

The Dardanelles Stage: 2.5 & 2.6 - SECTION 96 APPLICATION

ARCHITECTURAL DRAWING LIST:

DWG NO.	DESCRIPTION	TITLE	SCALE
D400	STAGE 2.5 & 2.6 - STAGING & SITE BLOCK PLAN	TITLE PAGE	N/A
D401	STAGE 2.5 & 2.6 - BUILDING FOOTPRINT COMPARISON PLAN		1:300
D402	STAGE 2.5 & 2.6 - EXISTING APPROVED GROUND FLOOR SITE PLAN		1:250
D403	STAGE 2.5 & 2.6 - EXISTING APPROVED FIRST FLOOR SITE PLAN		1:100
D404	STAGE 2.5 & 2.6 - PROPOSED APPROVED FIRST FLOOR SITE PLAN		1:100
D405	STAGE 2.5 & 2.6 - PROPOSED GROUND FLOOR SITE PLAN		1:100
D406	STAGE 2.5 & 2.6 - PROPOSED FIRST FLOOR SITE PLAN		1:100
D407	STAGE 2.5 & 2.6 - PROPOSED SITE ROOF PLAN		1:100
D408	STAGE 2.5 & 2.6 - EXISTING TYPICAL FLOOR PLANS		1:100
D409	STAGE 2.5 & 2.6 - PROPOSED TYPICAL FLOOR PLANS		1:100
D410	STAGE 2.5 & 2.6 - EXISTING APPROVED TYPICAL TWO STOREY GROUND FLOOR PLAN		1:100
D411	STAGE 2.5 & 2.6 - EXISTING APPROVED TYPICAL TWO STOREY FIRST FLOOR PLAN		1:100
D412	STAGE 2.5 & 2.6 - EXISTING APPROVED TYPICAL TWO STOREY ROOF PLAN		1:100
D413	STAGE 2.5 & 2.6 - PROPOSED BLOCK A GROUND FLOOR PLAN		1:100
D414	STAGE 2.5 & 2.6 - PROPOSED BLOCK A FIRST FLOOR PLAN		1:100
D415	STAGE 2.5 & 2.6 - PROPOSED BLOCK A ROOF PLAN		1:100
D416	STAGE 2.5 & 2.6 - PROPOSED BLOCK B GROUND FLOOR PLAN		1:100
D417	STAGE 2.5 & 2.6 - PROPOSED BLOCK B FIRST FLOOR PLAN		1:100
D418	STAGE 2.5 & 2.6 - PROPOSED BLOCK B ROOF PLAN		1:100
D419	STAGE 2.5 & 2.6 - PROPOSED BLOCK A ELEVATIONS		1:100
D420	STAGE 2.5 & 2.6 - PROPOSED BLOCK B ELEVATIONS		1:125

SCHEDULE OF APARTMENTS

BLOCK No.	UNIT No.	GROUND FLOOR LEVEL	FIRST FLOOR LEVEL	FLOOR PLAN TYPE
B	103	5,050		GF5
B	104	5,050	GF2	
B	105	5,307	GF2	GF2
B	106	5,307	GF2	GF2
B	107	5,564	GF2	GF2
B	108	5,564	GF2	GF2
B	109	6,764	GF2	GF2
B	110	6,550		GF1
B	111		9,850	FF1
B	112		9,541	FF1
B	113		8,564	FF1
B	114		8,564	FF1
B	115		8,307	FF1
B	116		8,307	FF1
B	117		8,050	FF1
B	118		8,050	FF3
A	119	8,076		GF2
A	120	8,076		GF2
A	121	8,421		GF2
A	122	8,421		GF2
A	123	8,550		GF2
A	124	8,550		GF1
A	125		11,850	FF4
A	126		11,850	FF1
A	127		11,421	FF1
A	128		11,421	FF1
A	129		11,076	FF1
A	130		11,076	FF2

GENERAL BUILDING NOTES

1. All work shall be carried out in accordance with the requirements of BCA, 10 and other relevant regulations of the local Council and other controlling authorities.
2. All work shall comply with the relevant Australian Standards and applicable codes.
3. For all external elements, building and/or reinforced concrete, the trades shall repair, seal and/or re-finishing prior to Structural Engineers drawing and details.
4. Building setout and boundary dimensions to be verified by independent surveyor. All boundary signs and any discrepancies referred to the architect.
5. All construction work to be carried out to comply with the requirements of authorities having jurisdiction over the project by the local Council and Water Board.
6. Flurred dimensions to be taken in preference to scaling from drawings.
7. Any discrepancies or contradictions on the drawings or with the specification shall be referred to the Architect for clarification prior to construction.
8. Building is designed to be Type C construction in accordance with The Building Code of Australia - NSW Edition.
9. The Building Code of Australia is interpreted to require a building of Class 1 with a fire of 1 & 2 storeys.
10. All levels are based on Australian Height Datum.
11. Clear dimensions of roughed out building status, fire passages and levels and eaves of travel to an end shall be minimum 11 metres wide and minimum 2 metres high.
12. Refer to Hydraulic Engineering Drawings for locations of stormwater drains, subsurface drains, downpipes and stormwater detention tank details.
13. All stairs and change rooms to be mechanically ventilated if natural ventilation is not available.
14. All disabled dimensions to comply with AS1428.1

TYPE 'C' CONSTRUCTIONS

FIRE RESISTANCE OF ELEMENTS SCHEDULE:

TYPE C - CONSTRUCTION EXTERNAL WALLS

- | | |
|----------------------------|-------------|
| LESS THAN 1.5m TO BOUNDARY | FRL 90/-/90 |
| 1.5m TO LESS THAN 3m | FRL -/-/- |
| 3m OR MORE TO BOUNDARY | FRL -/-/- |
| EXTERNAL COLUMNS | |
| LESS THAN 1.5m TO BOUNDARY | FRL 90/-/90 |

1.311 TO LESS THAN 311
3m OR MORE TO BOUNDARY

- | COMMON WALLS & FIRE WALLS | FRL 90/90/90 |
|---------------------------|--------------|
| INTERNAL WALLS | |

BOUNDING PUBLIC CORRIDORS,
PUBLIC LOBBIES AND THE LIKE

- | | |
|--|--------------|
| ROOFS | FRL 60/60/60 |
| BOUNDING A STAIR IF REQUIRED TO BE RATED | FRL -/-/- |

BCA '10:

- | | |
|---------------------------|----------------|
| CLASS 3 BUILDING | CL A3.2 BCA |
| TYPE 'C' CONSTRUCTION | CL C1.1 BCA |
| FRL AS PER TABLE 4 BCA | SPEC. C3.1 BCA |
| DISABLED ACCESS PROVIDED | CL D3.2 BCA |
| DISABLED PARKING PROVIDED | CL D3.5 BCA |
| DISABLED TOILET PROVIDED | CL F2.4 BCA |

STAGE:2 PERSPECTIVE



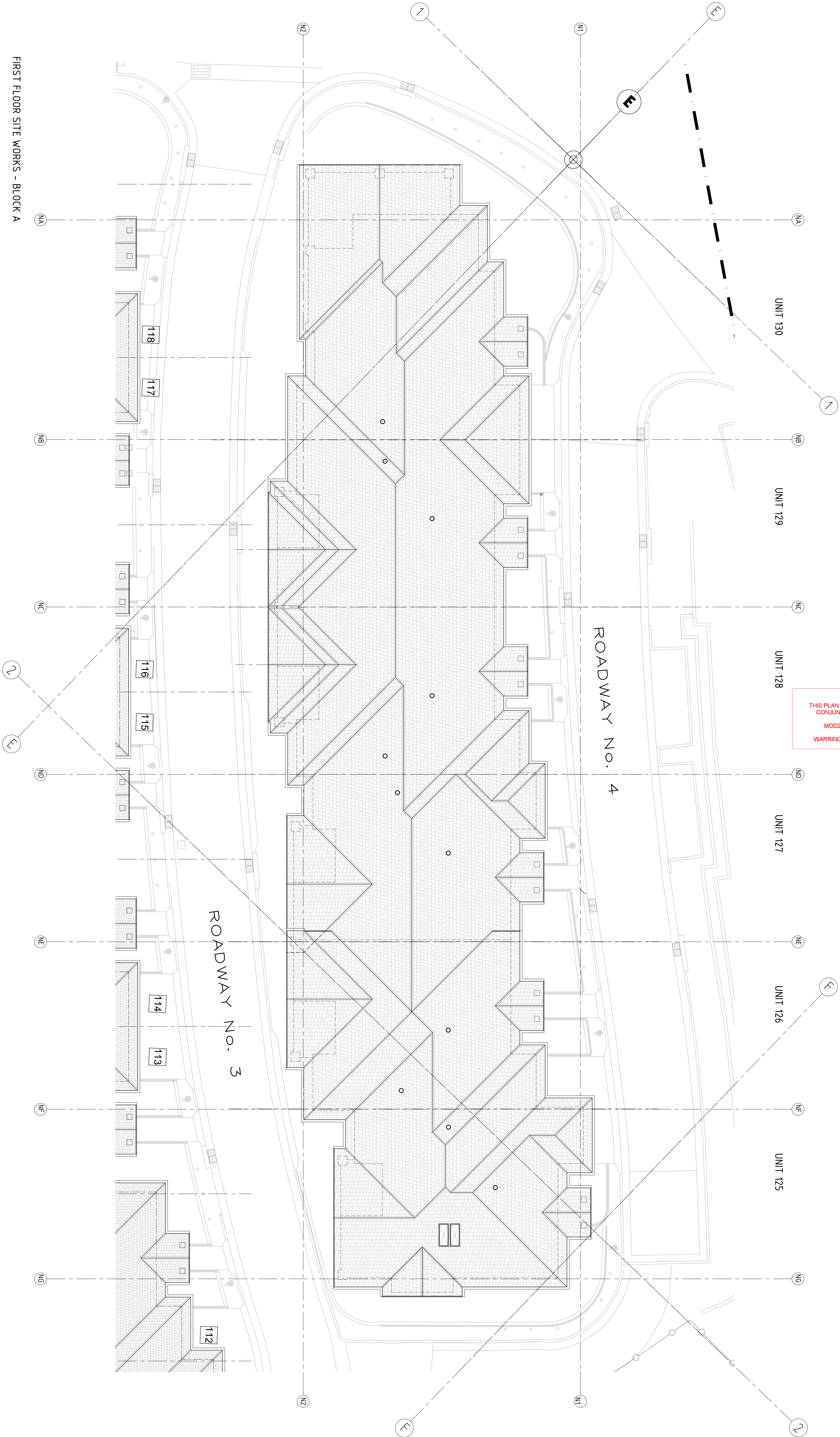
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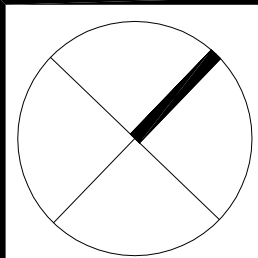
PLOT DATE: 10.09.2014

SHEET TITLE: TITLE PAGE + DRAWING LIST		SCALE NTS DATE SEP 2014	
SECTION 96 ISSUE		DRAWN DW CHECKED BH	
HUVEL <i>a t e c h n i c s</i>		DRAWING 2013.70 REV: C	
PO Box 1666, Daw Wharfedale NSW 2209 T 61 81 681 6171 F 61 81 681 6172 E info@huvel.com.au		NUMBER DA0	

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2014/0199
WARRINGAH COUNCIL



FIRST FLOOR SITE WORKS - BLOCK A



Amendment/Issue	No.	Date
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	C	10.09.2014
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	B	15.10.2013
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	A	26.09.2013

PROPRIETOR:
RSL Lifecare LTD
c/o
TSA MANAGEMENT PTY LTD

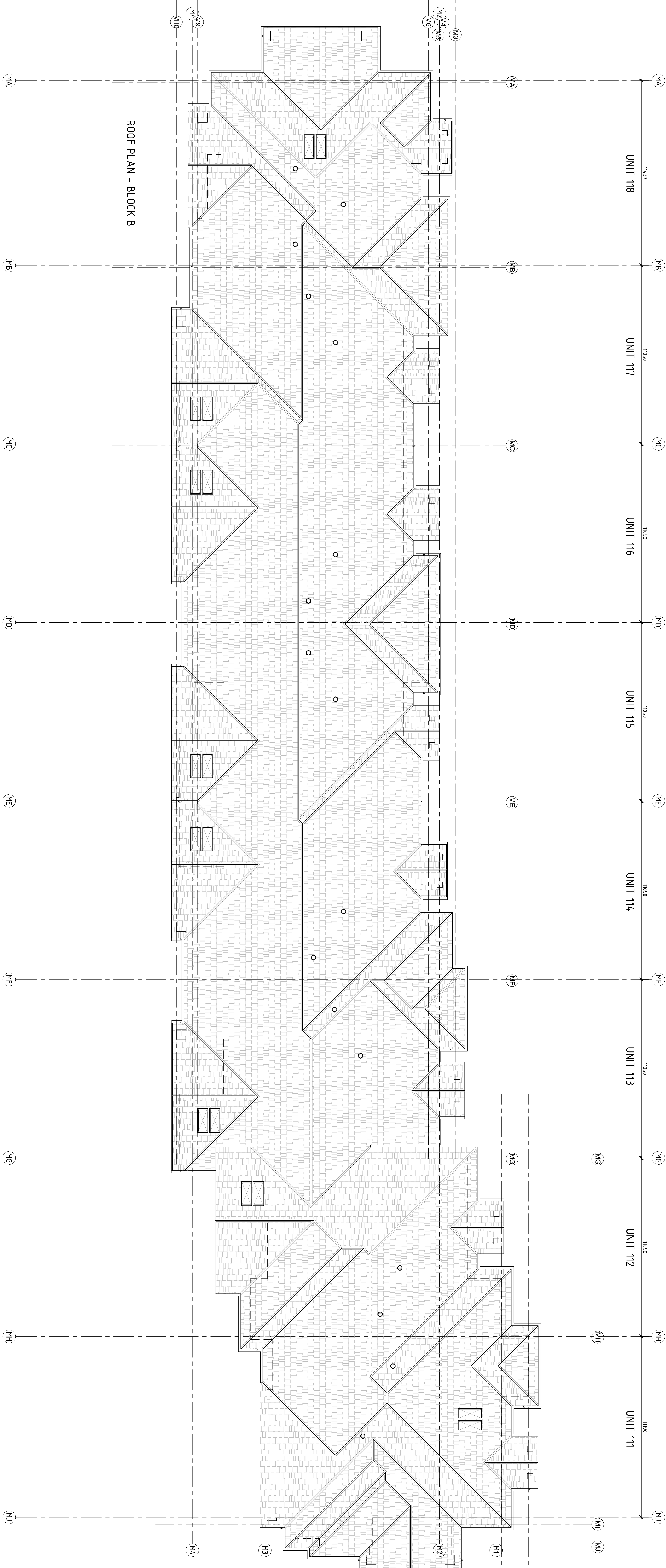
PROJECT:
STAGE: 2.5 & 2.6 DARDANELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ THE DARDANELLES
RSL ANZAC VILLAGE, NARRABEEN

SHEET TITLE:
APPROVED TYPICAL TWO STOREY
ROOF PLAN
SECTION 96 ISSUE
HUMEL ARCHITECTS PTY LTD
PO BOX 966 RSE WYRBY NSW 2269 Ph (02) 9946 8411 Fax (02) 9946 8413
MOB 0411 44 66 64 EMAIL: info@humel.com.au

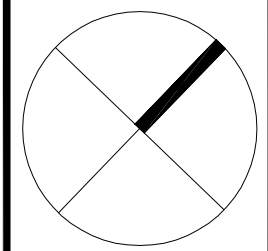
SCALE	DATE	DATE
DRAWN	DW	CHECKED
DRAWING	DA12	REV: C

PLOT DATE: 10.09.2014

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2014/0199
WARRINGAH COUNCIL



ROOF PLAN - BLOCK B



STAGE 2.5 & 2.6 - SECTION 96 ISSUE	C	10.09.2014
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	B	15.01.2013
Amendment/Issue	No.	Date

PROPRIETOR:
RSL Lifecare LTD
c/o
TSA MANAGEMENT PTY LTD

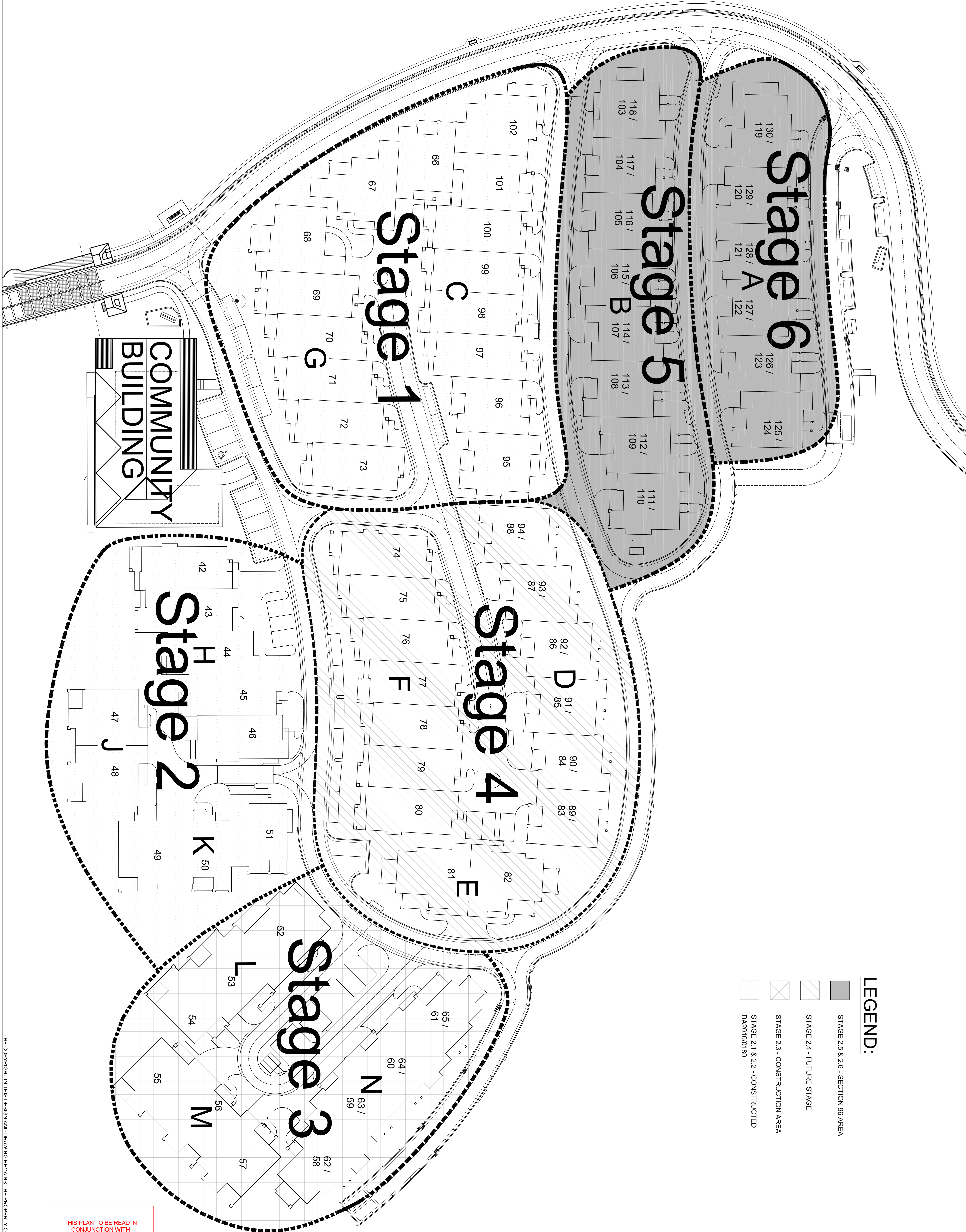
SHEET TITLE:
STAGE: 2.5 & 2.6 DARDANELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ THE DARDANELLES
RSL ANZAC VILLAGE, NARRABEEN

SHEET TITLE:
PROPOSED BLOCK B
FIRST FLOOR PLAN
SECTION 96 ISSUE
HUMEL ARCHITECTS PTY LTD
PO BOX 1666 DEE WHY NSW 2009 Ph (02) 2981 0511 Fax (02) 2981 1913
MOB 94 919 44 85 64 EMAIL: info@humel.com.au

SCALE	1:100	DATE	SEP 2014
DRAWN	JR	CHECKED	BH
DRAWING NUMBER	DA18	REV.	C

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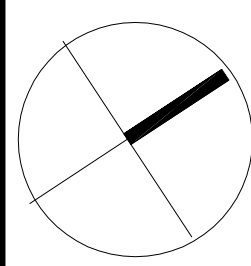
PLOT DATE: 10.09.2014



LEGEND:

- STAGE 2.5 & 2.6 - SECTION 96 AREA
- STAGE 2.4 - FUTURE STAGE
- STAGE 2.3 - CONSTRUCTION AREA
- STAGE 2.1 & 2.2 - CONSTRUCTED

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2014/0199
WARRINGAH COUNCIL



STAGE 2.5 & 2.6 - SECTION 96 ISSUE	C	10.09.2014
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	B	15.10.2013
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	A	28.09.2013
Amendment/Issue	No.	Date

PROPRIETOR
RSL LIFE CARE LTD
C/O
TSA MANAGEMENT PTY LTD

PROJECT
STAGE: 2.5 & 2.6 DARDANELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ 'THE DARDANELLES'
RSL ANZAC VILLAGE, NARRABEEN

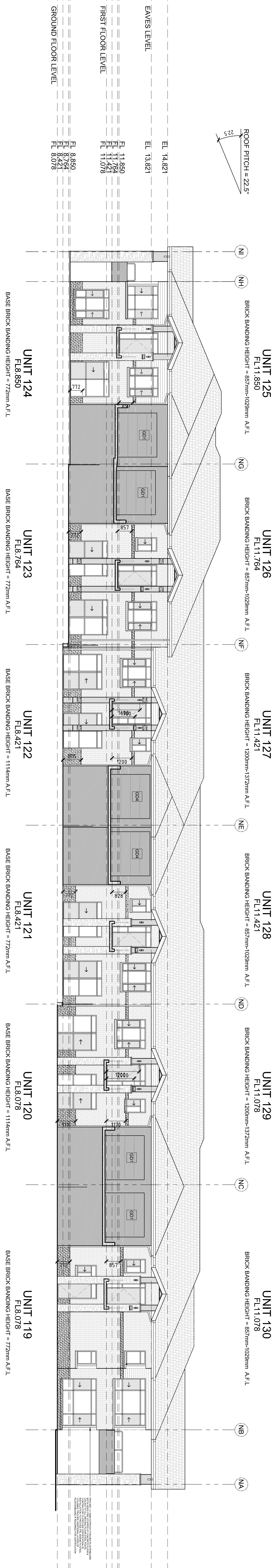
SHEET TITLE:
STAGING & SITE BLOCK PLAN
SECTION 96 ISSUE
HUMMEL ARCHITECTS PTY LTD
PO BOX 966 DEE WINDSW 2099 Ph: (02) 9981 6511 Fax: (02) 9981 1913
hummel.architects@gmail.com
Mod 01/14 05/94

SCALE 1:300	DATE SEP 2014
DRAWN DW	CHECKED BH
DRAWING NUMBER DA01	REV: C

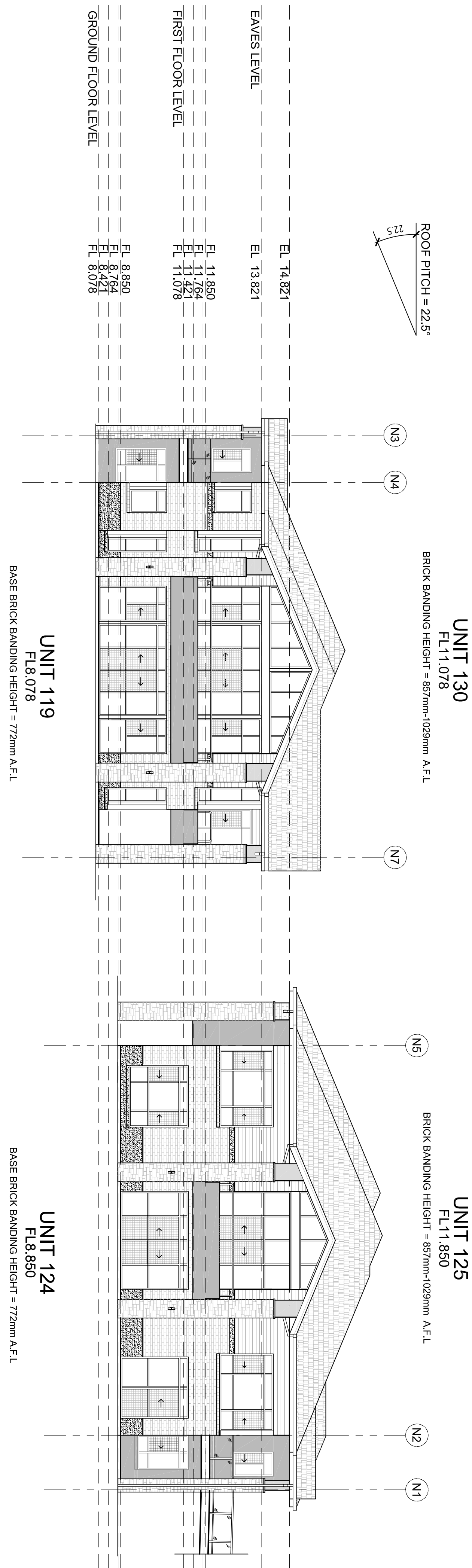
PLOT DATE: 10.09.2014
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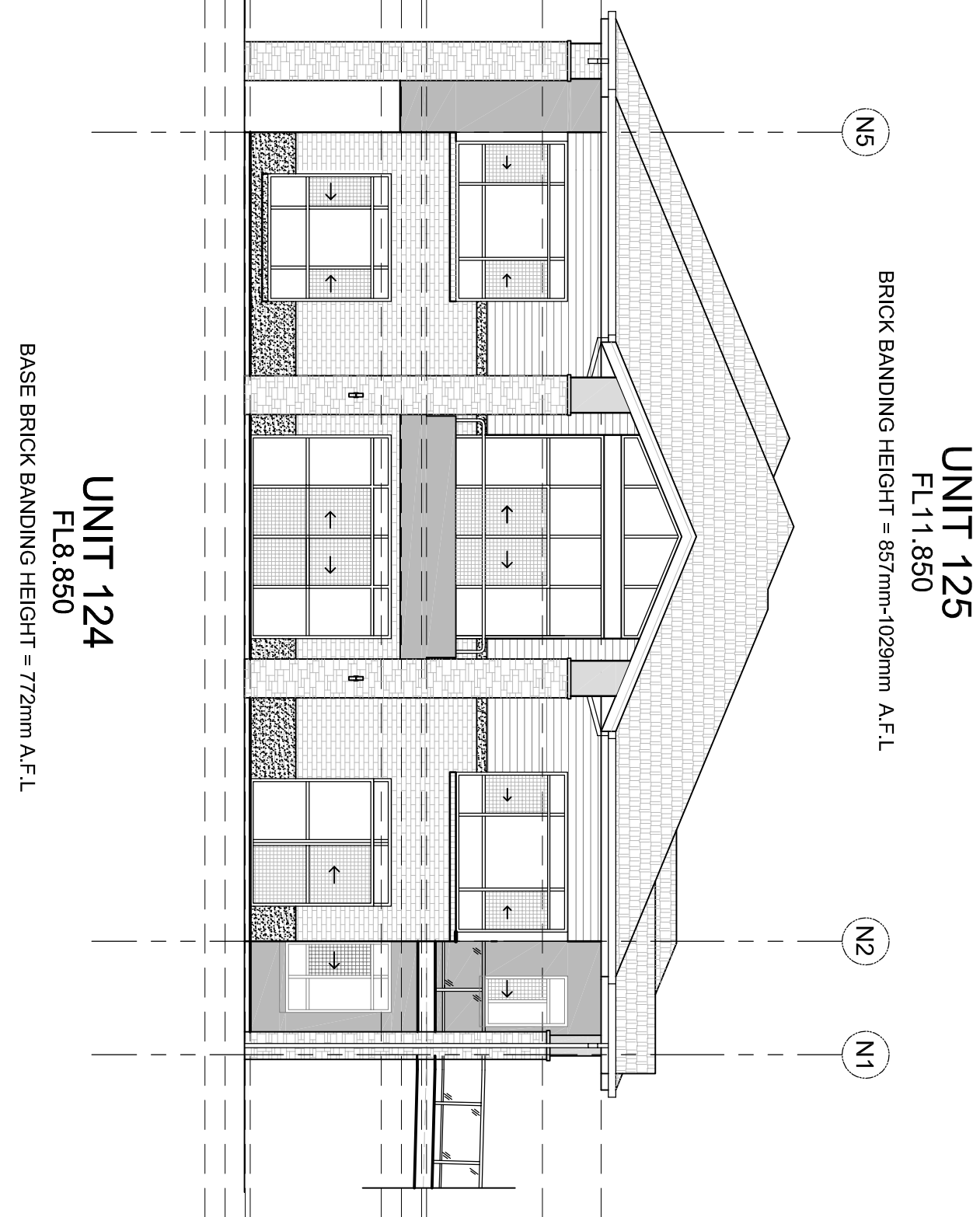
BLOCK A - SOUTH ELEVATION



BLOCK A - NORTH ELEVATION



BLOCK A - WEST ELEVATION



BLOCK A - EAST ELEVATION

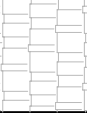
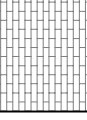
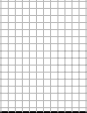
- NOTES:

- | | |
|--|--|
| <ul style="list-style-type: none"> - FOR COLUMNS, FINISHES SELECTIONS & LOCATIONS REFER TO EXTERIOR FINISHES SCHEDULE BY GLAZIURE INTERIOR DESIGNS. - BRICK WORK MORTAR IS TO BE "OFF WHITE". BUILDER TO PROVIDE SAMPLE BRICK PANELS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION. - BUILDER IS TO PROVIDE SAMPLE PANEL OF STONE CLADDING FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION. - STONE CLADDING THICKNESS VARIES BETWEEN STONE SELECTIONS. CO-ORDINATION OF SET OUT ALLOWANCES IS REQUIRED PRIOR TO CONSTRUCTION OF FIRST FLOOR BALCONIES. - BLOCK M & N TO BE CONSTRUCTED IN ACCORDANCE WITH BA.29 CONSTRUCTION. - PROVIDE SPRINGING MESH WITH A MAXIMUM 2mm APERTURE MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM TO ALLOW VENTILATION. ENTRY SIGN TO BE FIXED AT 1800mm ABOVE FLOOR LEVEL, GENERALLY U.N.O. | <ul style="list-style-type: none"> - ENTRY FEATURE WALL LIGHTS (LOCATED ON COLUMNS) TO BE FIXED AT 1800mm ABOVE FLOOR LEVEL, GENERALLY U.N.O. - FOR COLUMN & STONE CLADDING DETAILS REFER TO ARCHITECTURAL DETAIL DRAWINGS. - FOR GARAGE DOOR SELECTIONS & DETAILS REFER TO ARCH DRAWING No. 807. - FOR ENTRY DOOR SELECTIONS & DETAILS REFER TO ARCH DRAWING No. 808. - PROVIDE FEATURE BANDING BRICK TO WINDOW SILLS THAT OCCUR IN THE BASE BRICK OR FEATURE BANDING. - PROVIDE MAIN BODY BRICK TO WINDOW SILLS THAT OCCUR IN THE MAIN BODY BRICK WORK. - PROVIDE 1 X 16MM GYPSECK PLYSTERBOARD BOTH SIDES REAR STORED AT CONCRETE & ALL RELINING TO ALL GROUND FLOOR STEEL STOPS. CONTRACTOR TO PROVIDE CERTIFICATION OF INSTALLATION TO PROVIDE RFL 90/90/90 TO STEEL COLUMNS. PROVIDE CERTIFICATION LAYERS OF PLASTERBOARD IF REQUIRED FOR CERTIFICATION |
|--|--|

FINISHES/COLOUR SELECTIONS:

- | | |
|------------------------|---|
| MAIN BODY BRICK | BOREAL - ESCURA SMOOTH FACE
SILVER SHADOW (MORTAR - OFF WHITE) |
| FEATURE BASE BRICK | BOREAL - ESCURA SMOOTH FACE CUMMINUM
(MORTAR - OFF WHITE) |
| BRICK BANDING | JAMES HARGRE - PRIME LINE - NEWPORT
COLOUR - CANDLE PINK |
| WEATHERBOARDS | |
| ROOF TILE | MONIER HORIZON TILE
COLOUR - CUMMINUM
(GUTTER GUARD TO MATCH) |
| GUTTERS | COLOURBAND BASALT |
| FASCIA & DOWN PIPES | COLOURBAND DUKE |
| WINDOW & DOOR FRAMES : | COLOURBAND TUNER |

EXTERIOR FINISHES LEGEND:

- | REFER TO GILMORE INTERIOR DESIGNS EXTERIOR SCHEDULE & ELEVATIONS FOR EXTERIOR FINISHES | |
|---|---|
|  <p>BASE FACE BRICK BANDING</p> |  <p>MONIER-HORIZON CONCRETE ROOF TILE AS SPECIFIED</p> |
|  <p>MAIN BODY FACE BRICKWORK</p> |  <p>LOCATIONS OF BUSHFIRE/INVISGUARD SCREENS (WINDOW & DOOR OPENINGS)</p> |
|  <p>PAINTED & RENDERED BRICKWORK COLOUR No. 1</p> |  <p>SELECTED STONE CLADDING (REFER DETAILS DRAWINGS)</p> |
|  <p>PAINTED & RENDERED BRICKWORK COLOUR No. 2</p> | |
|  <p>PAINTED TIMBER WEATHERBOARD</p> | |

		C	10/09/2014
	STAGE 2.5 & 2.6 - SECTION 96 ISSUE		
	B		15.10.2013
	STAGE 2.5 & 2.6 - SECTION 96 ISSUE		
	A		26.09.2013
	STAGE 2.5 & 2.6 - SECTION 96 ISSUE		
Amendment/Issue	No.	Date	

PROPRIETOR
RSL LIFE CARE LTD
C/O
TSA MANAGEMENT PTY LTD

PROJECT
STAGE: 2.5 & 2.6 DARDANELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ 'THE DARDANELLES'
RSL ANZAC VILLAGE, NARRABEEN

SHEET TITLE:
PROPOSED NEW BLOCK A
ELEVATIONS
SECTION 96 ISSUE

HUMEL ARCHITECTS PTY LTD

SCALE	1:100	DATE	SEP 2014
DRAWN BY		CHECKED	BH
DRAWING NUMBER	2013.70 DA19	REV:	C

PLOT DATE: 10-09-2014

SURVEY & INSTALL JAMES HARGREAVE
- ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED

ROOF PITCH = 22.5°

EAVES LEVEL
EL. 12.280
FL. 9.850
FL. 9.764
FIRST FLOOR LEVEL
FL. 8.650
FL. 8.564
FL. 8.479
GROUND FLOOR LEVEL
FL. 5.050

UNIT 110
FL.8.850
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 109
FL.6.764
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 108
FL.5.564
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 107
FL.5.564
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 106
FL.5.307
BASE BRICK BANDING HEIGHT = 1029mm A.F.L.

UNIT 105
FL.5.307
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 104
FL.5.050
BASE BRICK BANDING HEIGHT = 1029mm A.F.L.

UNIT 103
FL.5.050
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

SURVEY & INSTALL JAMES HARGREAVE
- ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED

ROOF PITCH = 22.5°

EAVES LEVEL
EL. 12.280
FL. 9.850
FL. 9.764
FIRST FLOOR LEVEL
FL. 8.650
FL. 8.564
FL. 8.479
GROUND FLOOR LEVEL
FL. 5.050

UNIT 112
FL.9.764
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 113
FL.9.564
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 114
FL.8.564
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 115
FL.8.307
BRICK BANDING HEIGHT = 1149mm-1289mm A.F.L.

UNIT 116
FL.8.307
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 117
FL.8.050
BRICK BANDING HEIGHT = 1149mm-1289mm A.F.L.

PROVIDE ALUMINIUM LOUVERED DOOR KITS TO EAVES. PROVIDE CORROSION RESISTANT ALUMINIUM ROOFING. PROVIDE CORROSION RESISTANT ALUMINIUM ROOFING. PROVIDE CORROSION RESISTANT ALUMINIUM ROOFING.

ROOF PITCH = 22.5°

EAVES LEVEL
EL. 12.280
FL. 9.850
FL. 9.764
FIRST FLOOR LEVEL
FL. 8.650
FL. 8.564
FL. 8.479
GROUND FLOOR LEVEL
FL. 5.050

UNIT 118
FL.8.050
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 117
FL.8.050
BRICK BANDING HEIGHT = 1149mm-1289mm A.F.L.

UNIT 116
FL.8.307
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 115
FL.8.307
BRICK BANDING HEIGHT = 1149mm-1289mm A.F.L.

UNIT 114
FL.8.564
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 113
FL.8.564
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 112
FL.9.764
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 111
FL.9.850
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 103
FL.5.050
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 104
FL.5.050
BASE BRICK BANDING HEIGHT = 1029mm A.F.L.

UNIT 105
FL.5.307
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 106
FL.5.307
BASE BRICK BANDING HEIGHT = 1029mm A.F.L.

UNIT 107
FL.5.564
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 108
FL.5.564
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 109
FL.6.764
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 110
FL.6.850
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 118
FL.8.050
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

UNIT 111
FL.8.850
BRICK BANDING HEIGHT = 857mm-1029mm A.F.L.

EAVES LEVEL
EL. 12.280
FL. 9.850
FL. 9.764
FIRST FLOOR LEVEL
FL. 8.650
FL. 8.564
FL. 8.479
GROUND FLOOR LEVEL
FL. 5.050

UNIT 103
FL.5.050
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

UNIT 110
FL.6.850
BASE BRICK BANDING HEIGHT = 772mm A.F.L.

EXTERIOR FINISHES LEGEND:

- REFER TO GLIMORE INTERIOR DESIGN EXTERIOR SCHEDULE & ELEVATIONS FOR EXTERIOR FINISHES
- BASEFACE BRICK BANDING
 - MAIN BODY FACE BRICKWORK
 - PAINTED & RENDERED BRICKWORK (COLOUR NO. 1)
 - PAINTED & RENDERED BRICKWORK (COLOUR NO. 2)
 - PAINTED TIMBER WEATHERBOARD
 - MONIER - HORIZON CONCRETE
 - ROOF TILE AS SPECIFIED
 - LOCATIONS OF BUSHPREINVISGUARD
 - SELECTED STONE CLADDING (REFER DETAILS DRAWINGS)

FINISHES/COLOUR SELECTIONS:

- MAIN BODY BRICK
- BORAL - NAVO ASPRE MOSBY (MORTAR - OFF WHITE)
 - BORAL - ESQURA SMOOTH FACE VOLCANIC (MORTAR - OFF WHITE)
 - JAMES HARGREAVE - NEWPORT
 - COLOUR - PEBBLE EAV
 - COLOUR - HORIZON TLE (OFF WHITE)
 - COLOUR - BASALT (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
- WEATHERBOARDS
- COLOUR - PEBBLE EAV
 - COLOUR - HORIZON TLE (OFF WHITE)
 - COLOUR - BASALT (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
- ROOF TILE
- COLOUR - HORIZON TLE (OFF WHITE)
 - COLOUR - BASALT (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
- GUTTERS
- COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
- PASGLAS & DOWN PIPES
- COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
- WINDOW & DOOR FRAMES
- COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)
 - COLOUR - DUNE (OFF WHITE)

NOTES:

- FOR COLOURS, FINISHES SELECTIONS & LOCATIONS REFER TO EXTERIOR FINISHES SCHEDULE BY GLIMORE INTERIOR DESIGN.
- BRICK WORK IMPORTANT TO BE OFF WHITE. BUILDER TO PROVIDE SAMPLE BRICK PANELS FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- BUILDER IS TO PROVIDE SAMPLE PANEL OF STONE CLADDING FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- STONE CLADDING THICKNESS Varies BETWEEN STONE SELECTIONS, COORDINATION OF SET OUT ALLOWANCES IS REQUIRED PRIOR TO CONSTRUCTION OF FIRST FLOOR BALCONIES.
- BLOCK W & X TO BE CONSTRUCTED IN ACCORDANCE WITH BAL 39 CONSTRUCTION.
- PROVIDE SCREENING MESH WITH A MAXIMUM 2mm APERTURE MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINUM TO ALL ROOF VENTILATION.
- ENTRY SIGN TO BE FIXED AT 1500mm ABOVE FLOOR LEVEL, GENERALLY U.N.O.
- ENTRY FEATURE WALL LIGHTS (LOCATED ON COLUMNS) TO BE FIXED AT 1800mm ABOVE FLOOR LEVEL, GENERALLY U.N.O.
- FOR COLUMNS & STONE CLADDING DETAILS REFER TO ARCHITECTURAL DETAIL DRAWINGS.
- FOR GARAGE DOOR SELECTIONS & DETAILS REFER TO ARCHITECTURAL DETAIL DRAWINGS.
- FOR ENTRY DOOR SELECTIONS & DETAILS REFER TO ARCHITECTURAL DETAIL DRAWINGS.
- PROVIDE FEATURE BANDING BRICK TO WINDOW SILL THAT OCCUR IN THE BASE BRICK OR FEATURE BANDING.
- PROVIDE MAIN BODY BRICK TO WINDOW SILL THAT OCCUR IN THE MAIN BODY BRICK WORK.
- PROVIDE 1 X 100mm GYPOCK FRICKER PLASTERBOARD BOTH SIDES FIRE STOPPED AT CONCRETE FLOOR & CEILING TO ALL GROUND FLOOR STEEL POSTS. CONTRACTOR TO PROVIDE ADDITIONAL LAYERS OF PLASTERBOARD IF REQUIRED FOR CERTIFICATION.

THIS PLAN TO BE READ IN CONJUNCTION WITH
MOD2014/0199
WARRINGAH COUNCIL

STAGE 2.5 & 2.6 - SECTION B6 ISSUE	C	10.09.2014
STAGE 2.5 & 2.6 - SECTION B6 ISSUE	B	15.10.2013
Amendment/Issue	No.	Date

PROPRIETOR
RSL LIFE CARE LTD
TSA MANAGEMENT PTY LTD

PROJECT
STAGE 2.5 & 2.6 DARDANIELLES
INDEPENDENT LIVING UNITS
@ THE DARDANIELLES
RSL ANZAC VILLAGE, NARRABEEN

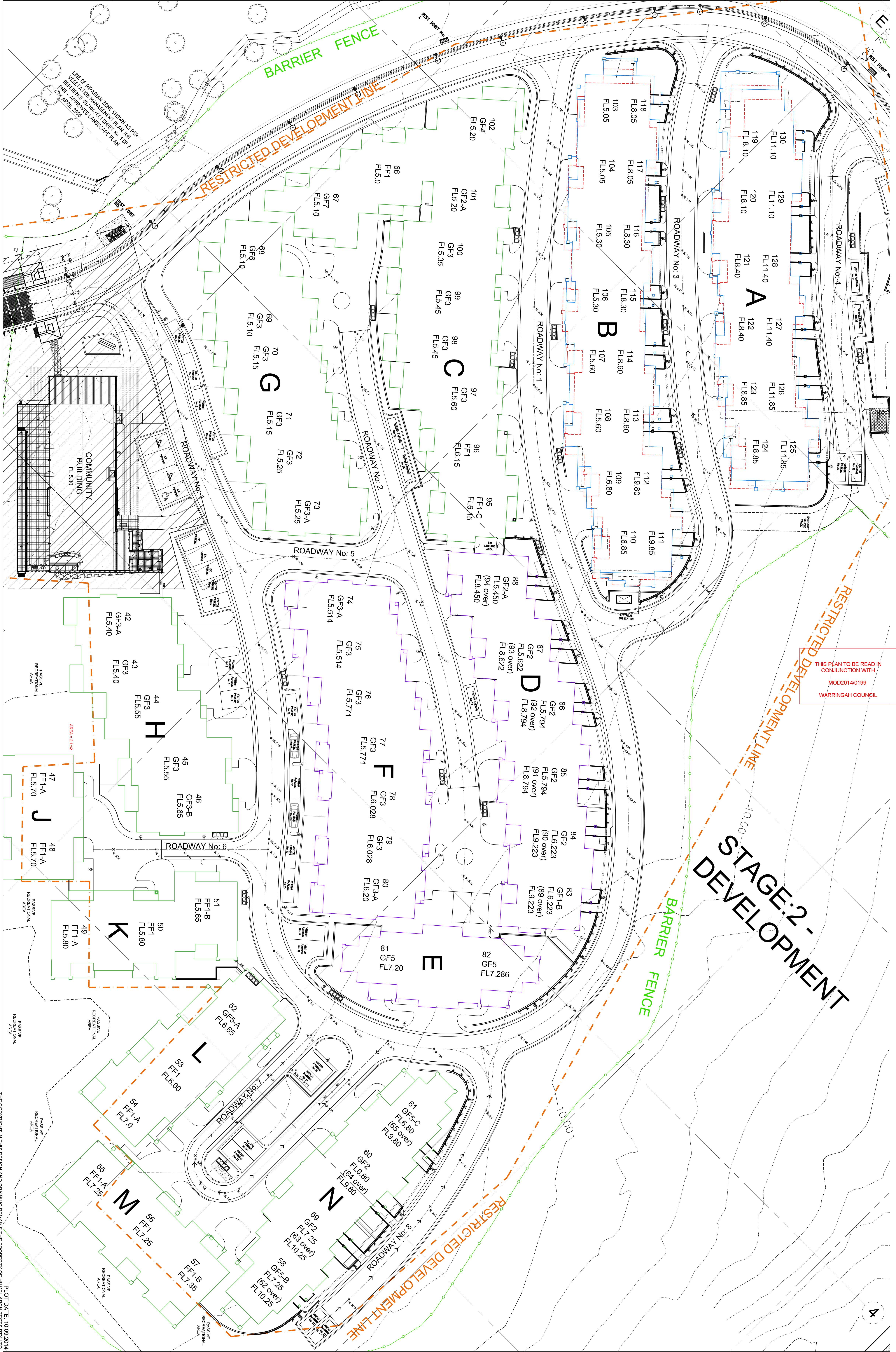
SHEET TITLE:
PROPOSED NEW BLOCK B
ELEVATIONS
SECTION 96 ISSUE
HUMEL ARCHITECTS PTY LTD

SCALE 1:125 DATE SEP 2014
DRAWN DW CHECKED BH
DRAWING NUMBER DA20 REV: C

PLOT DATE: 10-09-2014
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PO BOX 1666 DEES WHARF 2509 PH (02) 9981 1511 FAX (02) 9981 1513
EMAIL: info@humel.com.au

THIS PLAN TO BE READ IN CONJUNCTION WITH /
MOD2014/0199
WARRINGAH COUNCIL

STAGE:2 - DEVELOPMENT



LEGEND:

STAGE 2 & 2.6 ORIGINAL APPROVED BUILDING FOOTPRINT

RESTRICTED DEVELOPMENT LINE

PREVIOUSLY APPROVED S96 BUILDING FOOTPRINT

BARRIER FENCE

PROPOSED S96 BUILDING FOOTPRINT

STAGE 2.1, 2.2 & 2.3 CONSTRUCTED UNITS

STAGE 2.4 FUTURE UNITS

STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE	STAGE 2.5 & 2.6 - SECTION 96 ISSUE

PROPRIETOR:
RSL Lifecare LTD
G/O
TSA MANAGEMENT PTY LTD

SHEET TITLE:
STAGE: 2.5 & 2.6 DARDAANELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ THE DARDAANELLES
RSL ANZAC VILLAGE, NARRABEEN

SHEET TITLE:
BUILDING FOOTPRINT
COMPARISON PLAN
SECTION 96 ISSUE

HUMEL
ARCHITECTS

PO Box 1066 Durrig NSW 2506
F 012 9881 1913
E info@humel.com.au

DRAWING
NUMBER
DA2

SCALE
1:250

DATE
SEP 2014

CHECKED
BH

REVIEW
C

PLOT DATE: 10/09/2014

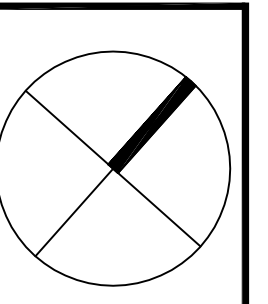
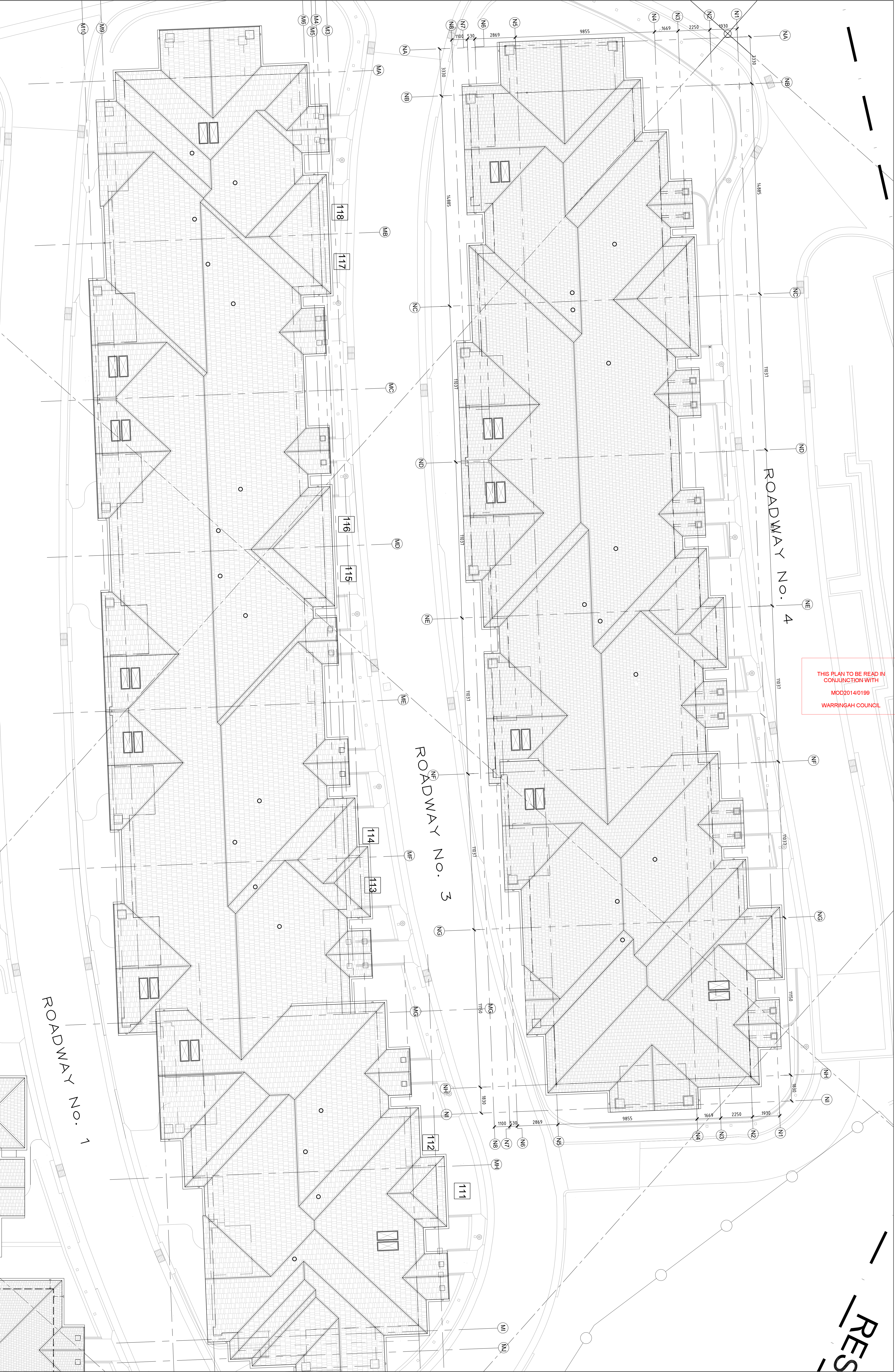
RES

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2014/0199
WARRINGAH COUNCIL

ROADWAY No. 4

ROADWAY No. 3

ROADWAY No. 1



LEGEND:

EXISTING BUILDING

ROOF TILES

RET. WALL

RET. WALL & DECKING

FENCESCREEN (WEATHSTONE)

LOW LEVEL RET. WALL (WEATHSTONE)

DECKWOOD FENCESCREEN

BRI. BAY + RET. WALL & FENCE

Amendment/Issue	No.	Date
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	C	10.09.2014
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	B	15.10.2013
STAGE 2.5 & 2.6 - SECTION 96 ISSUE	A	28.09.2013

PROPRIETOR:
RSL LifeCane LTD
c/o
ISA MANAGEMENT PTY LTD

SHEET TITLE:
STAGE 2.5 & 2.6 D'ARDANIELLES
CONSTRUCTION OF 28
INDEPENDENT LIVING UNITS
@ THE D'ARDANIELLES
RSL ANZAC VILLAGE, NARRABEEN

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ARCHITECTS

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