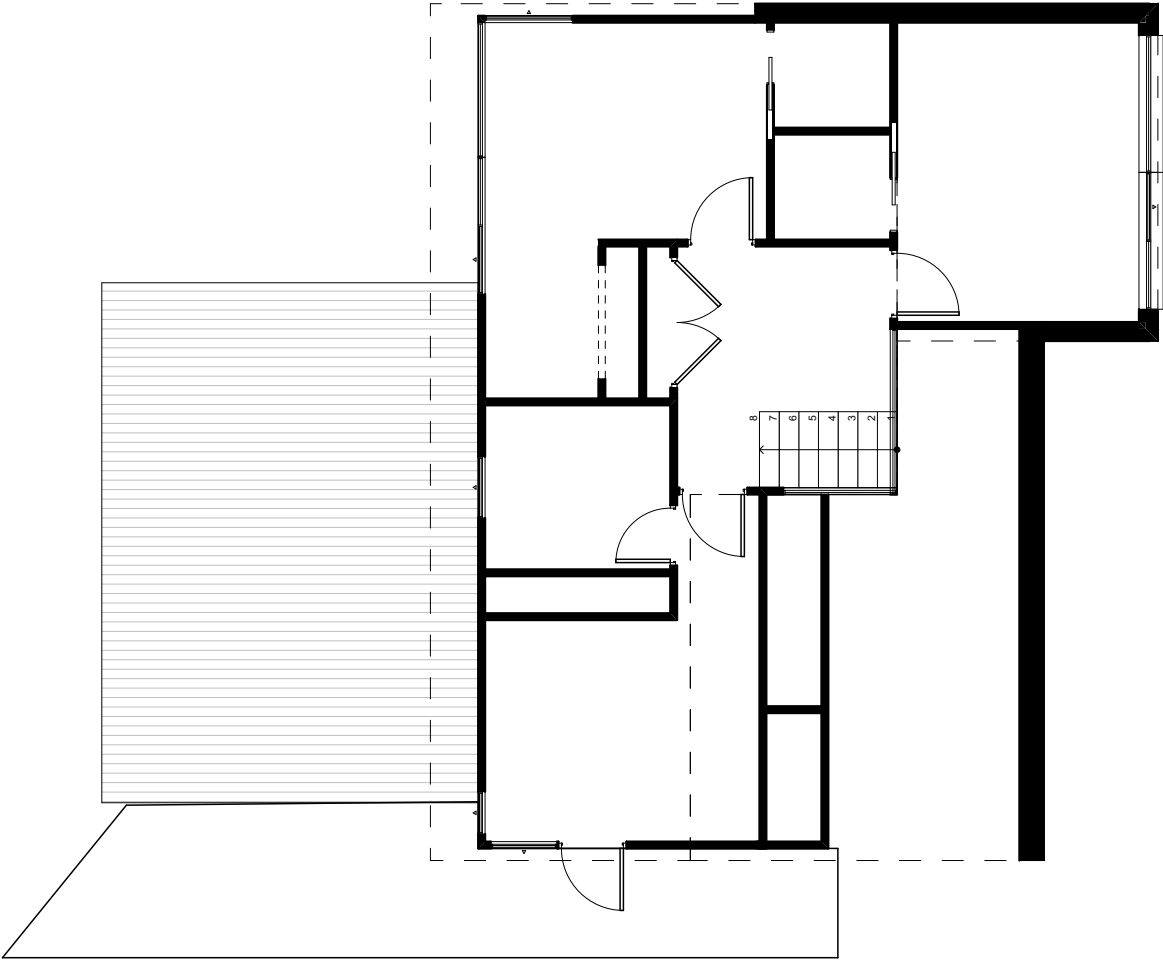
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DRAWING: GROUND FLOOR	SHEET: 202
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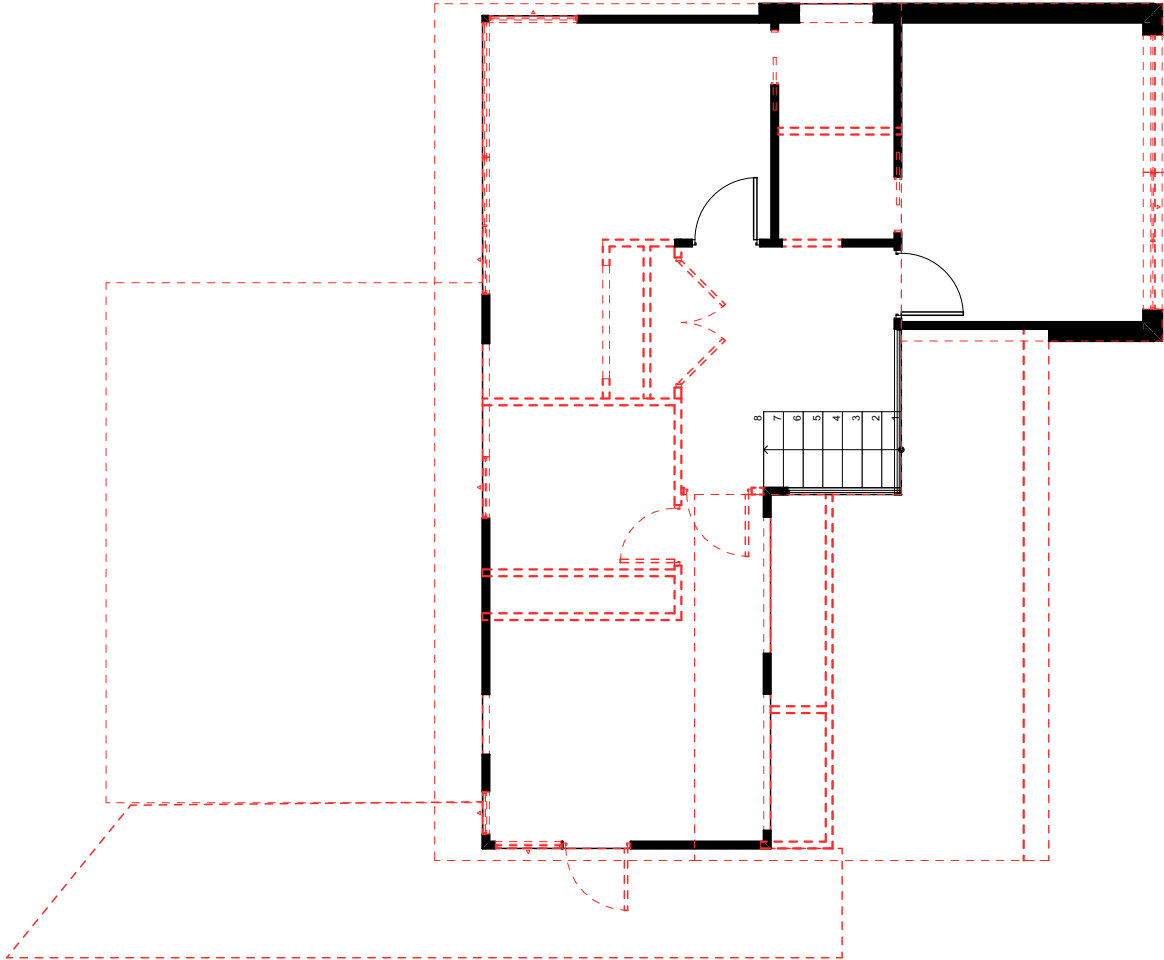
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EXISTING FIRST FLOOR
1:100



DEMO FIRST FLOOR
1:100

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108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
------------------	--------------

DRAWING: FIRST FLOOR	SHEET: 203
-------------------------	---------------

REFERENCE: SB-00067	REVISION:
------------------------	-----------

B05

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AVALON BEACH 2107**

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DESIGNED BY:
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DRAWN BY:
P. GULIKOV

DESIGN:
HOUSE

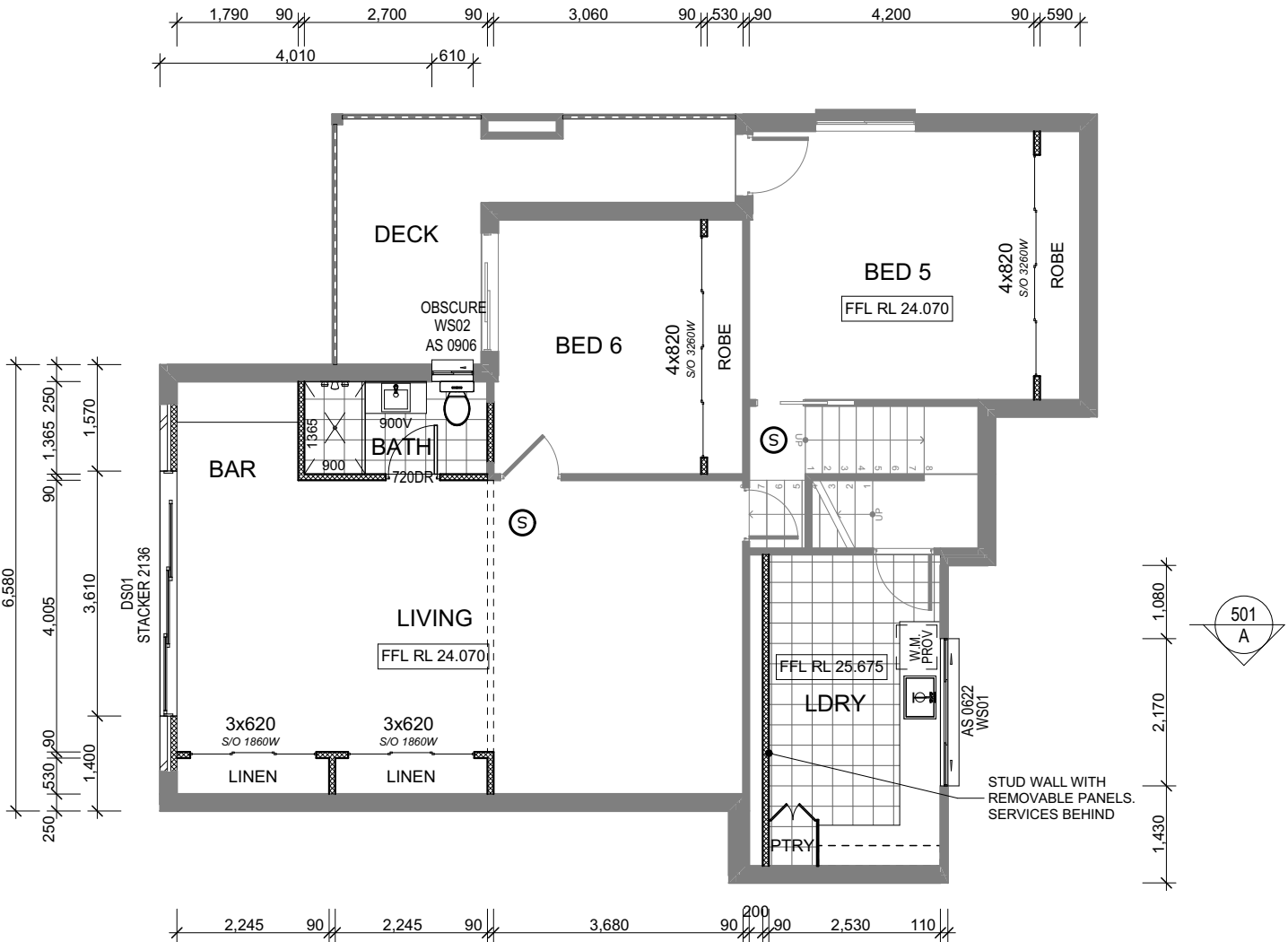
PAPER:
A3

DRAWING:
SUBFLOOR

SHEET:
301

REFERENCE:
SB-00067

REVISION:
B05



SUBFLOOR
1:100

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NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

GROUND FLOOR

SHEET:

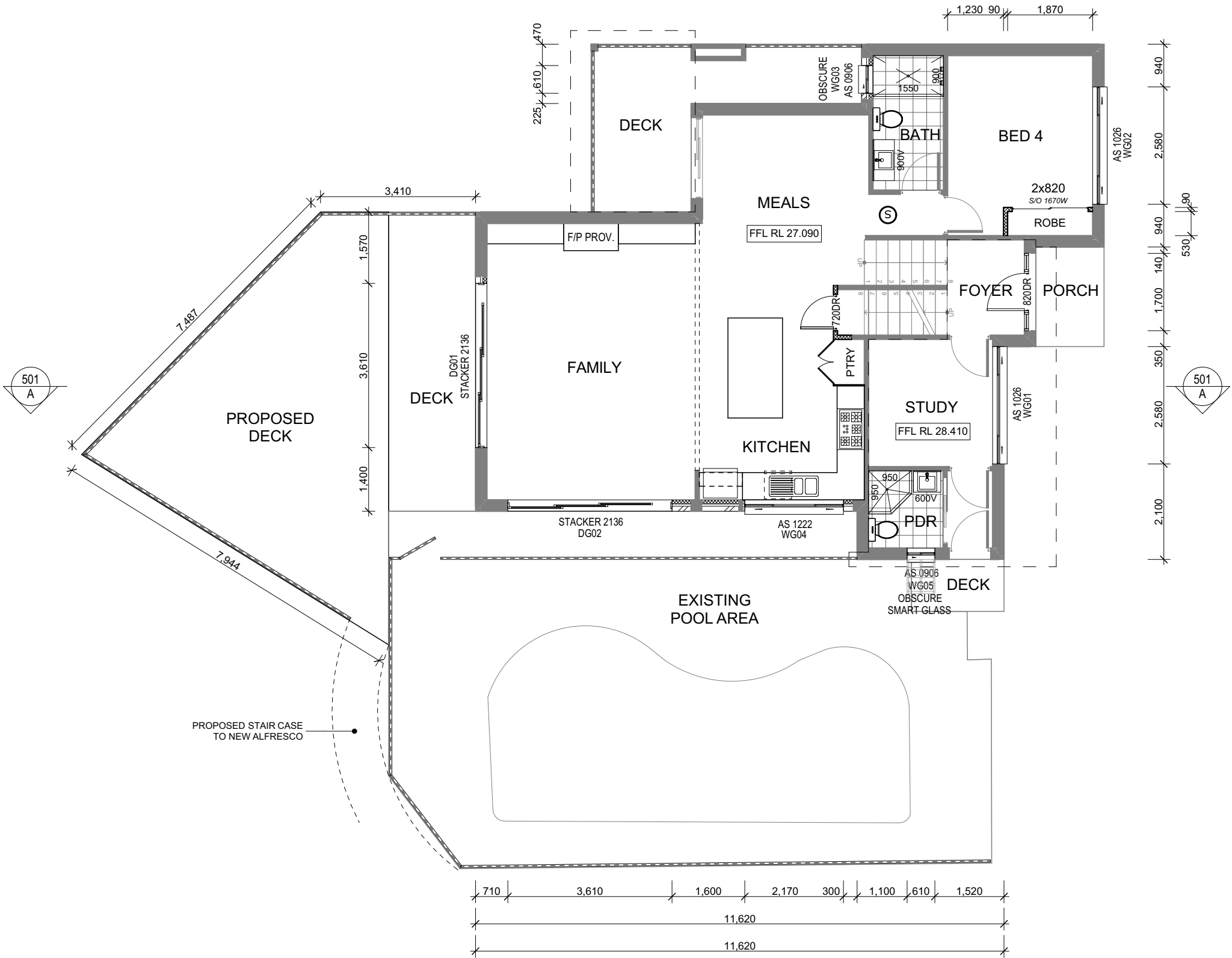
302

REFERENCE:

SB-00067

REVISION:

B05



GROUND FLOOR
1:100

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SKETCH STUDIO

— 77 —

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ACCREDITATION NO: 6337

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13. ALL PROPOSED FLOOR LEVELS AND OTHER RELATED RL NOMINATED ARE SUBJECT TO +/-100mm.

ALTERATION

SPANNENBERG & SON

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

NORTHERN BEACHES

PETER GULIKOV

P. GULIKOV

HOUSE

FIRST FLOOR

SB-00067

A3

303

B05

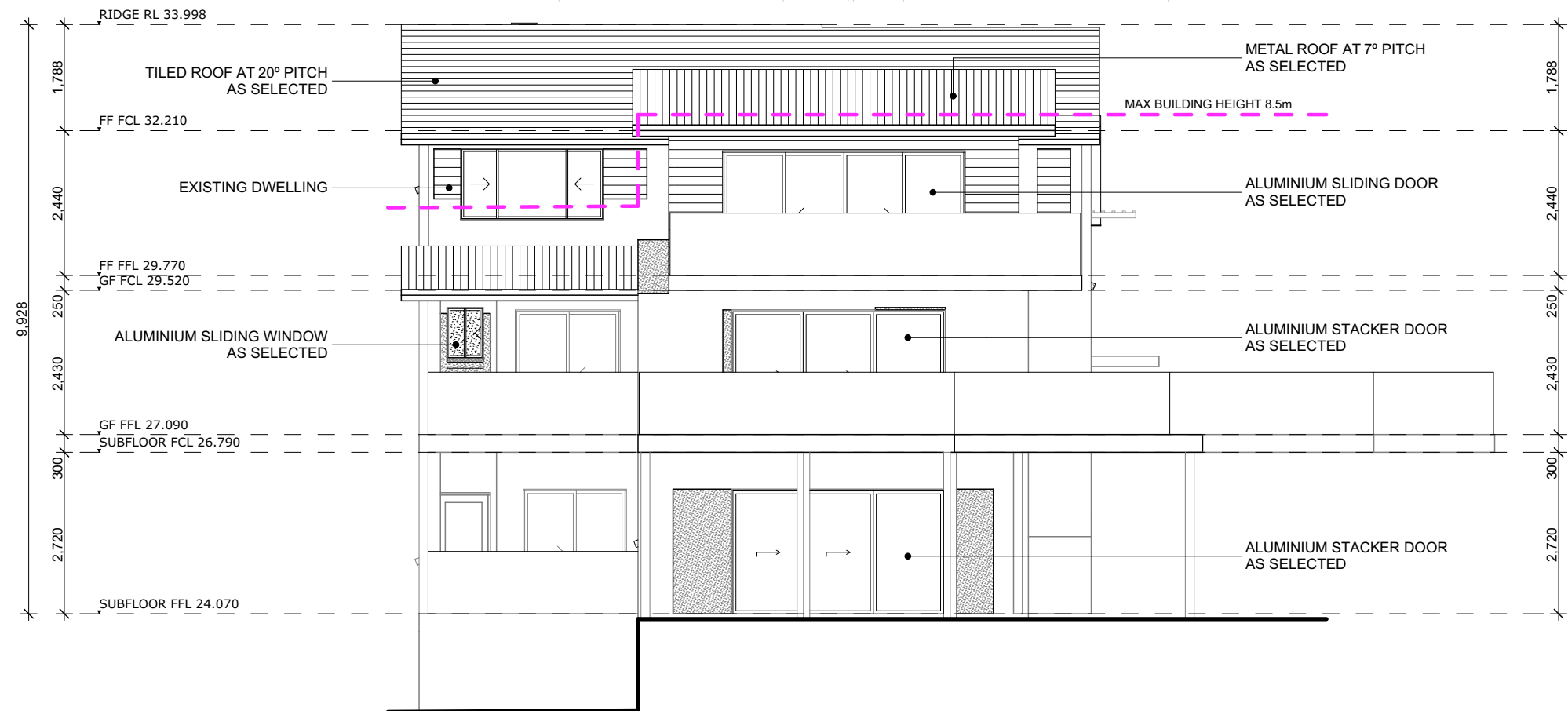
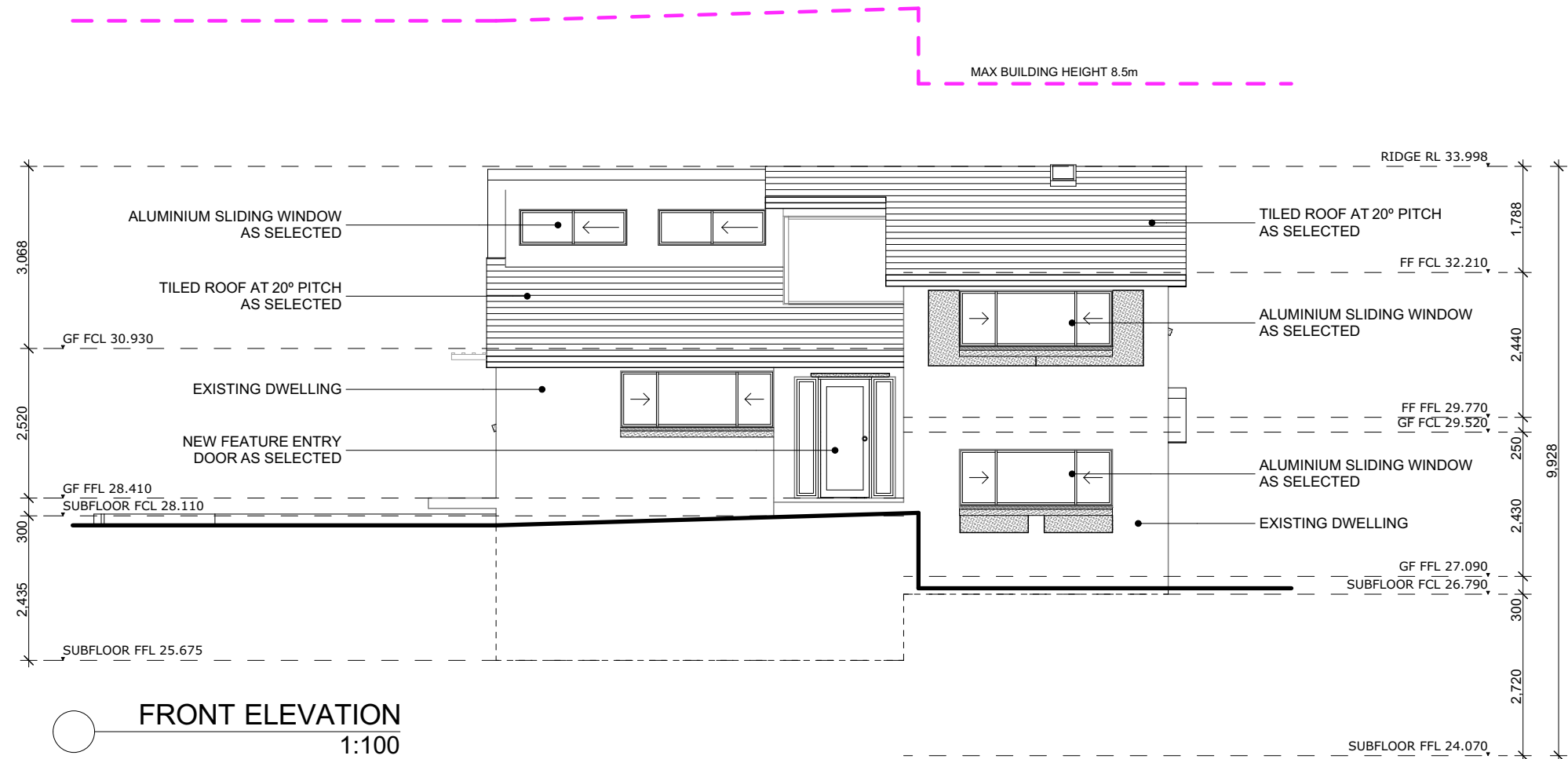


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DATE _____

DATE _____



REAR ELEVATION
1:100

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS

OWNER'S ACKNOWLEDGMENT

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OWNER SIGNATURE	DATE
OWNER SIGNATURE	DATE

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ISSUED STATING OTHERWISE.

**SKETCH
STUDIO**
77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY
LTD IS PETER GULIKOV.
ACCREDITATION NO: 6337

SPANNENBERG & SON PTY LTD
builders & contractors

- CONSTRUCTION NOTES:**
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PROPOSED:
ALTERATION

CLIENT:
SPANNENBERG & SON

LOCATION:
**LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
-------------------------	---------------------

DRAWING: ELEVATIONS	SHEET: 401
-------------------------------	----------------------

REFERENCE: SB-00067	REVISION: B05
-------------------------------	-------------------------

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

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ALTERATION

CLIENT:

SPANNENBERG & SON

LOCATION:

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

ELEVATIONS

SHEET:

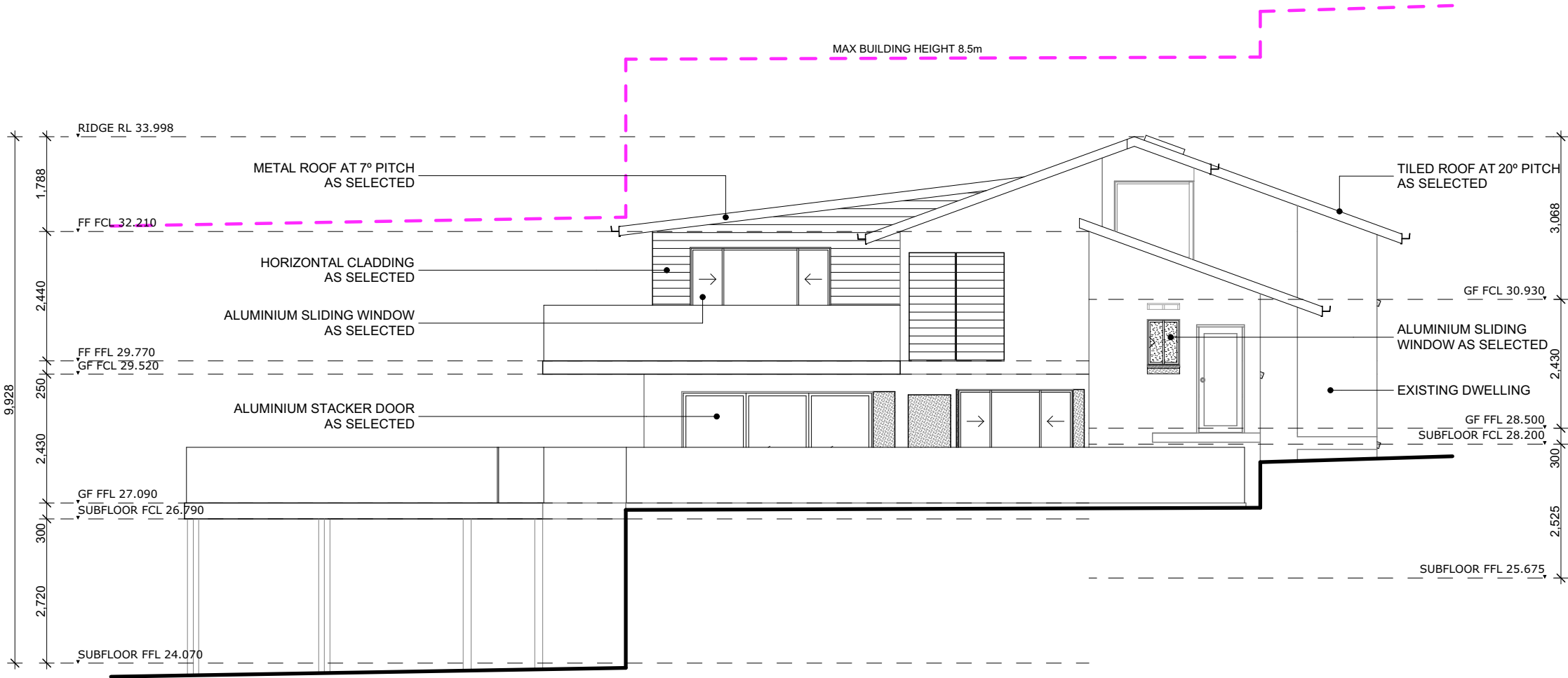
402

REFERENCE:

SB-00067

REVISION:

B05



LEFT ELEVATION

1:100

OWNER'S ACKNOWLEDGMENT

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OWNER SIGNATURE

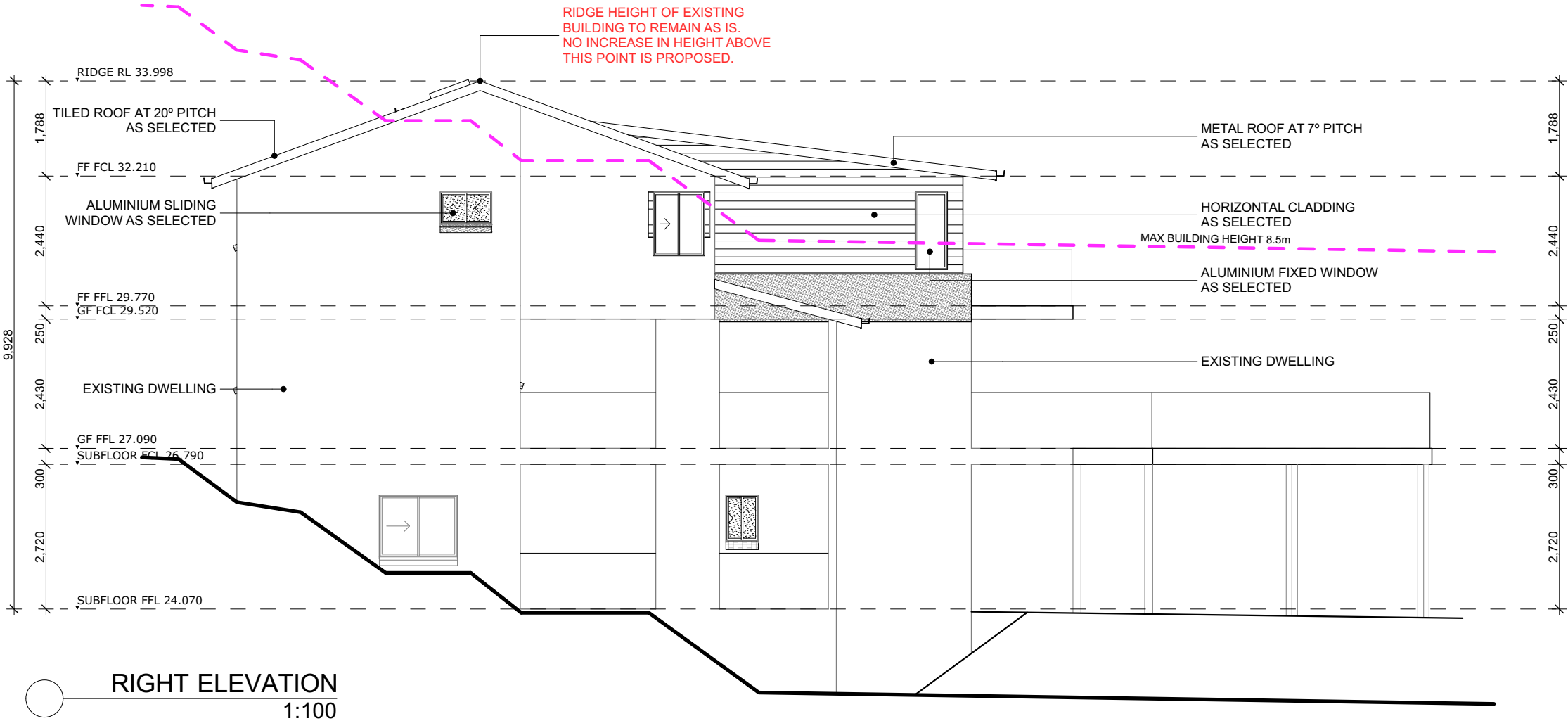
DATE

OWNER SIGNATURE

DATE

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

ALL PROPOSED ELEMENTS
SUBJECT TO ENGINEERS DETAIL
AND SITE CONDITIONS



© COPYRIGHT
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**SKETCH
STUDIO**
77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY
LTD IS PETER GULIKOV.
ACCREDITATION NO: 6337

SPANNENBERG & SON PTY
LTD
builders & contractors

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PROPOSED:

ALTERATION

CLIENT:

SPANNENBERG & SON

LOCATION:

**LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

ELEVATIONS

SHEET:

403

REFERENCE:

SB-00067

REVISION:

B05

OWNER'S ACKNOWLEDGMENT

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OWNER SIGNATURE

DATE

OWNER SIGNATURE

DATE

DEMOLISHED STRUCTURE
DASHED RED AS SHOWN

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SKETCH
STUDIO
77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

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ACCREDITATION NO: 6337

SPANNENBERG & SON PTY LTD
builders & contractors

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PROPOSED:

ALTERATION

CLIENT:

SPANNENBERG & SON

LOCATION:

LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SECTION & DETAILS

SHEET:

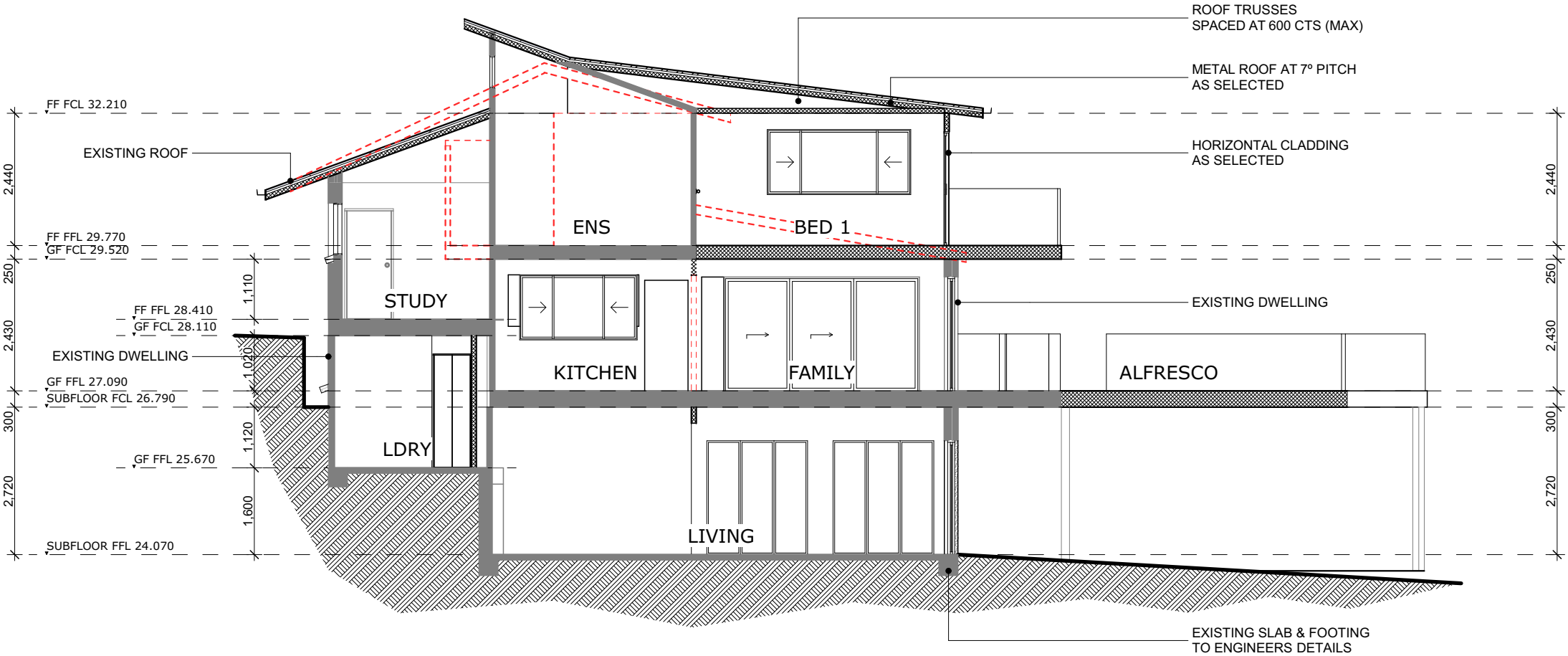
501

REFERENCE:

SB-00067

REVISION:

B05



SECTION A-A
1:100

OWNER'S ACKNOWLEDGMENT

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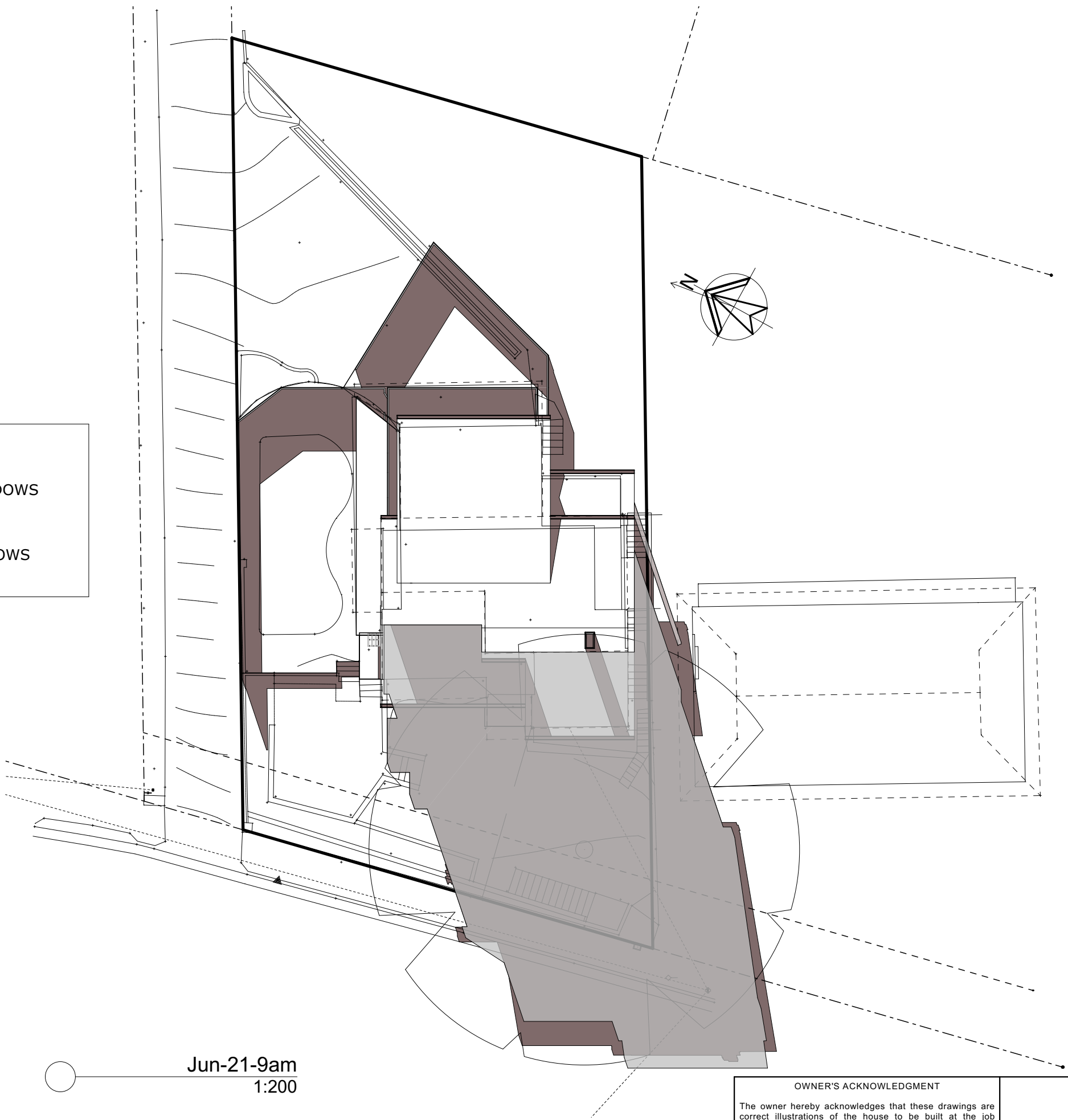
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OWNER SIGNATURE

DATE

OWNER SIGNATURE

DATE



SHADOW LEGEND:

- PROPOSED SHADOWS

- EXISTING SHADOWS



Jun-21-9am
1:200

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OWNER SIGNATURE	DATE
OWNER SIGNATURE	DATE

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SKETCH
STUDIO

77

2/85 LASSO RD, GREGORY HILLS NSW 2557

02 9043 1498 | admin@ss77.com.au

THE NOMINATED DESIGNER FOR SKETCH STUDIO 77 PTY LTD IS PETER GULIKOV.

ACCREDITATION NO: 6337

SPANNENBERG & SON

builders & contractors

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PROPOSED:

ALTERATION

CLIENT:

SPANNENBERG & SON

LOCATION:

LOT: 5 DP: 237925

108 CABARITA ROAD,

AVALON BEACH 2107

COUNCIL:

NORTHERN BEACHES

DESIGNED BY:

PETER GULIKOV

DRAWN BY:

P. GULIKOV

DESIGN:

HOUSE

PAPER:

A3

DRAWING:

SHADOWS

SHEET:

601

REFERENCE:

SB-00067

REVISION:

B05

SKETCH STUDIO

77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

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PROPOSED:
ALTERATION
CLIENT:
SPANNENBERG & SON

LOCATION:
**LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
-------------------------	---------------------

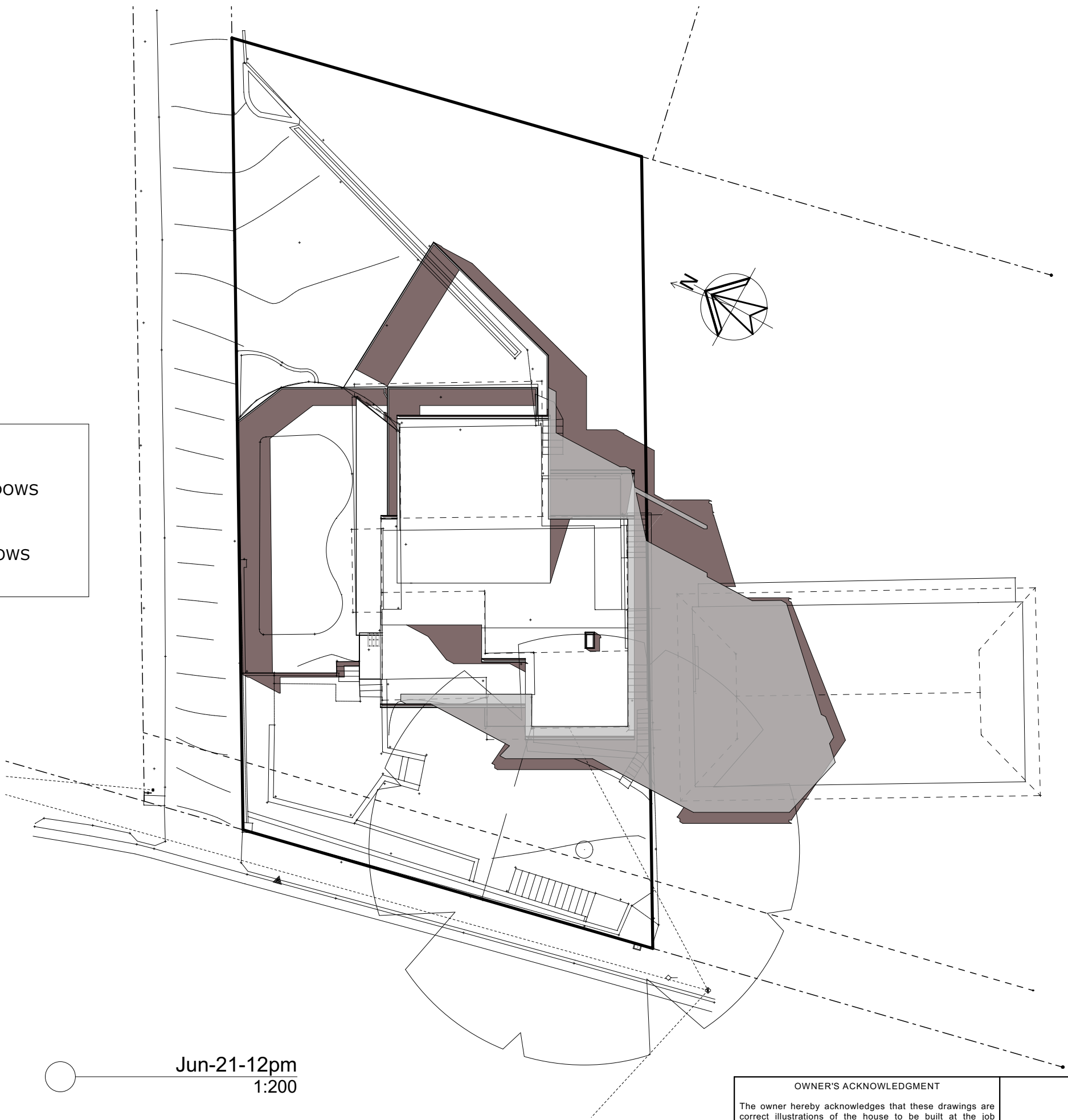
DRAWING: SHADOWS	SHEET: 602
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REFERENCE: SB-00067	REVISION: B05
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SHADOW LEGEND:

- PROPOSED SHADOWS

- EXISTING SHADOWS



Jun-21-12pm
1:200

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OWNER SIGNATURE	DATE
OWNER SIGNATURE	DATE

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SKETCH STUDIO

77

2/85 LASSO RD, GREGORY HILLS NSW 2557
02 9043 1498 | admin@ss77.com.au

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ACCREDITATION NO: 6337

SPANNENBERG & SON PTY
LTD
builders & contractors

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PROPOSED:
ALTERATION

CLIENT:
SPANNENBERG & SON

LOCATION:
**LOT: 5 DP: 237925
108 CABARITA ROAD,
AVALON BEACH 2107**

COUNCIL:
NORTHERN BEACHES

DESIGNED BY:
PETER GULIKOV

DRAWN BY:
P. GULIKOV

DESIGN: HOUSE	PAPER: A3
-------------------------	---------------------

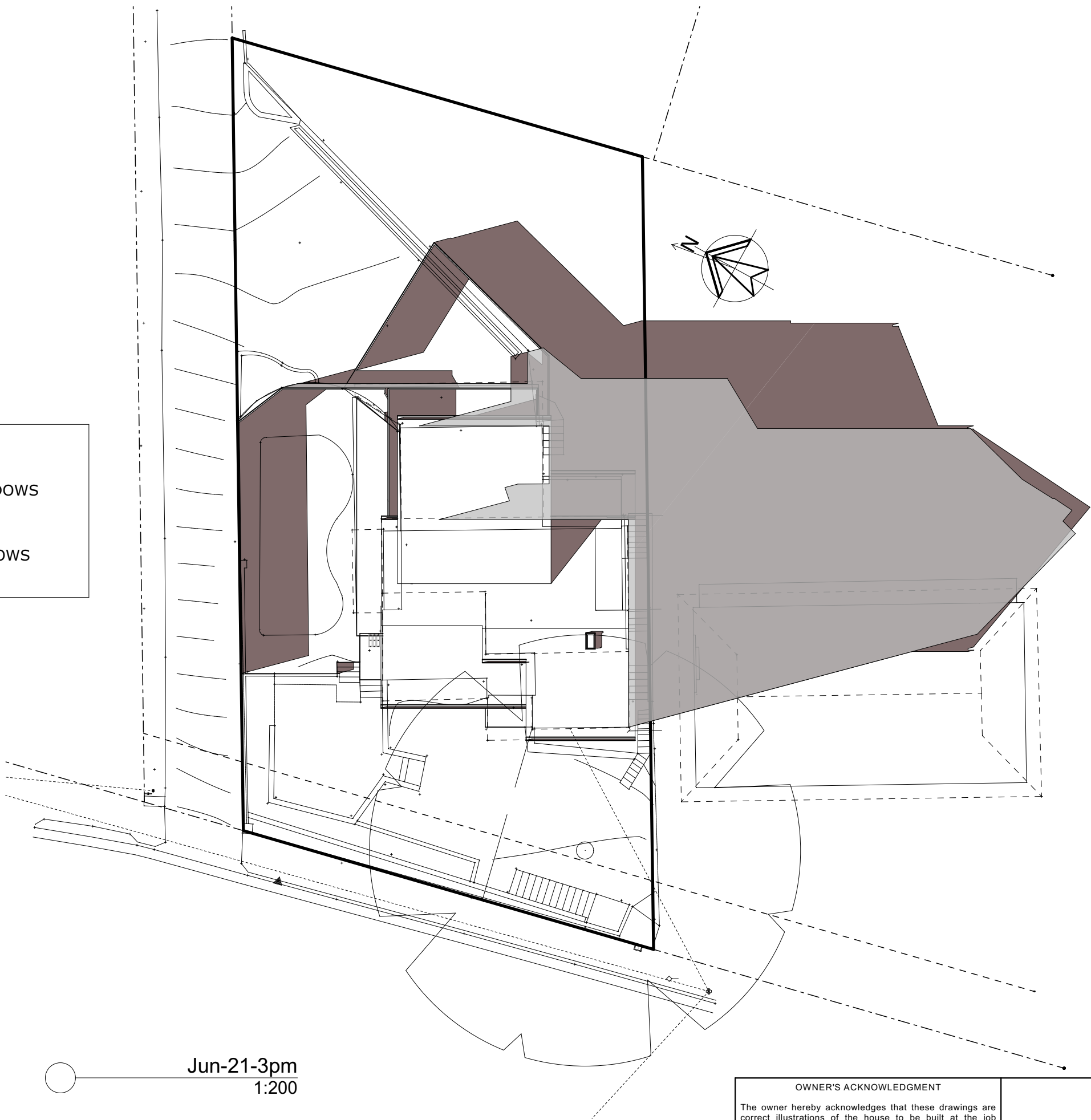
DRAWING: SHADOWS	SHEET: 603
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REFERENCE: SB-00067	REVISION: B05
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SHADOW LEGEND:

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- EXISTING SHADOWS



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