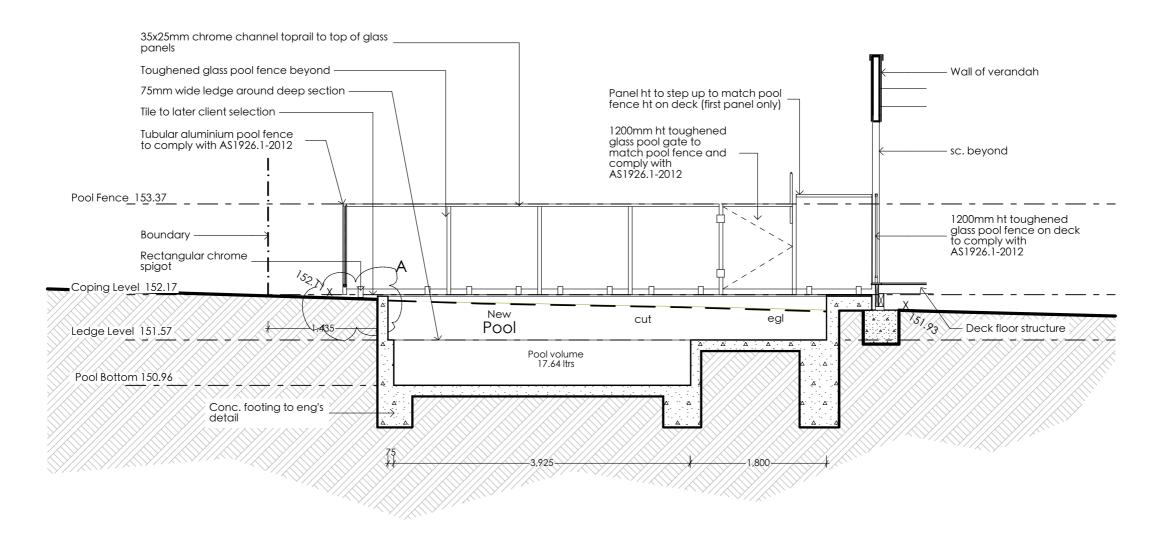
Site Area 569m2			V//////			Legend
Gross Floor Area Existing New 124.81 165.91		* 3,000		— Material storage area		approp appropriate bg box gutter bho bulkhead over blk block bo beam over
Notes * All works are to comply with the latest National Construction Code * All materials are to be new unless otherwise confirmed by client * All dimensions are to be checked on site before proceeding with construction *There are no easements or rights-of-way pertaining to this property * All external uses of timber are to be paint finished or stained and have an appropriate "H" rating for use	Structure	Root Zone New Pool	A Existing yard deck to remain	Outline of existing cubby house (to be demolished) Existing tree to be removed		bp butler's pantry cc "Colorbond" capping col column conc concrete cpd. cupboard cpt carpet ct ceramic tile dl deck level dp down pipe efl existing floor level egl - existing ground level eng's spec - engineer's specification
* Structural timber to be seasoned and confirmed by builder (as required) * A combination of hay bales, geotech fabric and grass will act as sediment control device * Termite control to be used as required by council and as noted on sections * The site is not in a mine subsidence area * The site does not contain acid sulphate soils * Services are available on site * All bathroom tiling to ceiling * Contours noted in survey dated April 2018 * Min R2 insulation to be provided in roof & min R1.5 insulation to be provided in walls unless noted otherwise in BASIX certificate	New pool pump	gle storey	osed : Proposed : new addition :	Overgrown hedge to be cut back Outline of existing carport to be re		fb - floor boards fc fibre cement sheeting ffl finished floor level fcl finished ceiling level fw floor waste hws hot water service h/w hardwood is island ld'y - laundry ngl new ground level pc powder coated pdr powder room ppb - painted plasterboard reinf reinforced
SCHEDULE OF EXTERNAL COLOURS	V//////////	d cottage Lot 56 P 36616				rl relative level sc - steel column (to eng. details) sl seat level s/s stainless steel st stand pipe
External cladding 1: 'James Hardie' 'Scyon Matrix' Dulux Summer Cloud Half External cladding 2: 'James Hardie' "Hardiplank Weatherboard	Location of bingarbage, greet container recycles	n waste, clina & paper	35,955	Single storey clad cottage Lot 54 DP 36616		tbc to be confirmed tim. col timber column tp trowelled finish TP7 - tree protection zone
Smooth' Dulux Trespass	recycling for or clear access ro Street		Existing Propid : Sometimes of the start of			tsf timber strip floor WIP - walk in pantry WIR - walk in robe
Roof: to match existing	Street	100%	to remain store add n o			Wik - Wak intobe
Timber Decks: mixed hardwood		35,9	Lot 55			
'Feast Watson' Clear Weatherproof Varnish CLADDING 1 CLADDING 2		rs with new	B B B2 B3	ocation of general waste and recycluring the demolition & construction I - labelled "Garden Organics"; Bin 2 General Waste"; Bin 3 - labelled "Housecyclables"	led waste phases Bin - labelled sehold	northern beaches council THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/0625
	(see Hotes)	15100 boundary	15.850	В		N
	Exis	sting fence to be repainted		REET	0:1-	Analysis Dist
					Site	Analysis Plan 1:200
AED angela elliss design	STAL ADDRESS 3 Avoca Drive Kincumber NSW 2251 AIL gela@angelaelliss.com.au ONE 21 708 751	NOTES All works are to comply with the BCA All materials to be new - unless confirmed by client All dimensions to be checked on site before construction Termite control as required by Australian Standards If external decks are finished in anything other than open decking or similar, the finished floor level must be constructed 50mm lower than the internal floor level All external uses of timber must be painted or treated as noted on plans	DA Application Description	SITE ADDRESS 12 Akora Street FRENCHS FOREST	DP 36616	Revisions 4/09/19 Move swimming pool to the east and remove tiled surround on north and west edges 15/10/19 Remove new fence
WF	EBSITE	All heights to A.H.Datum unless otherwise stated	Renovations & Additions	D. & S. Ryan		15/10/19 Remove new fence to front side boundaries and diversary 15/10/19

ABN 77 064 276 473

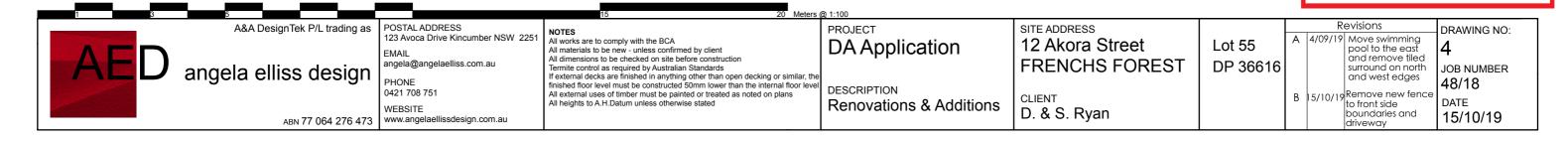
www.angelaellissdesign.com.au

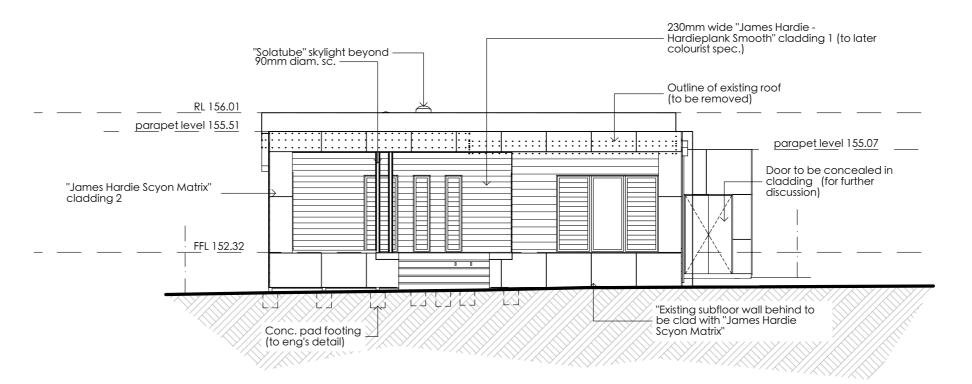


SECTION 2 - Pool

1:50







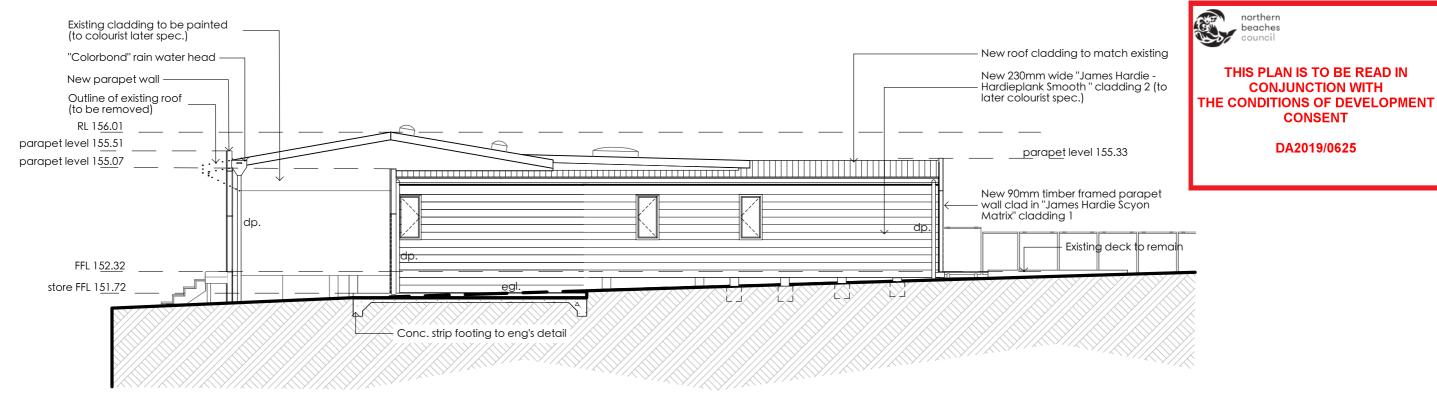
South West Elevation 1:100

beaches

CONJUNCTION WITH

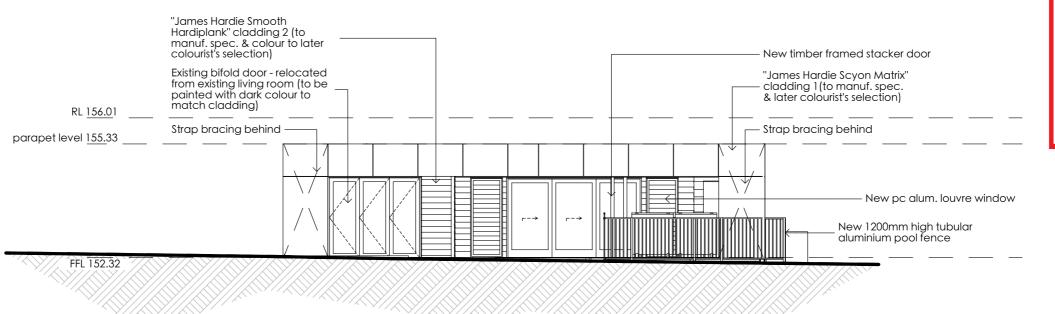
CONSENT

DA2019/0625



South East Elevation 1:100

A&A DesignTek P/L trading as POSTAL ADDRESS SITE ADDRESS Revisions PROJECT DRAWING NO: NOTES A 4/09/19 Move swimming pool to the east 123 Avoca Drive Kincumber NSW 225 All works are to comply with the BCA **DA Application** 12 Akora Street Lot 55 All materials to be new - unless confirmed by client EMAIL All dimensions to be checked on site before construction Termite control as required by Australian Standards and remove tiled surround on north angela@angelaelliss.com.au FRENCHS FOREST DP 36616 angela elliss design JOB NUMBER If external decks are finished in anything other than open decking or similar, the finished floor level must be constructed 50mm lower than the internal floor level All external uses of timber must be painted or treated as noted on plans and west edges 48/18 DESCRIPTION B 15/10/19 Remove new fence DATE All heights to A.H.Datum unless otherwise stated Renovations & Additions D. & S. Ryan boundaries and driveway 15/10/19 www.angelaellissdesign.com.au ABN 77 064 276 473

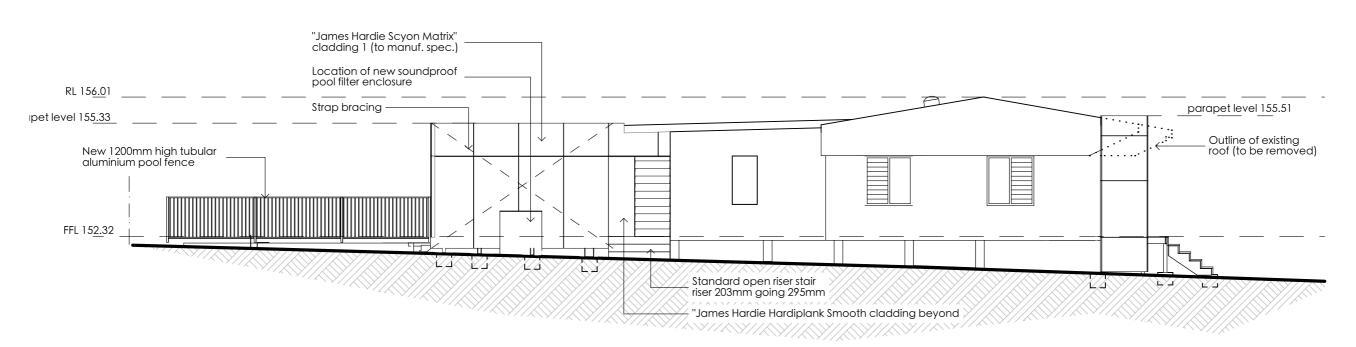


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/0625

North East Elevation 1:100



North West Elevation 1:100

