

1 GROUND FLOOR LEVEL 1:100

WINDOW / DOOR SCHEDULE

NOTE: The Builder shall source all windows and doors from supplier selected by client
NOTE: The Builder shall check measure all windows and doors on site prior to order

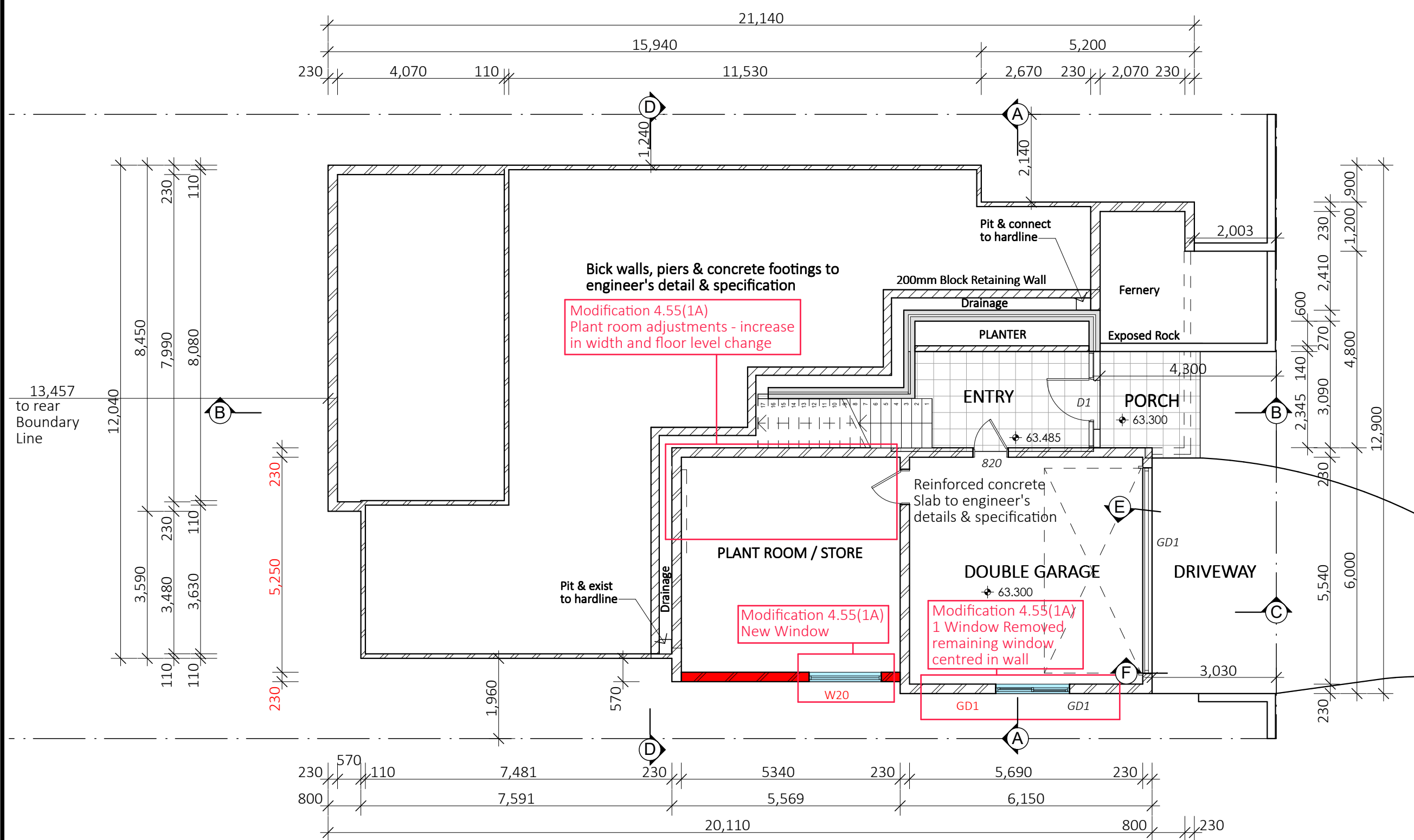
GD 1 2400h x 5000w Selected Garage Door
1 Window removed GW 1 x 2 1200h x 1800 Select Aluminium Framed Window

D 1 2400h x 2345w Select Entry Door with Sidelights and Transom
D 2 2400h x 4500w Aluminium Framed Glass Panel Bi-fold Door (5L)
D 3 2400h x 3500w Aluminium Framed Glass Panel Stacker Door
D 4 2400h x 900w Aluminium Framed Glass Panel Door
D 5 2400h x 7180w Aluminium Framed Glass Panel Stacker Door(3L/3R)
D 6 2400h x 2400w Aluminium Framed Glass Panel Bi-fold Door (5R)
D 7 2400h x 3600w Aluminium Framed Glass Panel Stacker Door
D 8 2400h x 3500w Aluminium Framed Glass Panel Stacker Door

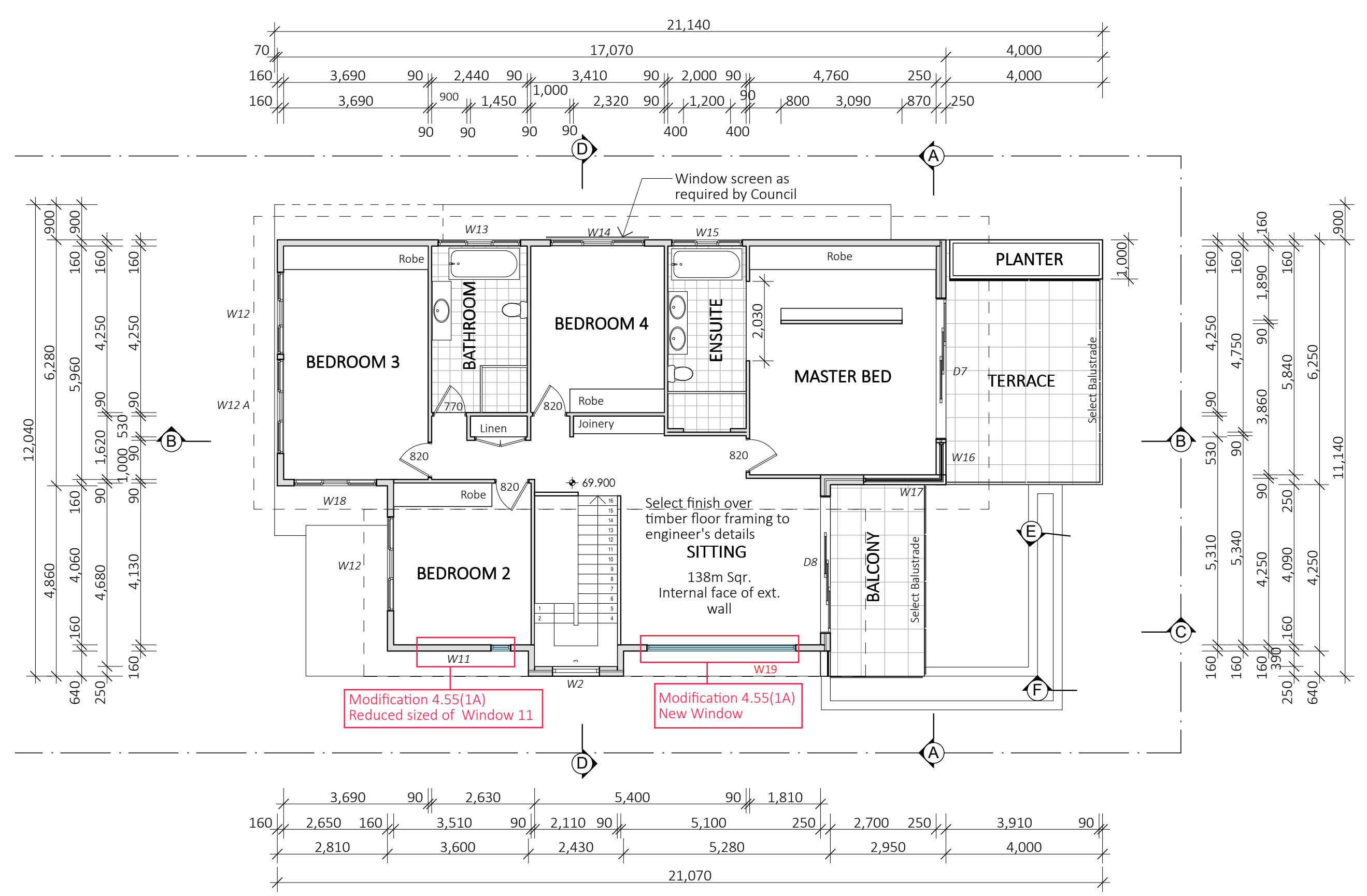
W 1 1350h x 1200w Select Aluminium Framed Window with Obscure Glass
W 2 Special 4200h x 1200w Select Aluminium Framed Window
W 3 1350h x 1500w Select Aluminium Framed Window with Obscure Glass
W 4 1650h x 750w Select Aluminium Framed Louvre Window
W 5 1350h x 1500w Select Aluminium Framed Window
W 6 x 2 Removed from plans
W 7 x 2 1650h x 750w Select Aluminium Framed Louvre Window
W 8 600h x 2100w Select Aluminium Framed Window
W 9 Special 2000h x 4800w Select Aluminium Framed Fixed Panel Corner Window
W 10 Special 2000h x 1500w Select Aluminium Framed Fixed Panel Corner Window
W 11 1400h x 500w Select Aluminium Framed Window
W 12 x 3 1400h x 2400w Select Aluminium Framed Window
W 13 1400h x 2100w Select Aluminium Framed Window with Obscure Glass
W 14 1400h x 2400w Select Aluminium Framed Window
W 15 1400h x 1800w Select Aluminium Framed Window with Obscure Glass
W 16 Special 2400h x 1000w Select Aluminium Framed Fixed Panel Corner Window
W 17 Special 2400h x 2000w Select Aluminium Framed Fixed Panel Corner Window
W 18 1400h x 2100w Select Aluminium Framed Window

FLOOR AREA CALCULATIONS

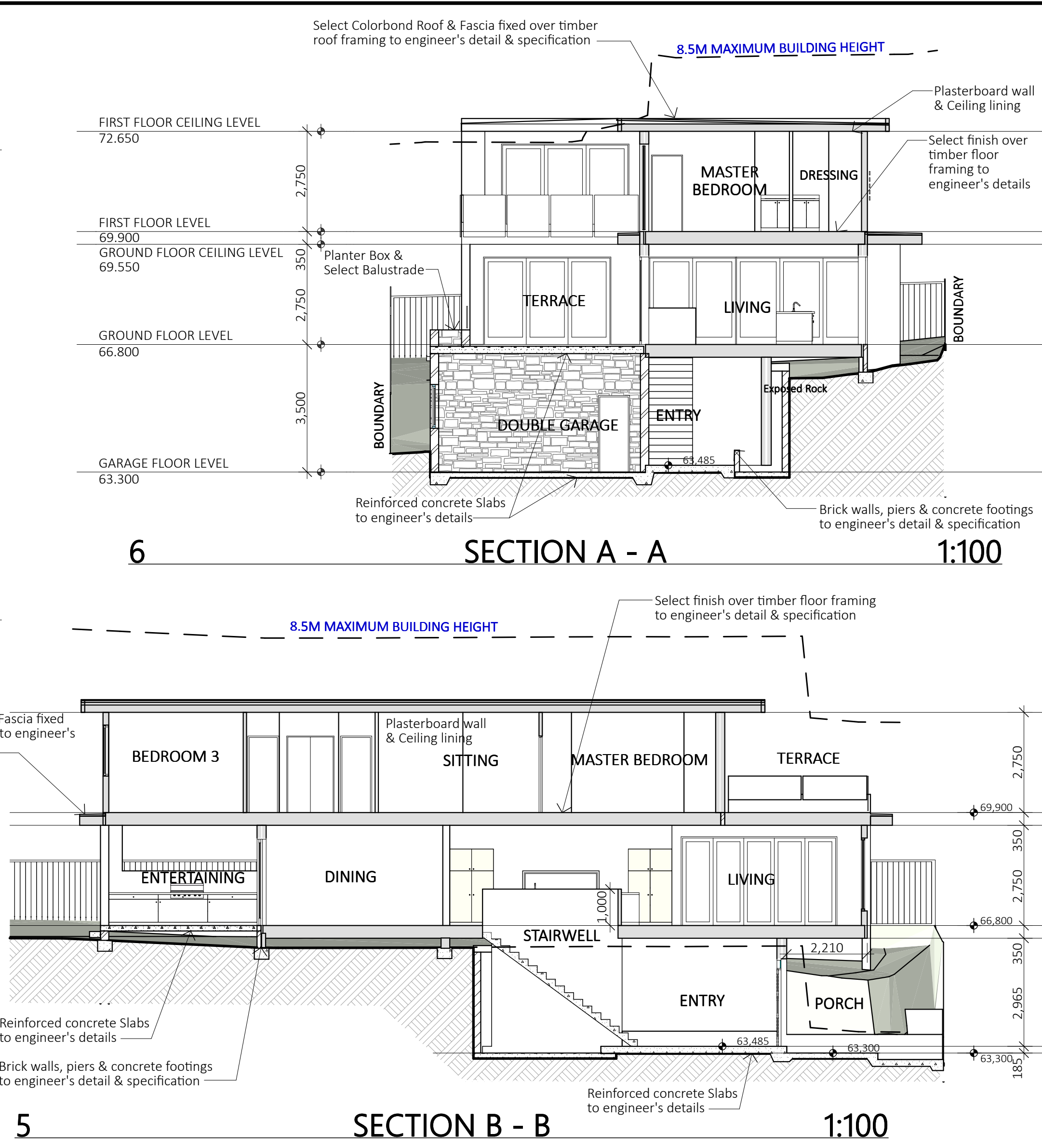
SITE AREA	558m ²
PROPOSED GROUND FLOOR AREA (Excluding stairs)	151m ²
PROPOSED FIRST FLOOR AREA (Excluding stairs)	138m ²
ENTRY FLOOR AREA (Excluding garage, storage and stairs)	8m ²
SUM TOTAL	297m ²
FLOOR SPACE RATIO	0.53:1
FLOOR SPACE RATIO (if 750m ² Site Area)	0.38:1



2 GARAGE FLOOR LEVEL 1:100



3 FIRST FLOOR LEVEL 1:100



NOTES:
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.
Finished ground levels on the plan are subject to the site conditions.

Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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Energy Rating
☒ single-dwelling rating
☐ multi-unit development (attach listing of ratings)
Recessed downlights confirmation: ☐ Rated with ☒ Rated without
Assessor Name/Number: Dean Gorman VIC/BDV13/1645
Assessor Signature: [Signature] Date: 25 May 2015

Certificate Number: 16450074
3.5 stars
heating 53.7 MJ/m²
cooling 45.0 MJ/m²

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MODMod2019/0316

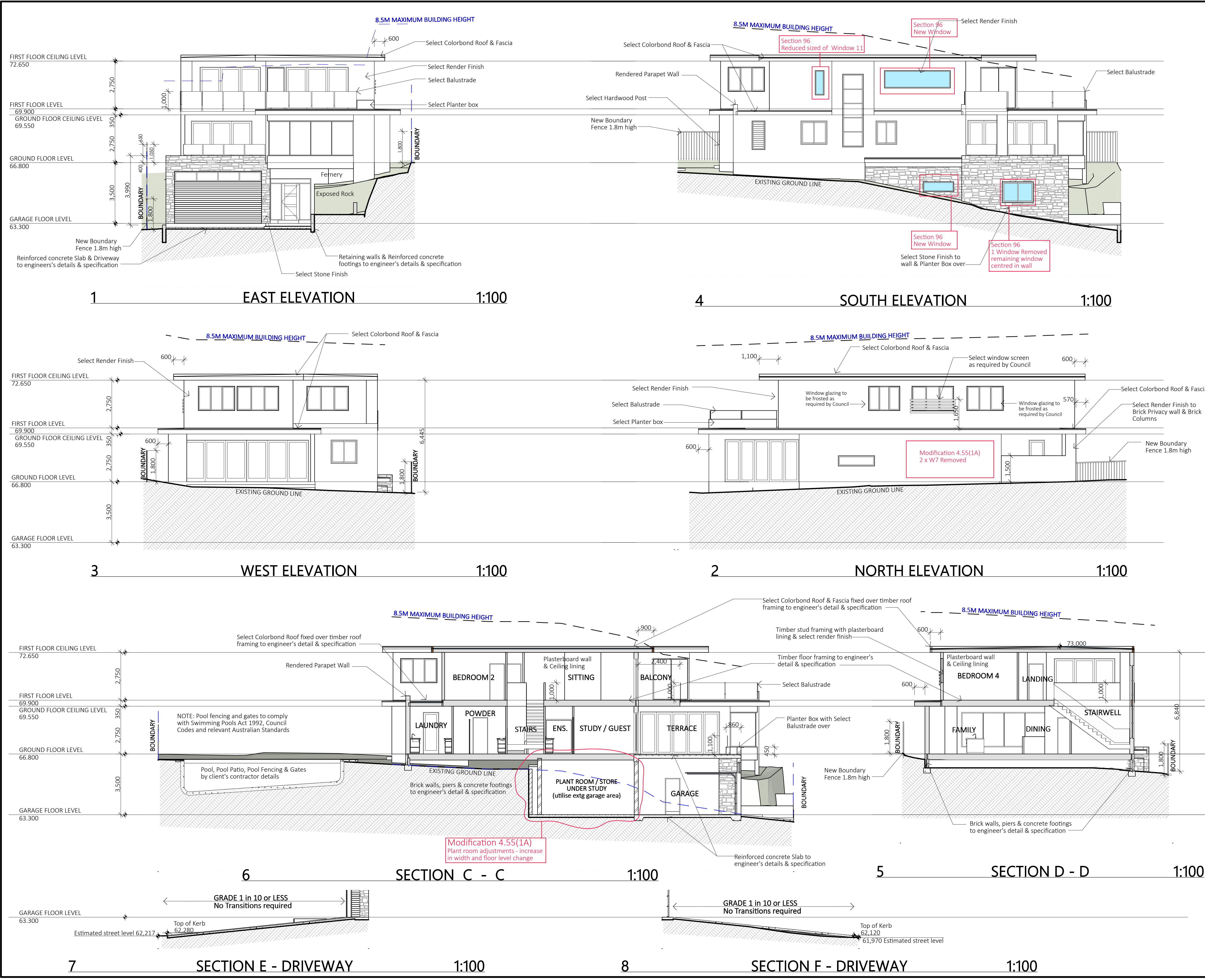
Modification 4.55(1A)
Changes to windows and an increase in the size of the Plant room.
Pool filter box location and material.
D.A. Consent No. 123/2015

LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
JAMES TULLOCH
Project Name
NEW RESIDENCE
2 MOORE STREET
LOT C, D.P. 344989
CLONTARF N.S.W. 2093

Drawing Title:

FLOOR PLANS	
Scale: 1:100	Date: APRIL 2019
Council: MANLY - NBC	Checked By: JEREMY ADAMS
Project No: 1444	Drawing No.: DA 03 (A)
ANNEXURE "A"	
Plot Date: 16/04/2019	



NOTES:
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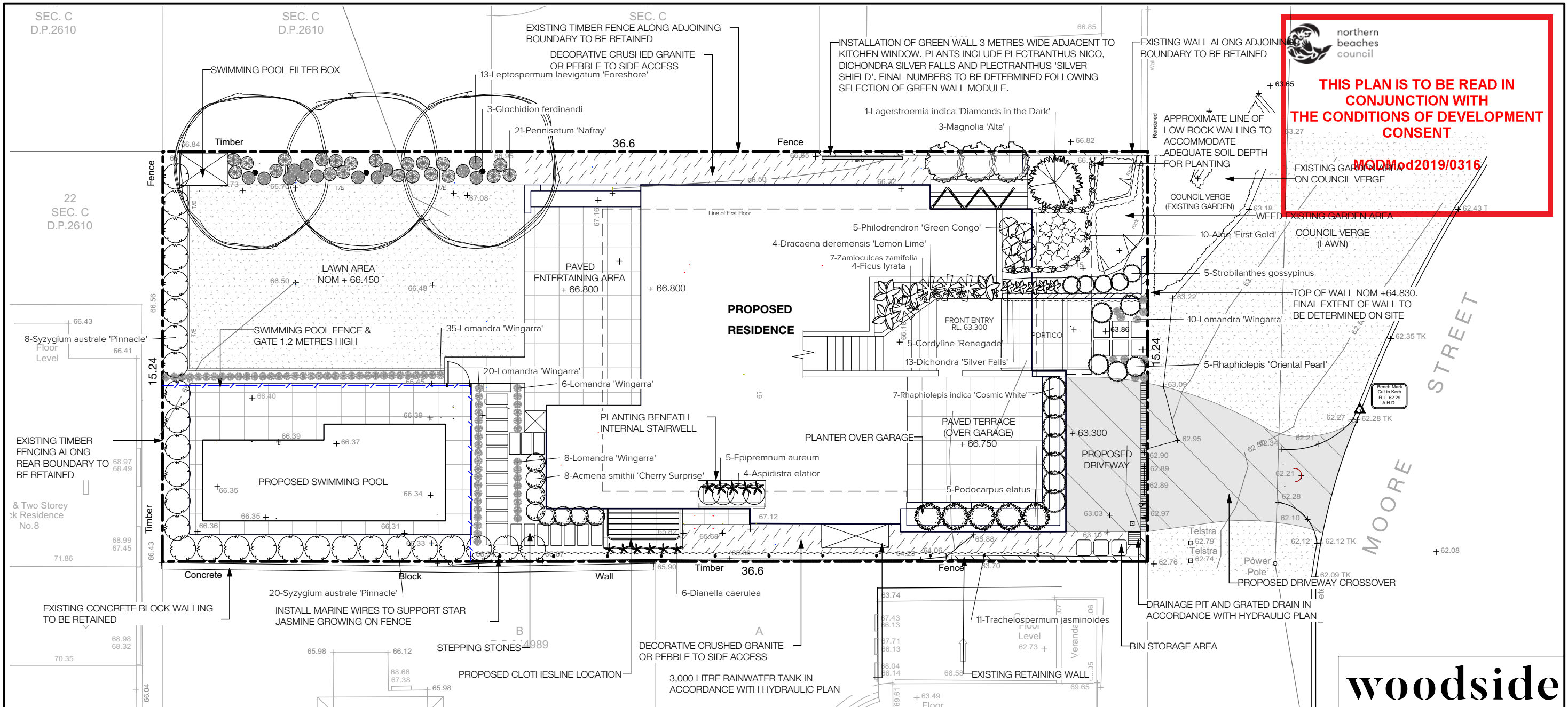
Project North

LIFESTYLE HOME DESIGNS
 LEVEL 1, 10/14 NARABANG WAY - BELROSE
 PH. (02)9986 1311 FAX (02)9986 1322

Client
JAMES TULLOCH
 Project Name
NEW RESIDENCE
2 MOORE STREET
LOT C, D.P. 344989
CLONTARF N.S.W. 2093

Drawing Title:
ELEVATIONS & SECTIONS

Scale: 1:100	Date: APRIL 2019
Council: MANLY - NBC	Checked By: JEREMY ADAMS
Project No: 1444	Drawing No.: DA 04
ANNEXURE "A" Plot Date: 16/04/2019	



PROPOSED PLANT SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Acmena smithii 'Cherry Surprise'	Lillypilly cvr.	8	200mm	700	4000
Aloe 'First Gold'	Aloe cvr.	10	200mm	500	500
Aspidistra elatior	Cast Iron Plant	4	200mm	800	900
Cordyline 'Renegade'	Cordyline cvr.	5	300mm	500	1500
Dianella caerulea	Blue Flax Lily	6	140mm	400	700
Dichondra 'Silver Falls'	Silver Falls	13	140mm	800	100
Dracaena deremensis 'Lemon Lime'	Dracaena	4	300mm	1000	1500
Epipremnum aureum	Variegated Devil's Ivy	5	140mm	500	200
Ficus lyrata	Fiddle leaf Fig	4	300mm	1000	2000
Glochidion ferdinandi	Cheese Tree	3	25lt	6000	10000
Lagerstroemia indica 'Diamonds in the Dark'	Crimson Red flowering Crepe Myrtle	1	300mm	2000	3000
Leptospermum laevigatum 'Foreshore'	Dwf. Coastal Tea Tree cvr.	13	200mm	500	1000
Lomandra 'Wingarra'	Dwarf Lomandra	79	140mm	300	300
Magnolia 'Alta'	Magnolia cvr.	3	100lt	1500	6000
Pennisetum 'Nafray'	Fountain Grass cvr.	21	140mm	500	1000
Philodendron 'Green Congo'	Congo Philodendron	5	300mm	750	700
Podocarpus elatus	Plum Pine, Brown Pine	5	45LT	1000	8000
Raphiolepis 'Oriental Pearl'	Indian Hawthorn cvr.	5	200mm	800	900
Raphiolepis indica 'Cosmic White'	Indian Hawthorn cvr.	7	200mm	900	1500
Strobilanthes gossypinus	Persian Shield	5	200mm	700	900
Syzygium australe 'Pinnacle'	Lillypilly cvr.	28	300mm	1000	6000
Trachelospermum jasminoides	Star Jasmine	11	200mm	0	4000
Zamioculcas zamifolia	Zanzibar Gem	7	200mm	400	400

LEGEND

- + 63.300

EXISTING LEVEL

+ 63.300

PROPOSED LEVEL
- DRIVEWAY

LAWN AREA

PAVED AREA

DECOMPOSED GRANITE/PEBBLE AREA

STEPPING STONES
- PROPOSED MASONRY WALLING

EXISTING WALLING

TIMBER LAWN EDGE

BOUNDARY LINE

SWIMMING POOL FENCE 1.2m HIGH

NOTES:
- All workmanship and materials to be of the highest quality.
- All dimensions, levels and boundaries are nominal only, contractor to verify prior to commencing work. All quantities to be measured from site measurements.
- Do not scale from drawings.
- Any existing trees to be retained shall be protected in accordance with AS 2970-2009 Protection of Trees on Development Sites.
- All boundaries shall be surveyed prior to commencement of construction works.
- This design shall not be copied, utilised or reproduced in any way without prior written permission of Woodside Plants & Design.

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W: www.woodsideplantsanddesign.com.au

Client: JTB BUILDING
Project: 2 MOORE STREET
CLONTARF NSW 2093
Dwg: LANDSCAPE PLAN
Date: 23/5/19 Scale: 1:150 @ A3
Job Ref: 18043 Sheet No: 1 of 2

Issue: B
Contractors to check and verify all dimensions, levels and boundaries prior to commencement of any work on site. Check location of all underground services prior to excavation or drilling. All workmanship to be in accordance with current trade practices, new standards, specifications and local authority bylaws. Seek resource and building consents as required.
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Revisions:
A (14/3/19) FOR SECTION 96
B (23/5/19) AMENDMENTS FOR BUILDER



LANDSCAPE WORKS

All landscape works to be undertaken in accordance with Council approved documentation

Initial Site Preparation:

Verify all dimensions and levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services and ensure no damage occurs to them throughout the course of the works. Levels indicated on plan are nominal only and are derived from architectural plans, surveys and drawings by others. Final structural integrity of all items shall be the sole responsibility of Contractor.

Tree Protection:

Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of the Project Arborist. Existing trees shall be pruned to Project Arborist onsite instructions.

Soil Preparation:

Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging:

Contractor shall install timber edge as shown onTimber Edge Detail. Top of edging shall finish flush with surrounding finished surfaces.

Retaining Walls:

Positions, detail and heights of retaining walls shall be by others.

Raised Planters:

Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base, filter fabric, planting medium, mulch and irrigation. Planter boxes must be effectively tanked and lined with coreflute to prevent leaking. Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric and a 100mm deep layer of Hydrocell Hardfoam RG30. Provide root anchor netting over Hardfoam layer if trees are to be planted. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it. Supply and spread evenly an approved planter soil mix which must be a minimum soil depth of 600mm or unless otherwise specified. Compact lightly and evenly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 75mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Planting:

Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely. All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety. Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of root-ball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Mulching:

Mulch is to be supplied to all raised planters and garden areas and is to be an organic type laid to a minimum depth of 75mm, consisting of woodchip mulch. Following installation of mulch all planted areas are to be thoroughly soaked with water. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. All mulch is to be sloped towards plant stems but shall be kept back 100mm from the stems of all plants to prevent collar rot.

Turfing:

Prepare for, level & lay cultivated Palmetto Buffalo or as otherwise specified turf to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing:

Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving:

Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation:

An approved drip irrigation system is to be supplied to all planter boxes, green wall and garden areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device.

Engineering:

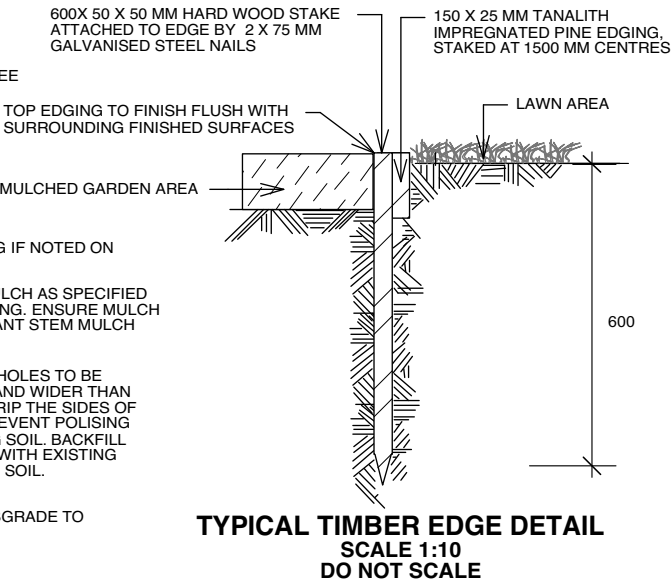
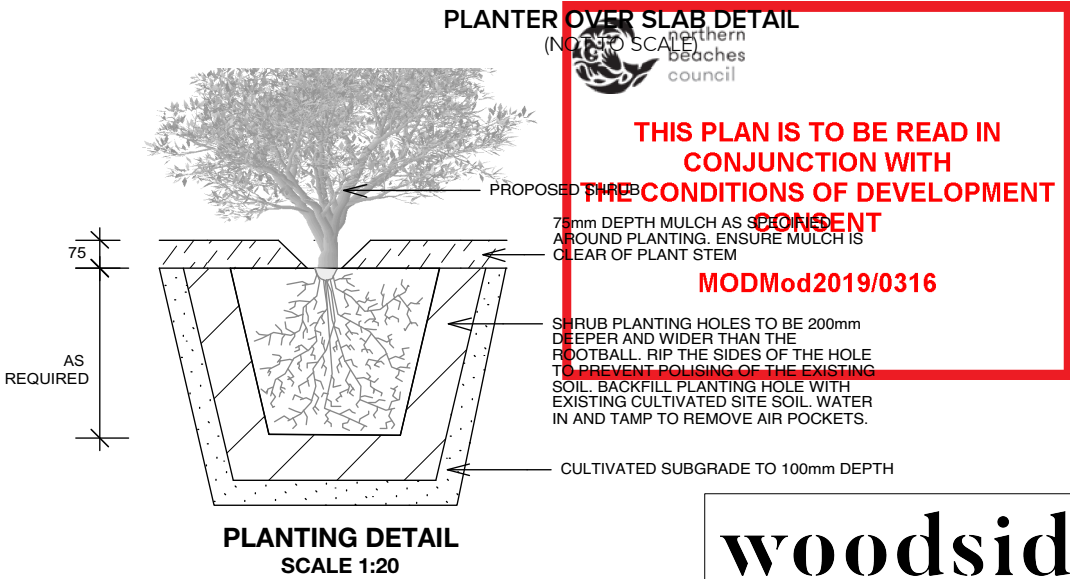
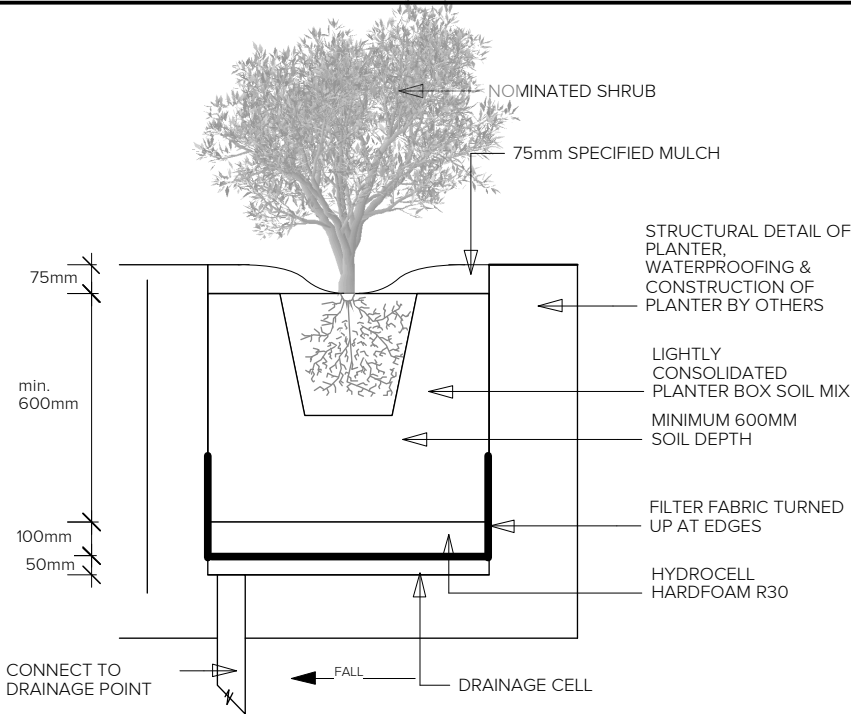
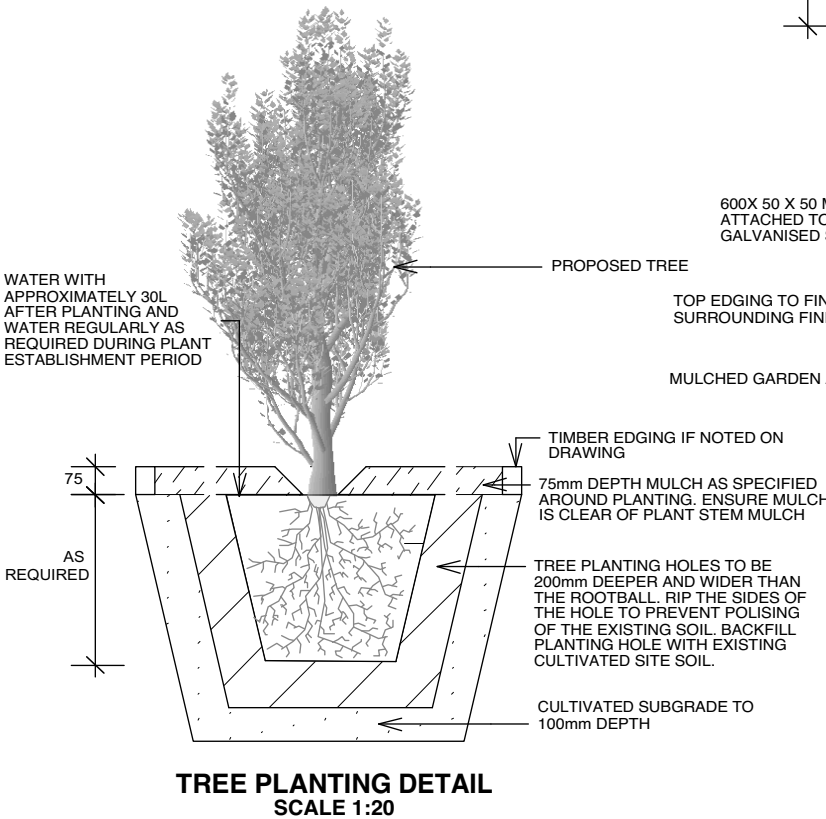
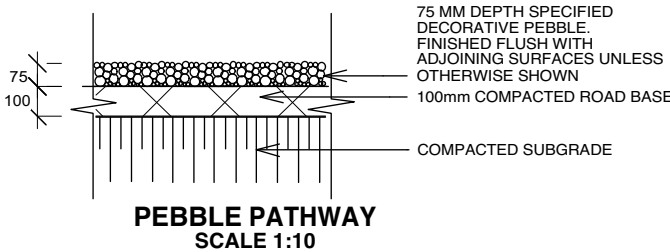
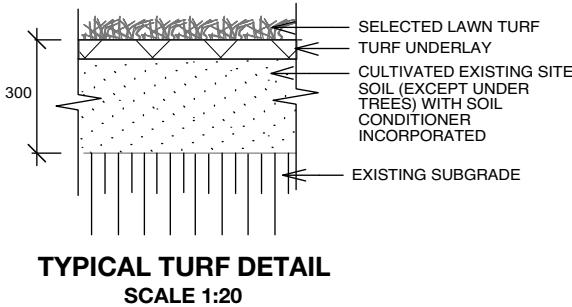
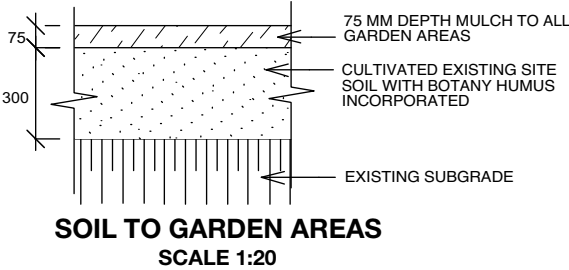
All structural details pertaining to the raised planter shall be to Engineer's details.

Green Wall:

Green Wall shall be as selected by the builder.

Plant Establishment Period:

There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT

MODMod2019/0316

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Client: JTB BUILDING

Project: 2 MOORE STREET
CLONTARF NSW 2093

Dwg: LANDSCAPE DETAILS + SPECIFICATION

Date: 23/5/19 Scale: AS SHOWN @ A3

Job Ref: 18043 Sheet No: 2 of 2

Issue: B

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