

Site Area	569m2	
Gross Floor Area	Existing	New
	124.81	165.91

Notes

- * All works are to comply with the latest National Construction Code
- * All materials are to be new unless otherwise confirmed by client
- * All dimensions are to be checked on site before proceeding with construction
- * There are no easements or rights-of-way pertaining to this property
- * All external uses of timber are to be paint finished or stained and have an appropriate "H" rating for use
- * Structural timber to be seasoned and confirmed by builder (as required)
- * A combination of hay bales, geotech fabric and grass will act as sediment control device
- * Termite control to be used as required by council and as noted on sections
- * The site is not in a mine subsidence area
- * The site does not contain acid sulphate soils
- * Services are available on site
- * All bathroom tiling to ceiling
- * Contours noted in survey dated April 2018
- * Min R2 insulation to be provided in roof & min R1.5 insulation to be provided in walls unless noted otherwise in BASIX certificate

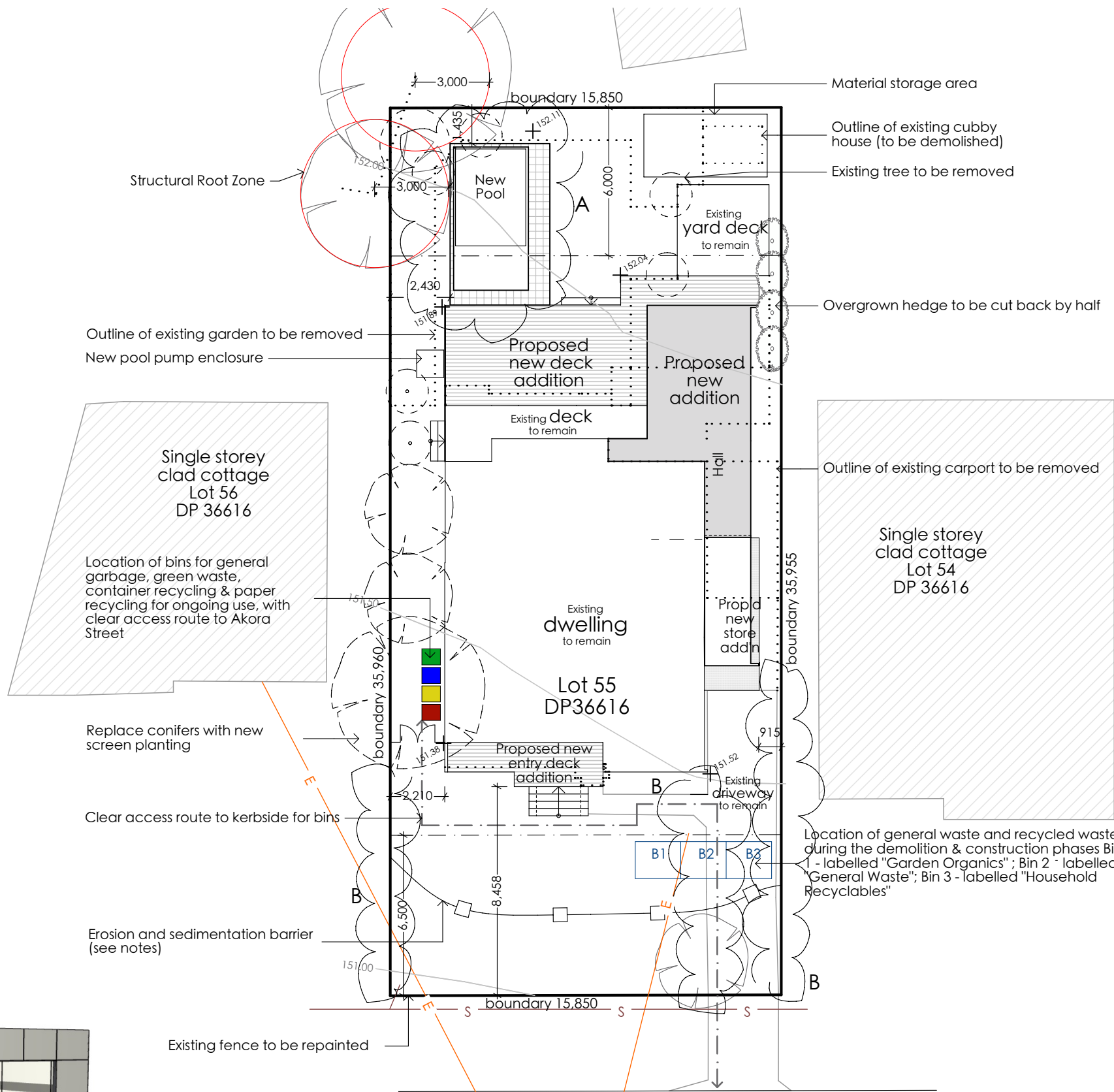
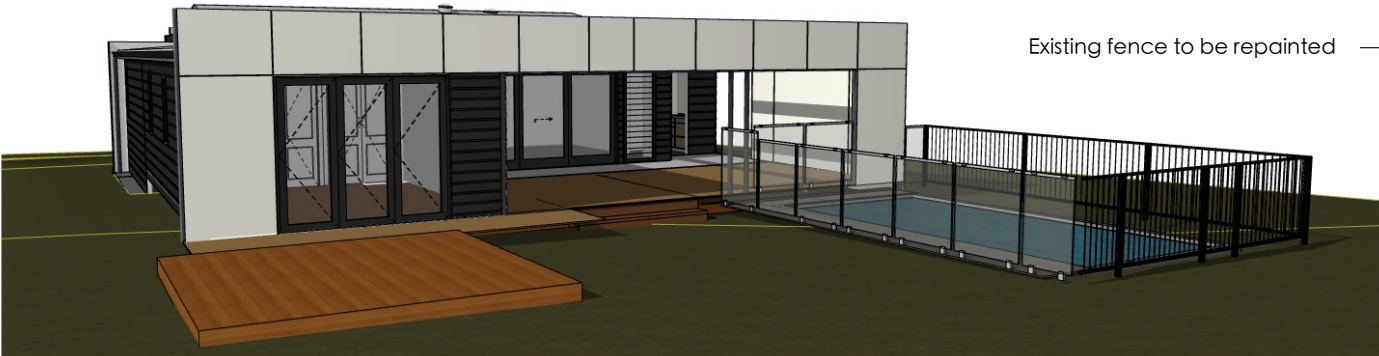
SCHEDULE OF EXTERNAL COLOURS

External cladding 1: 'James Hardie' 'Scyon Matrix'
Dulux Summer Cloud Half

External cladding 2: 'James Hardie' "Hardiplank Weatherboard Smooth'
Dulux Trespass

Roof: to match existing

Timber Decks: mixed hardwood
'Feast Watson' Clear Weatherproof Varnish

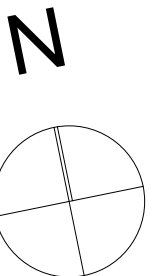


AKORA

STREET

Site Analysis Plan

1:200



Legend

- approp. - appropriate
 bg. - box gutter
 bho. - bulkhead over
 blk. - block
 bo. - beam over
 bp. - butler's pantry
 cc. - "Colorbond" capping
 col. - column
 conc. - concrete
 cpd. cupboard
 cpt. - carpet
 ct. - ceramic tile
 dl. - deck level
 dp. - down pipe
 efl. - existing floor level
 egl - existing ground level
 eng's spec - engineer's specification
 fb - floor boards
 fc. - fibre cement sheeting
 ffl. - finished floor level
 fcl. - finished ceiling level
 fw. - floor waste
 hws. - hot water service
 h/w. - hardwood
 is. - island
 ld'y - laundry
 ngl. - new ground level
 pc. - powder coated
 pdr. - powder room
 ppb - painted plasterboard
 reinf. - reinforced
 rl. - relative level
 sc - steel column (to eng. details)
 sl. - seat level
 s/s. - stainless steel
 st. - stand pipe
 tbc. - to be confirmed
 tim. col. - timber column
 tp. - trowelled finish
 TPZ - tree protection zone
 tsf. - timber strip floor
 WIP - walk in pantry
 WIR - walk in robe



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0625

POSTAL ADDRESS
123 Avoca Drive Kincumber NSW 2251

EMAIL
angela@angelaelliss.com.au

PHONE
0421 708 751

WEBSITE
www.angelaellissdesign.com.au

NOTES

- All works are to comply with the BCA
- All materials to be new - unless confirmed by client
- All dimensions to be checked on site before construction
- Termite control as required by Australian Standards
- If external decks are finished in anything other than open decking or similar, the finished floor level must be constructed 50mm lower than the internal floor level
- All external uses of timber must be painted or treated as noted on plans
- All heights to A.H.Datum unless otherwise stated

PROJECT
DA Application

DESCRIPTION
Renovations & Additions

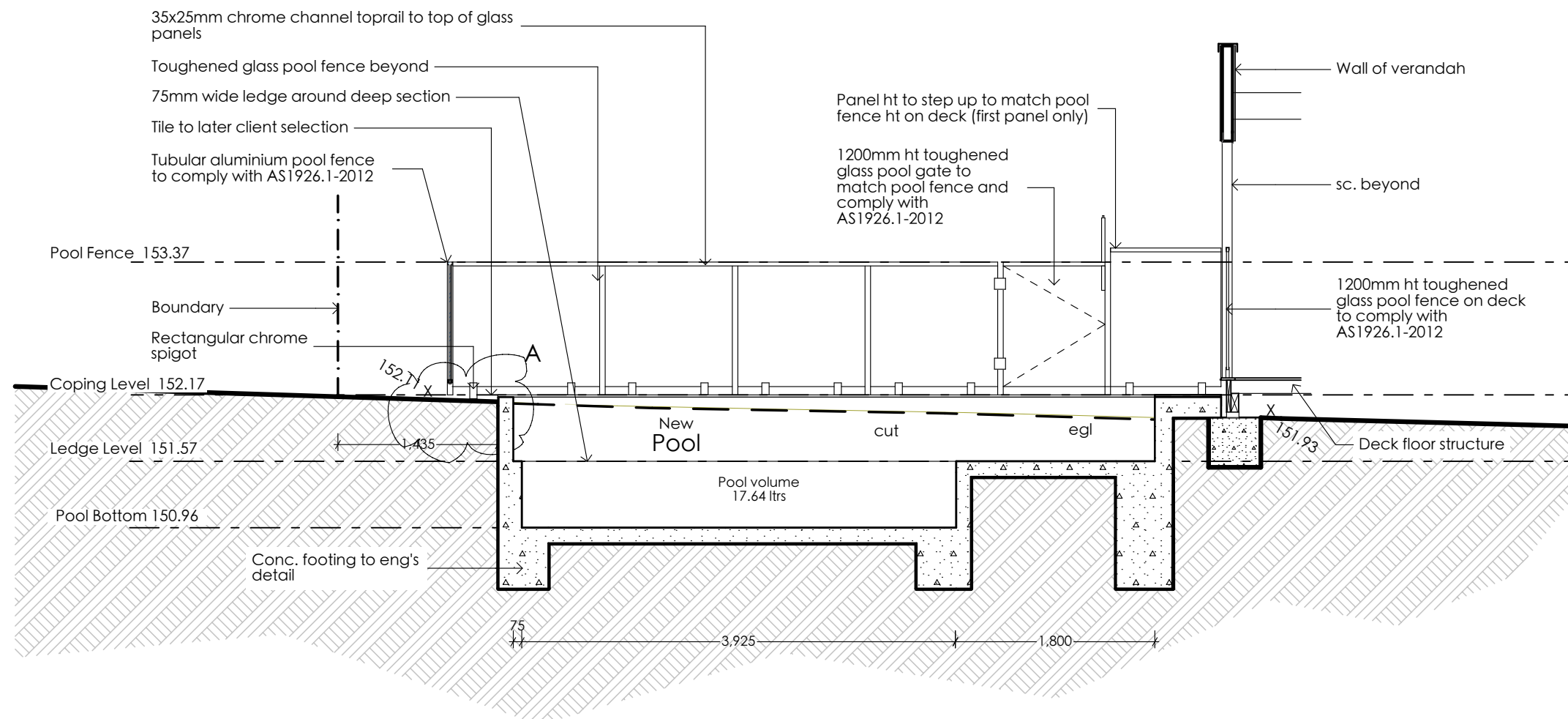
SITE ADDRESS
12 Akora Street
FRENCHS FOREST

CLIENT
D. & S. Ryan

Lot 55
DP 36616

Revisions		
A	4/09/19	Move swimming pool to the east and remove tiled surround on north and west edges
B	15/10/19	Remove new fence to front side boundaries and driveway

DRAWING NO:
1
JOB NUMBER
48/18
DATE
15/10/19



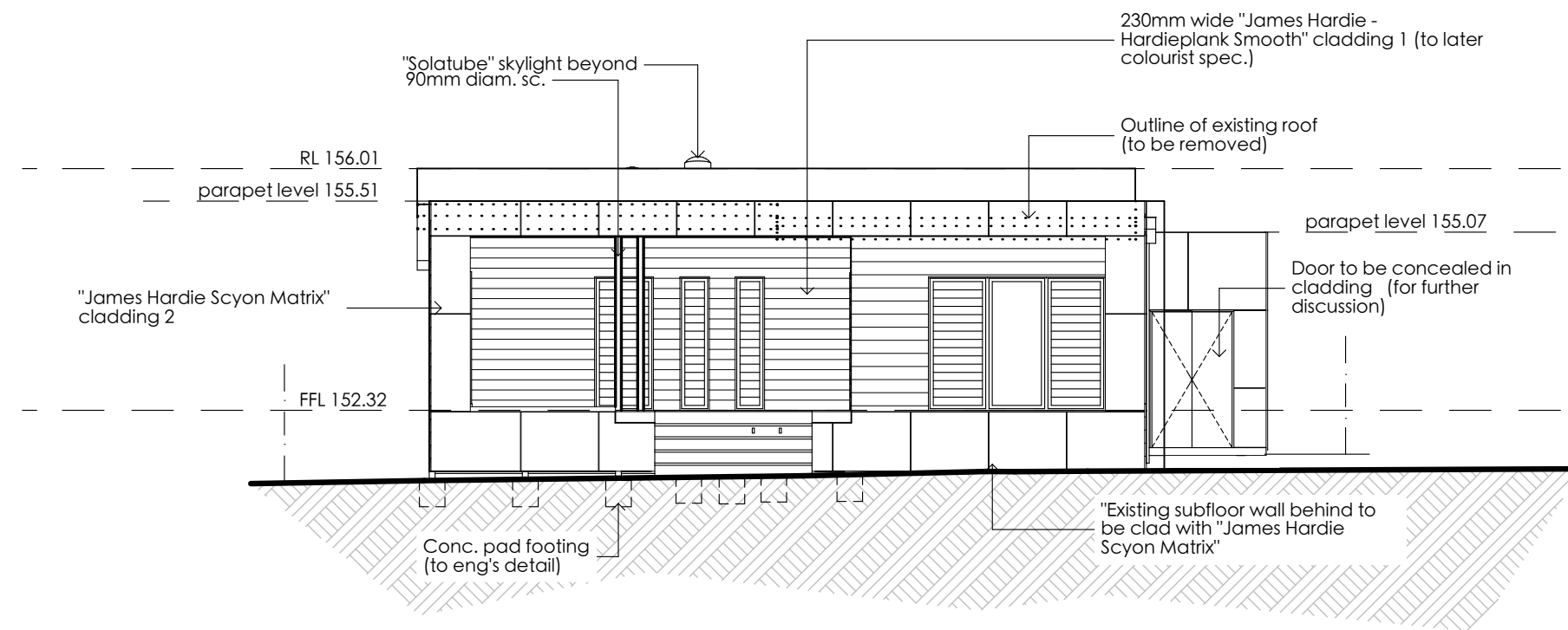
SECTION 2 - Pool 1:50



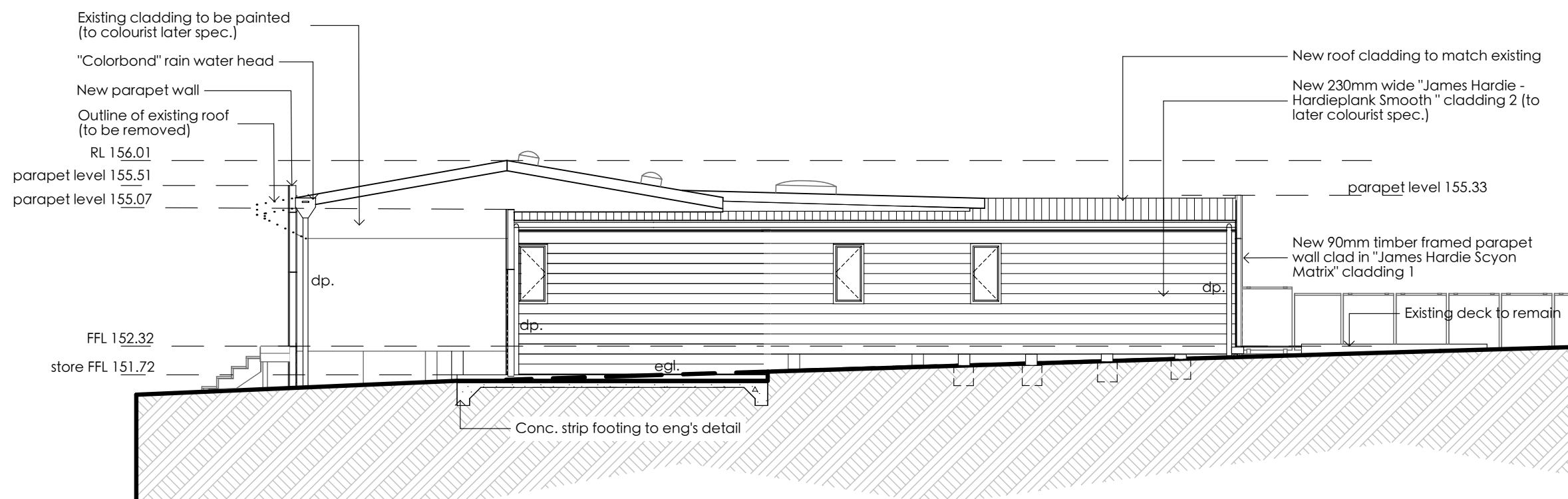
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0625

13		5		15		20 Meters @ 1:100									
 A&A DesignTek P/L trading as angela elliss design ABN 77 064 276 473		POSTAL ADDRESS 123 Avoca Drive Kincumber NSW 2251 EMAIL angela@angelaelliss.com.au PHONE 0421 708 751 WEBSITE www.angelaellissdesign.com.au		NOTES All works are to comply with the BCA All materials to be new - unless confirmed by client All dimensions to be checked on site before construction Termite control as required by Australian Standards If external decks are finished in anything other than open decking or similar, the finished floor level must be constructed 50mm lower than the internal floor level All external uses of timber must be painted or treated as noted on plans All heights to A.H.Datum unless otherwise stated		PROJECT DA Application DESCRIPTION Renovations & Additions		SITE ADDRESS 12 Akora Street FRENCHS FOREST CLIENT D. & S. Ryan		Lot 55 DP 36616		Revisions A4/09/19Move swimming pool to the east and remove tiled surround on north and west edges B15/10/19Remove new fence to front side boundaries and driveway		DRAWING NO: 4 JOB NUMBER 48/18 DATE 15/10/19	



South West Elevation
1:100



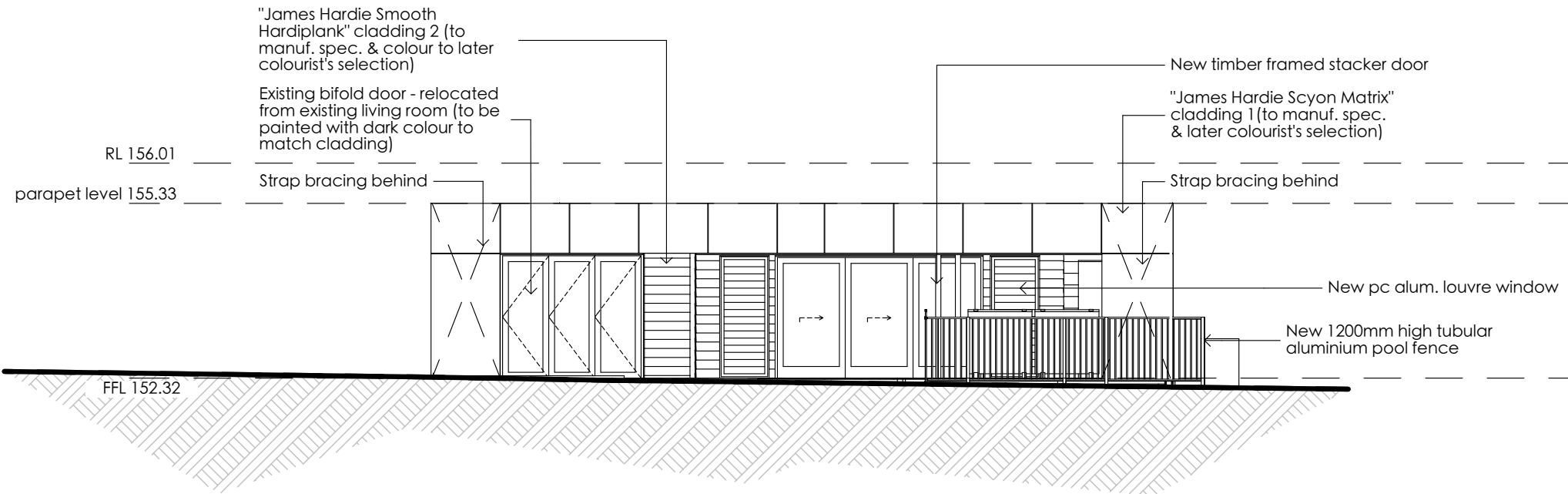
South East Elevation
1:100

 **northern
beaches
council**

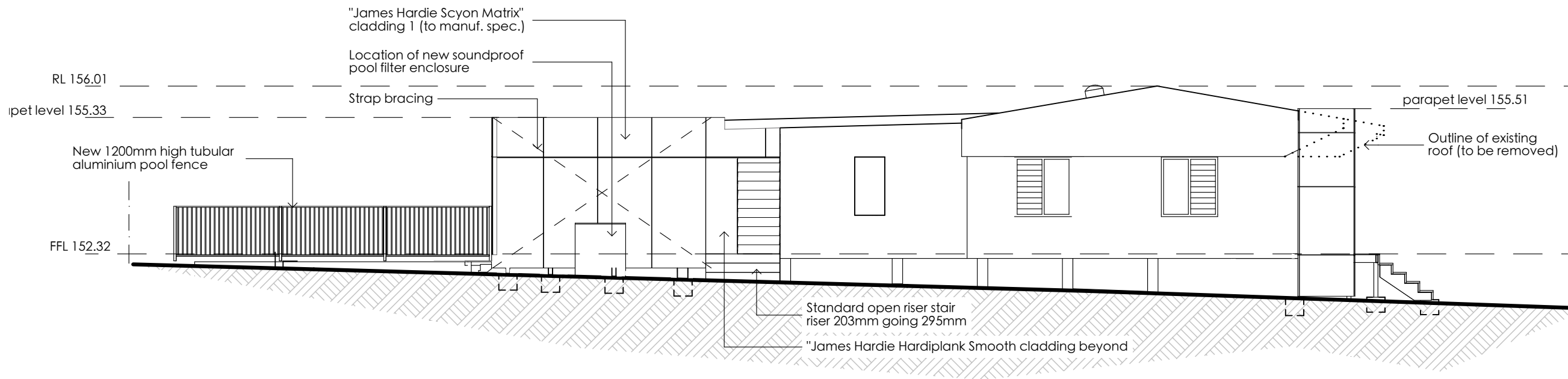
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/0625

13520 Meters @ 1:100																							
 A&A DesignTek P/L trading as angela elliss design ABN 77 064 276 473			POSTAL ADDRESS 123 Avoca Drive Kincumber NSW 2251 EMAIL angela@angelaelliss.com.au PHONE 0421 708 751 WEBSITE www.angelaellissdesign.com.au			NOTES All works are to comply with the BCA All materials to be new - unless confirmed by client All dimensions to be checked on site before construction Termite control as required by Australian Standards If external decks are finished in anything other than open decking or similar, the finished floor level must be constructed 50mm lower than the internal floor level All external uses of timber must be painted or treated as noted on plans All heights to A.H.Datum unless otherwise stated		PROJECT DA Application DESCRIPTION Renovations & Additions		SITE ADDRESS 12 Akora Street FRENCHS FOREST CLIENT D. & S. Ryan		Lot 55 DP 36616		Revisions <table><tr><td>A</td><td>4/09/19</td><td>Move swimming pool to the east and remove tiled surround on north and west edges</td></tr><tr><td>B</td><td>15/10/19</td><td>Remove new fence to front side boundaries and driveway</td></tr></table>		A	4/09/19	Move swimming pool to the east and remove tiled surround on north and west edges	B	15/10/19	Remove new fence to front side boundaries and driveway	DRAWING NO: 5 JOB NUMBER 48/18 DATE 15/10/19	
A	4/09/19	Move swimming pool to the east and remove tiled surround on north and west edges																					
B	15/10/19	Remove new fence to front side boundaries and driveway																					



North East Elevation
1:100



North West Elevation
1:100