



SECTION 96 MODIFICATION TO DA2012/0653 & MOD2012/0241

ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

For Dawn & Michael Hunter

No.31 Arnhem Road, Allambie Heights

Lot 13, Sec 101, D.P.248495

Project Number: RP0212HUN

Rapid Plans www.rapidplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au

Drawing No:	Description	Rev	Description	Date
	Cover Sheet			
DA1001	A4 Notification Plan			28/3/2013
DA1002	Survey			28/3/2013
DA1003	Site Plan			28/3/2013
DA1004	Existing Flr Plan			28/3/2013
DA1005	Demolition			28/3/2013
DA1006	Landscape Open Space Plan			28/3/2013
DA1007	Sediment & Erosion Control Plan			28/3/2013
DA1008	Waste Management Plan			28/3/2013
DA2001	Lower Ground Floor Plan			28/3/2013
DA2002	Ground Floor Plan			28/3/2013
DA2003	First Floor Plan			28/3/2013
DA2004	Roof Plan			28/3/2013
DA3001	Sections 1			28/3/2013
DA3002	Sections 2			28/3/2013
DA3003	Sections - Pool			28/3/2013
DA4001	Elevation 1			28/3/2013
DA4002	Elevation 2			28/3/2013
DA4003	Front Fence Elevation			28/3/2013
DA5001	June 21st 9am			28/3/2013
DA5002	June 21st 12pm			28/3/2013
DA5003	June 21st 3pm			28/3/2013
DA5004	No.29 Arnhem Road Shadows			28/3/2013



BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A137952_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A137952 lodged with the consent authority or certifier on 27 Jul 2012 with application DA2012/0653.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000.

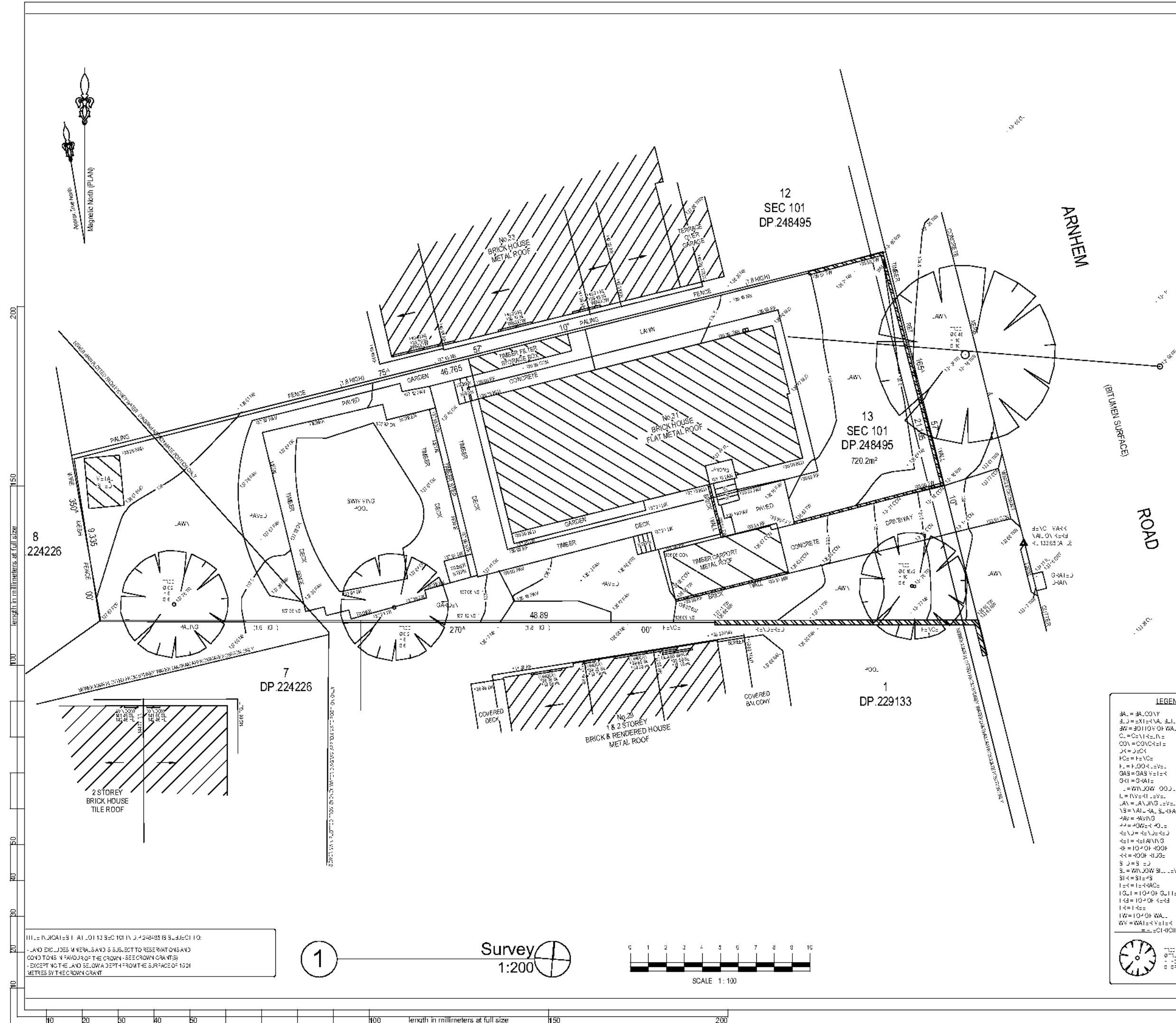
Director-General
Date of issue: Wednesday, 27, March 2013
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Dawn & Michael Hunter_04
Street address	31 Arnhem Road Allambie Heights 2100
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 248495
Lot number	13
Section number	101
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



NOTES

1. BOUNDARY DATA HAVE NOT BEEN DEFINED (TITLE DUE ONLY),
 2. BOUNDARY DEF NOT ON A SUBJECT TO FURTHER SURVEY
 3. * CONTACT SURVEY OR NEAR BOUNDARY IS REQUIRED TO
 4. 1. RECONSTRUCT WITH BOUNDARY DATA AND BE MARKED
 5. 2. TREE SEEDS ARE ESTIMATES ONLY
 6. 3. T-4'S PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF
 7. MICHAEL J. LUTHER
 8. 9. RELOCATION OF ANY INFORMATION TO BOUNDARY IS
 10. A DRAINAGE ONLY. WHERE SECTIONS ARE CRITICAL, THEY
 11. SHOULD BE CORRECTED BY FURTHER SURVEY
 12. 13. EXCEPT WHERE SHOWN BY A NEW CONSTRUCTION OF DATA, WITH
 14. RESECTION TO BOUNDARY IS NOT DONE ONLY
 15. 16. ONLY T-4'S SURVEYS HAVE BEEN CONDUCTED UNDERGROUND
 17. SURVEYS HAVE NOT BEEN CONDUCTED TO BEFORE THE SURVEY
 18. PHASE SHOULD BE USED AND A FULLY TITLED SURVEY
 19. 20. NO CONSTRUCTION SURVEY SHOULD BE CONDUCTED
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HORIZONTAL DATUM:

CO-ORDINATE SYSTEM: ASS. V = J

VERTICAL DATUM:

DATUM: AUSTRIAN - 1911 JULY (A 2)

B.M. ADOPTED: 997 9185

SOURCE: SIC 8000 (1991)

SOURCE: SEC. 11913, 9-3-62, 11,

[illegible]

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CLIENT:

MICHAEL HUNTER
No.31 ARNHEN ROAD
ALLAMBIE HEIGHTS NSW 2100

PLAN
SHOWING DETAIL & LEVELS
OVER LOT 13 SEC 101 IN D.P. 248495
No. 31 ARNHEM ROAD
ALLAMBIE HEIGHTS NSW 2100

**C.M.S. Surveyors
Pty Limited**

CA: 696 206 261

Box 47: Uncertainty

¹ J. Campbell & Snow,
Inc. 300 N. 2nd St., N.Y.C.

depth: 0.2545 49.2

mail: info@mcgraw-hill.com

GA: WARRING

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DR

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DATE OF SURVEY
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NOTES

No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction

Cladded Upper Floor Walls, Timber & Conc. Flooring.
Trussed Metal Roofs & Timber / Tiled Decking
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A137952_04
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA MOD ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495
Drawing Title: **Site Plans - Existing Flr Plan**
Existing Floor Plan

Scale: A3 as noted Date: 28/3/2013

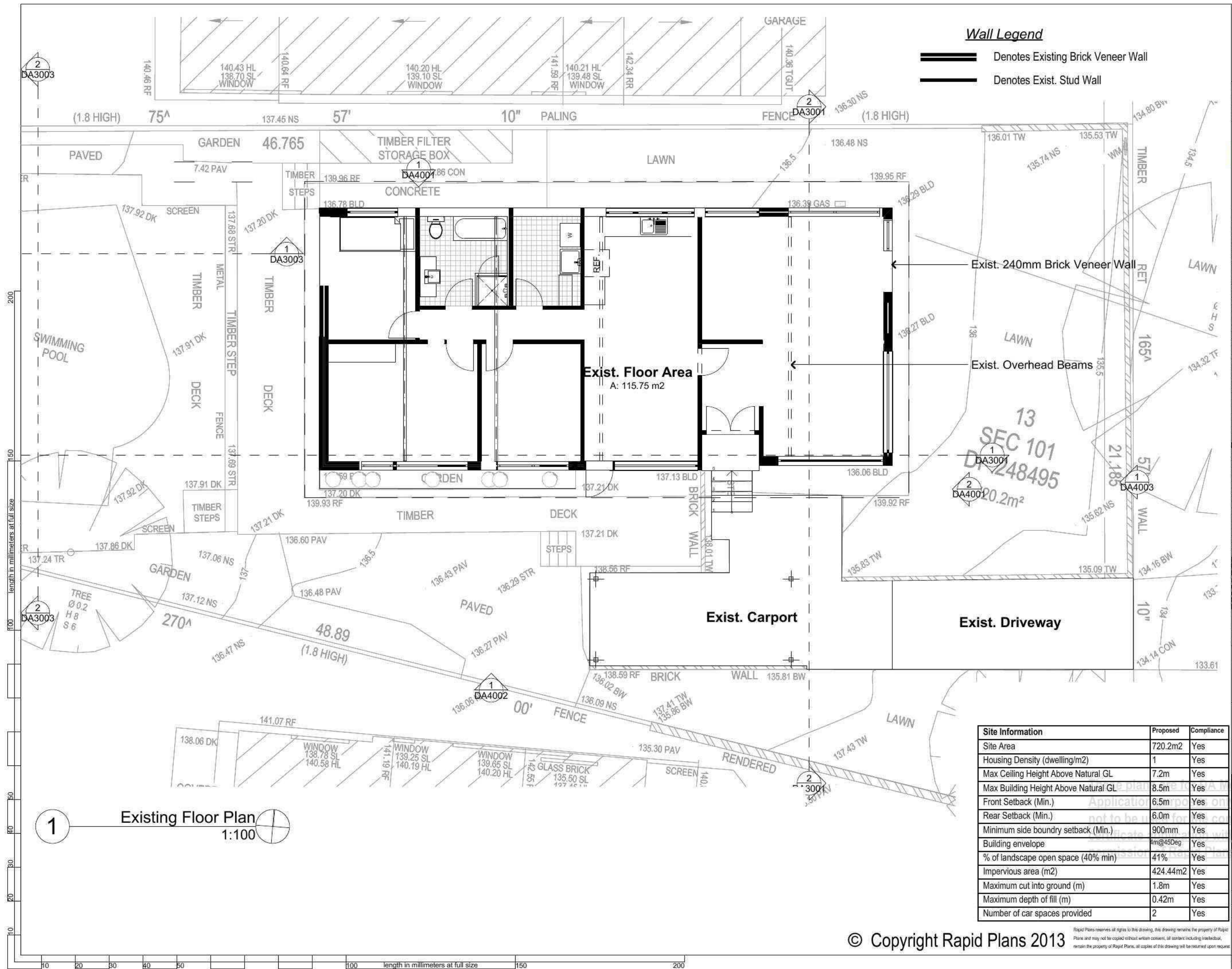
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA1004**

Plot Date: 28/03/2013

Wall Legend

- Denotes Existing Brick Veneer Wall
- Denotes Exist. Stud Wall



Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket.
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A137952_04
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Project North

DA MOD ONLY
NOT FOR CONSTRUCTION

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Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495

Drawing Title: **Site Plans - Landscape Open Space Plan**
Landscape Open Space Plan

Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA1006**

Plot Date: 28/03/2013

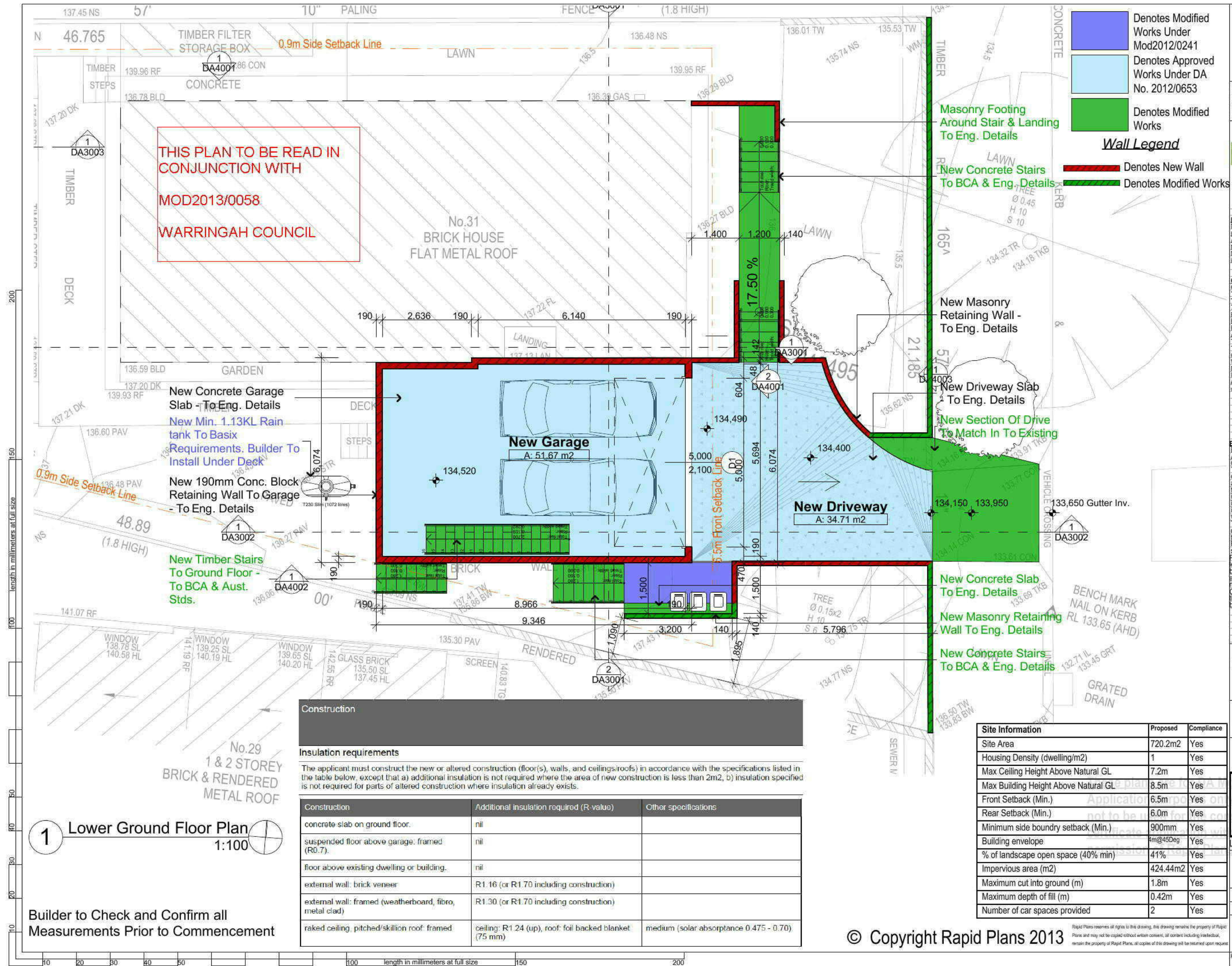
Denotes Landscaped Open Space

Denotes Impervious Area



Landscape Open Space Plan
1:200

Builder to Check and Confirm all Measurements Prior to Commencement





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Email: aread@rapidplans.com.au



BUILDING DESIGNERS AUSTRALIA NSW

NOTES

No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate No. 2012/0653.
New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction

Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket, R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
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Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS 01288-2047.
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New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

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Project North



DA MOD ONLY

NOT FOR CONSTRUCTION

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Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100
Lot 13, Sec 101, D.P.248495

Drawing Title: **Plans - Lower Ground Floor Plan**
Lower Ground Floor Plan

Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA2001**

Plot Date: 28/03/2013

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.35	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes Modified Works

Denotes Modified Works Under Mod2012/0241

Denotes Approved Works Under DA No. 2012/0653

Wall Legend

Denotes New 90mm Stud Wall



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Mobile: 0414-945-024
Email: areas@rapidplans.com.au



NOTES
No.31 Armh Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate No.31 Armh Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket, R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
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Basic
Basic Certificate Number A137952_04
All Plans to be read in conjunction with Basic Certificate.

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Project North

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NOT FOR CONSTRUCTION

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Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Armh Road Allambie Heights
2100

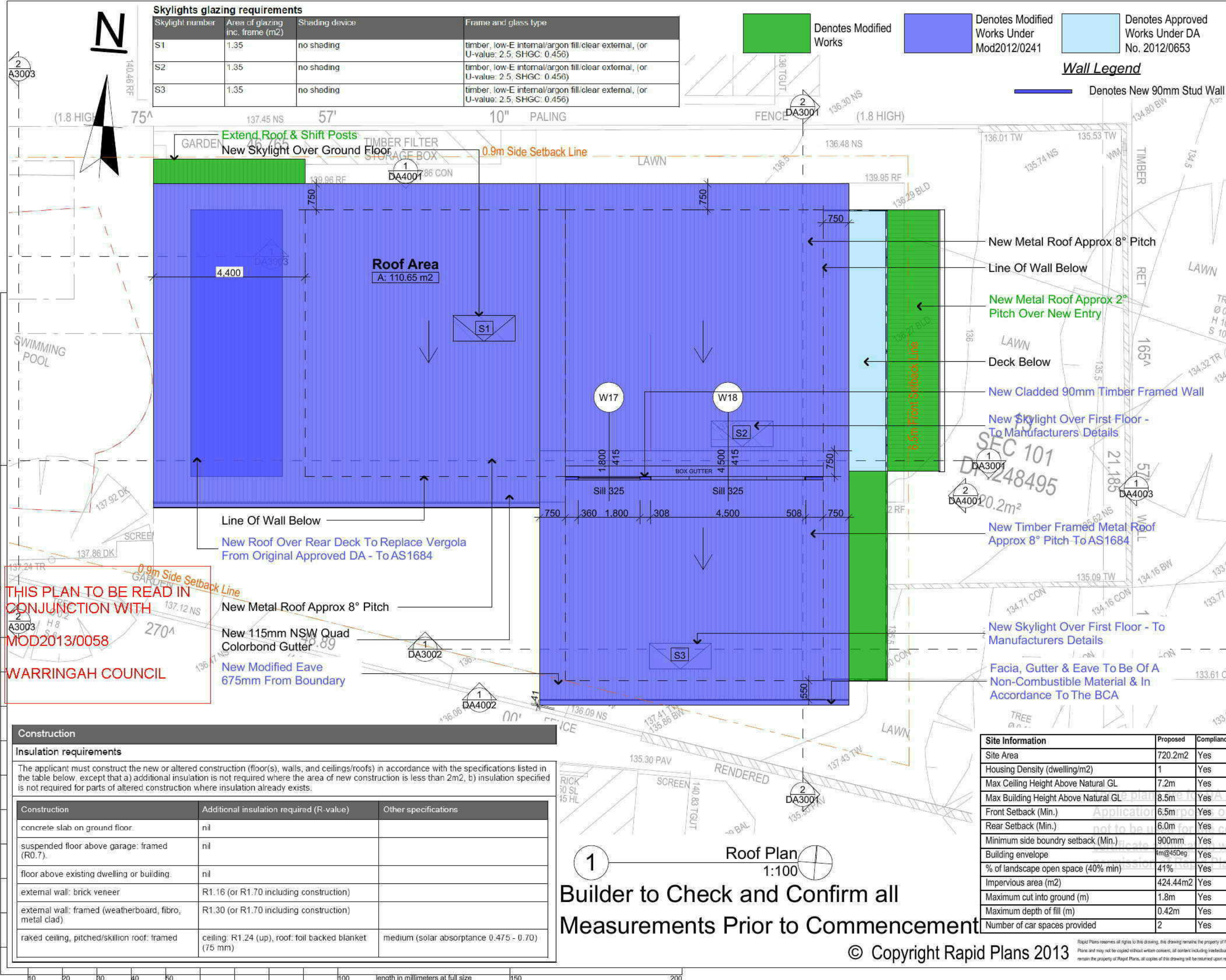
Lot 13, Sec 101, D.P.248495

Drawing Title: **Plans - Roof Plan**
Roof Plan

Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA2004**

Plot Date: 28/03/2013



Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

1 Roof Plan 1:100

Builder to Check and Confirm all Measurements Prior to Commencement

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NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket, R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
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Project North
N

DA MOD ONLY
NOT FOR CONSTRUCTION

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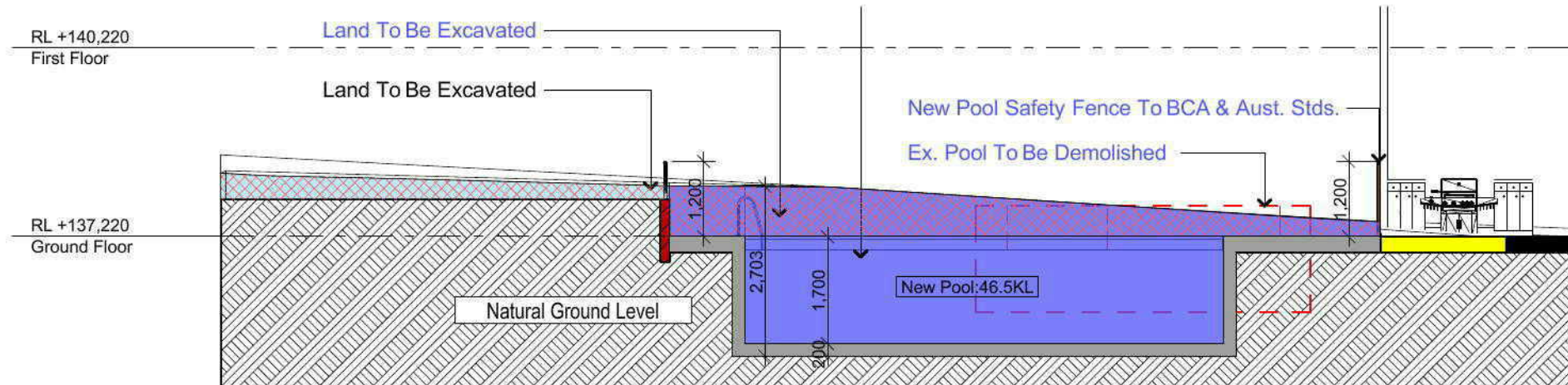
Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100
Lot 13, Sec 101, D.P.248495

Drawing Title: **Sections - Sections - Pool**
Section 1 - Pool, Section 2 - Pool

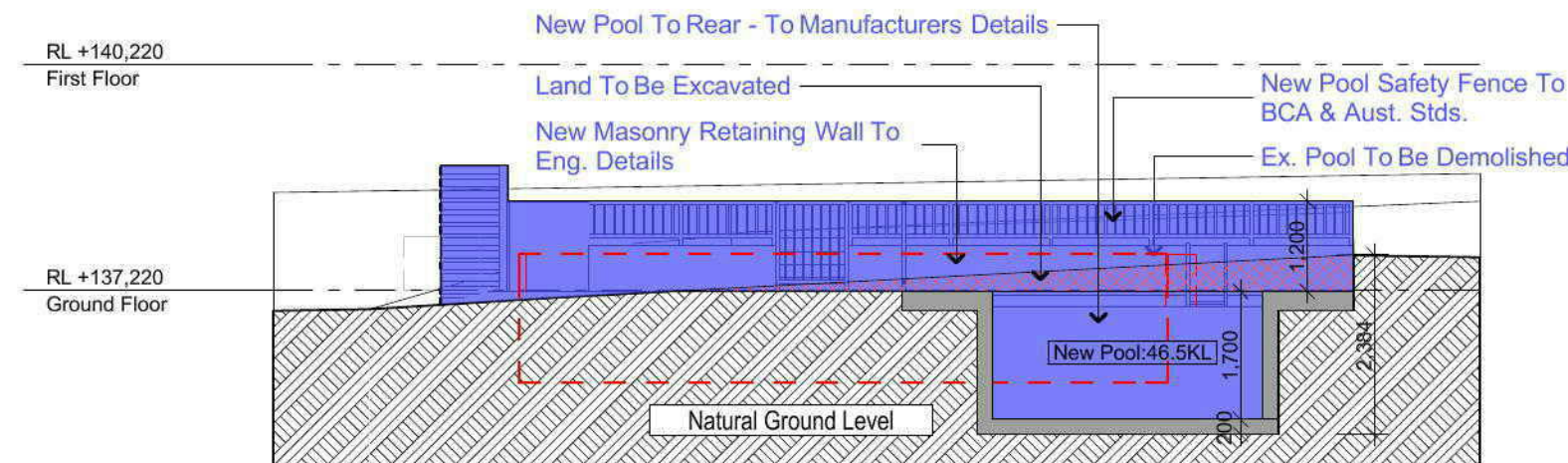
Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA3003**

Plot Date: 28/03/2013



1 Section 1 - Pool
1:100



2 Section 2 - Pool
1:100

THIS PLAN TO BE READ IN CONJUNCTION WITH

MOD2013/0058

WARRINGAH COUNCIL

Denotes Modified Works Under Mod2012/0241

Builder to Check and Confirm all Measurements Prior to Commencement

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 1137 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 110.65 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 46.5 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement

Denotes Modified Works
Denotes Modified Works Under Mod2012/0241
Denotes Approved Works Under DA No. 2012/0653
Denotes Demolished Items



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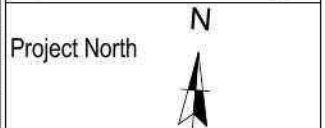


NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate No.31 Arnhem Road Allambie Heights. This is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket, R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A137952_04
All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



DA MOD ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495

Drawing Title: **Elevations - Elevation 1**
North, East

Scale: A3 as noted Date: 28/3/2013

Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA4001**

Plot Date: 28/03/2013

Max Building Height 8500 Above Exist. GL

Max Ceiling Height 7200 Above Exist. GL

Extend Roof & Shift Posts

New Timber Framed Metal Roof
Approx 8° Pitch To AS1684

New Privacy Screen 1.65m High

New Gyprock Clad 90mm Timber Framed Wall

New Metal Roof Approx 8° Pitch

THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2013/0058
WARRINGAH COUNCIL

Natural Ground Level

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass in frame (m ²)	Overhead shading (m)	Distance (m)	Shading device	Frame and glass type
W1	E	1.1	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	E	0.4	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	S	2.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W4	S	1.4	0	0	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	1.7	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	S	1.1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6A	S	2.2	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	N	2.1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7A	N	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7B	N	1.7	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7C	N	1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7D	N	2.5	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	N	1.1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	E	1.1	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	W	0.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	S	2.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W12	W	1.2	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	E	3.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.56, SHGC: 0.4)

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

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RL +144.088
Roof

New Frosted Glass Railing
To Balcony To Ground Floor

New Timber Framed Tiled
Balcony To BCA & Aust Stds

New Metal Roof Approx
2° Pitch Over New Entry

New Architectural
Posts With Spacing
To BCA

New Concrete Stairs
To Front Entry - To
AS & BCA Stds.

1
North
1:100

Modified Roof Pitch
Lowered To 8° From
Original Application

New 115mm NSW Quad
Colorbond Gutter

New Glass Railing To
Balcony To BCA

45°
New Sliding Door

Line Of Demolished
Exist. Window

Line of Demolished Exist.
Carport & Front Entry Stair

4.000

2
East
1:100

Max Building Height 8500 Above Exist. GL

Approx 8° Roof Pitch

Max Ceiling Height 7200 Above Exist. GL

Approx 8° Roof Pitch

New Box Gutter
New 600mm Awning
Over Ground Floor To
Satisfy Basix
Requirements

Extend Roof &
Shift Posts
New Glass Railing To
Balcony To BCA

New Metal Roof
Approx 2° Pitch Over
New Entry

New Entry Door By Owner

Fill In Sill To 900mm With
New Window Above
New Concrete Stairs To Front
Entry - To AS & BCA Stds.
New Conc. ramp to BCA &
Aust. Stds.

New Concrete Stairs To Front
Entry - To AS & BCA Stds.

Natural Ground Level

45°
Building Envelope

RL +140.220
First Floor

RL +134.620
Garage

RL +134.620
Garage

length in millimeters at full size

length in millimeters at full size

NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate No.31 Arnhem Road Allambie Heights. This is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring, Trussed Metal Roofs & Timber / Tiled Decking, Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket, R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Termite Management to BCA and AS 3660.1. Glazing to BCA and AS01288-2047. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A137952_04
All Plans to be read in conjunction with Basix Certificate.

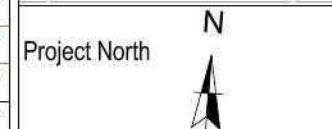
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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NOT FOR CONSTRUCTION

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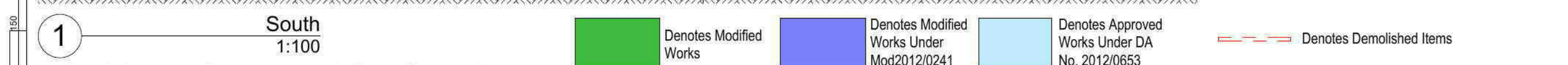
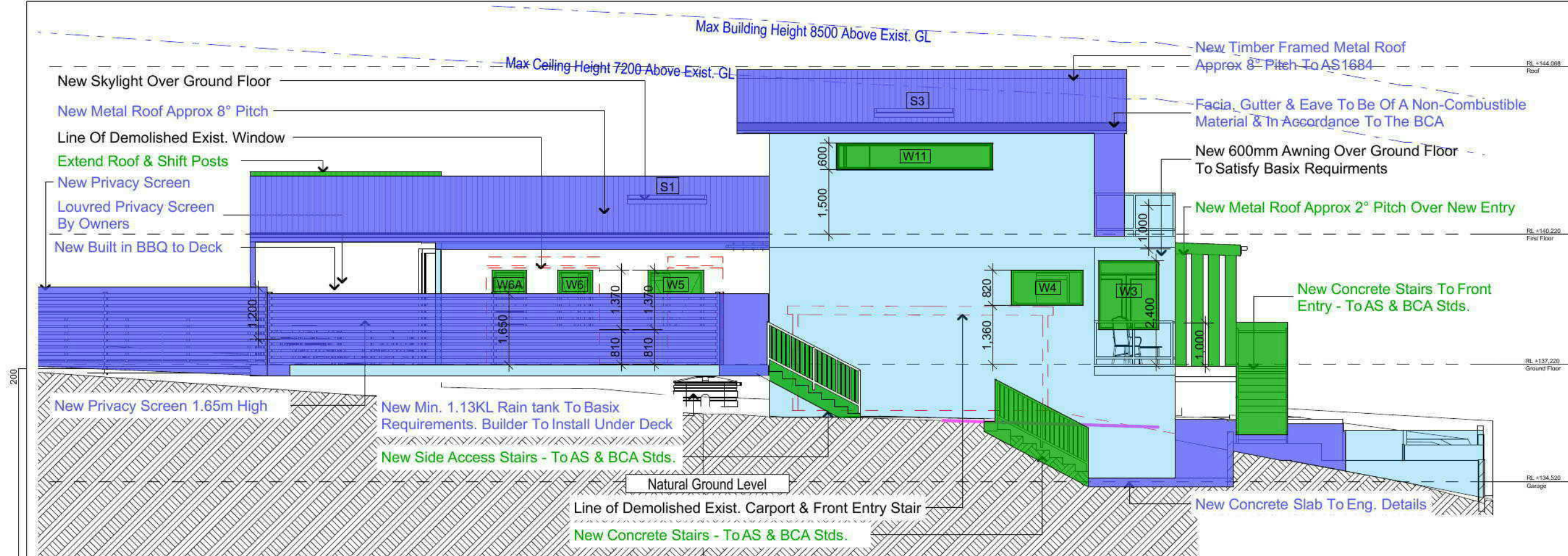
Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100
Lot 13, Sec 101, D.P.248495

Drawing Title: **Elevations - Elevation 2**
West, South

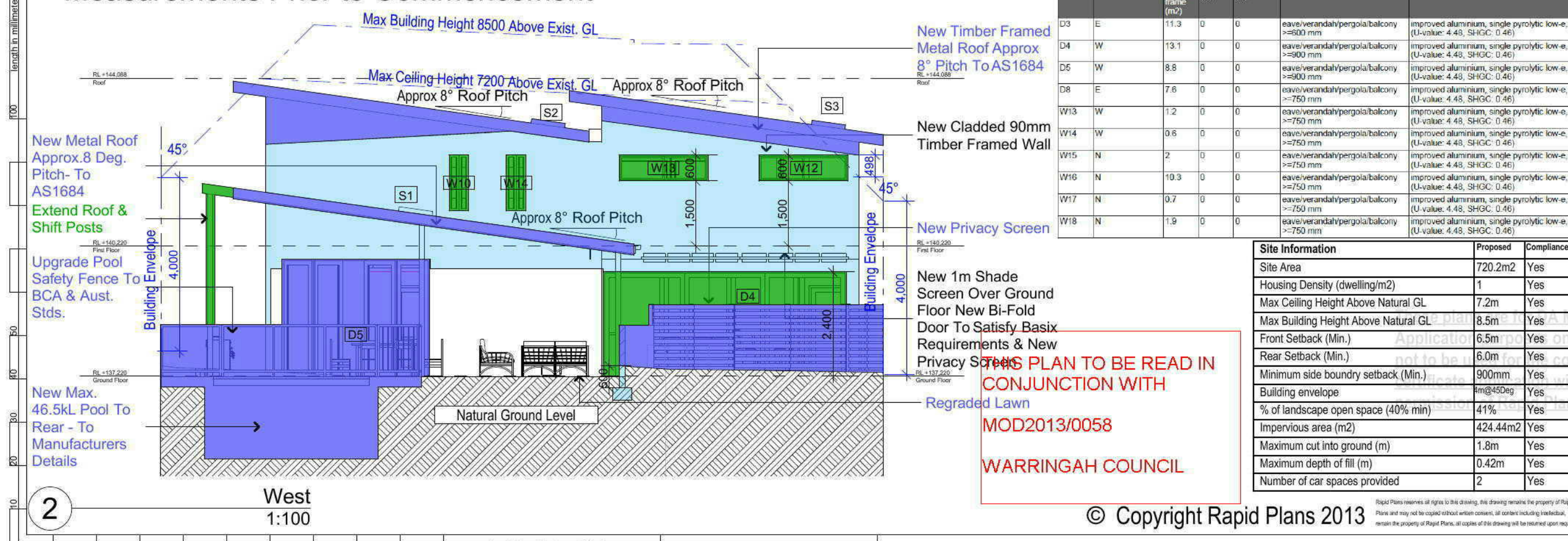
Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA4002**

Plot Date: 28/03/2013



Builder to Check and Confirm all Measurements Prior to Commencement



NOTES

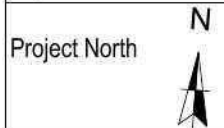
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction

Cladded Upper Floor Walls, Timber & Conc. Flooring.
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket.
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A137952_04
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m²; b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



DA MOD ONLY NOT FOR CONSTRUCTION

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Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495

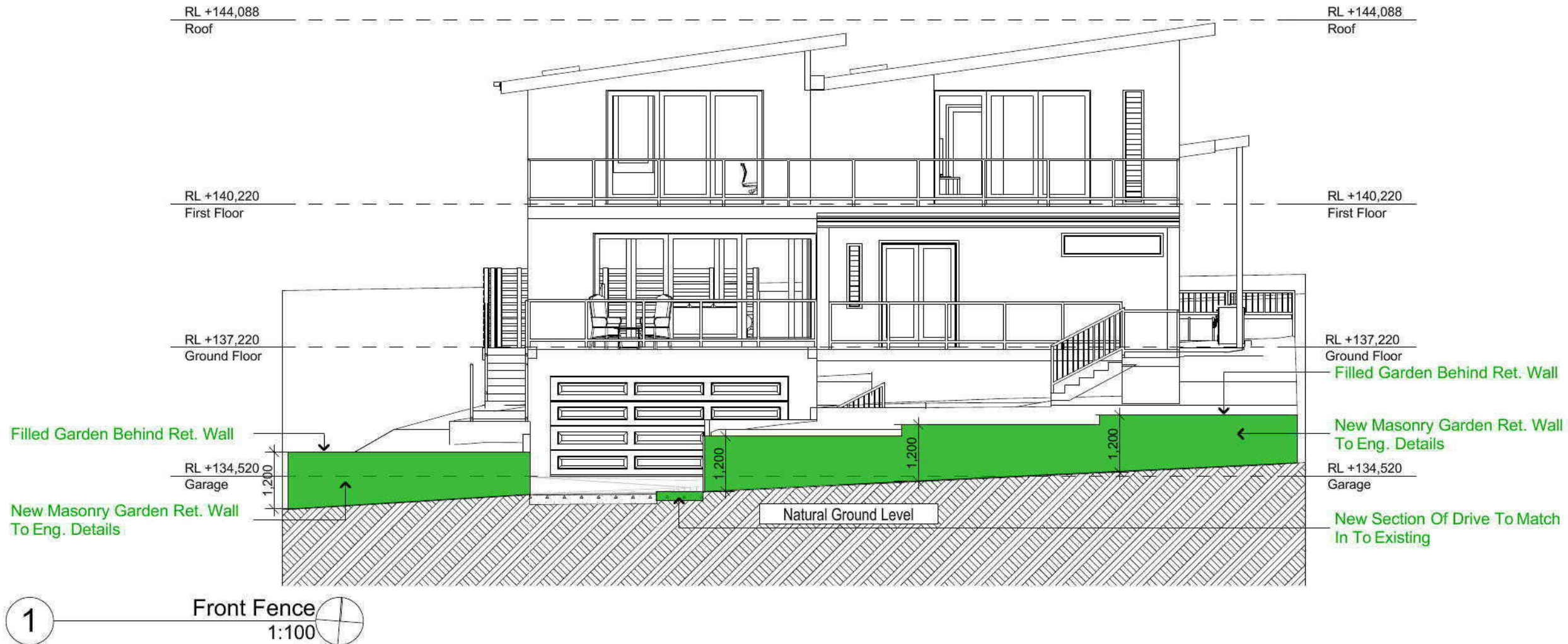
Drawing Title: **Elevations - Front Fence Elevation**
Front Fence

Scale: A3 as noted Date: 28/3/2013

Status: DA MOD Rev.2 Checked By: GBJ

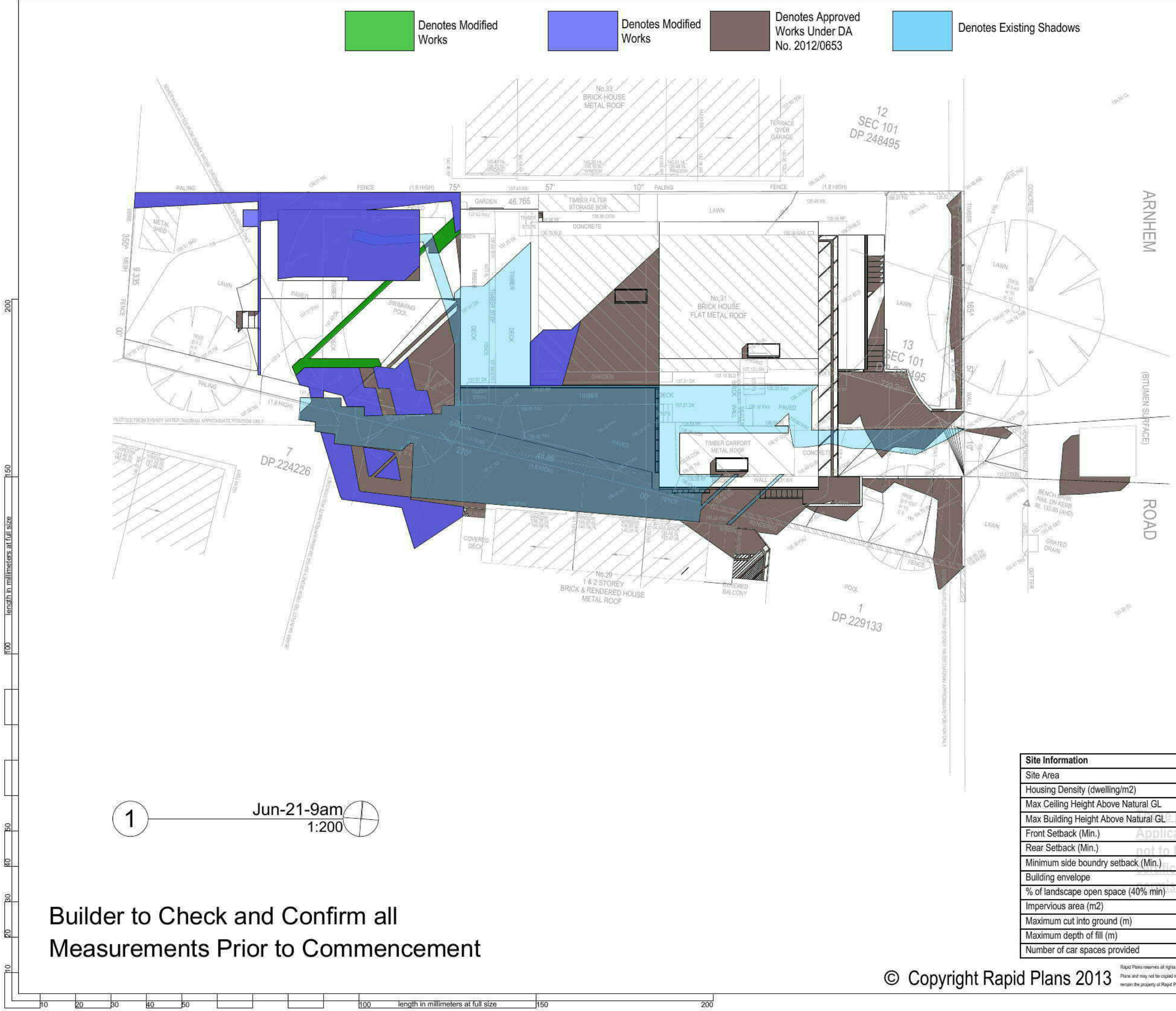
Project No: **RP0212HUN** Drawing No.: **DA4003**

Plot Date: 28/03/2013



THIS PLAN TO BE READ IN
CONJUNCTION WITH
MOD2013/0058
WARRINGAH COUNCIL

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes



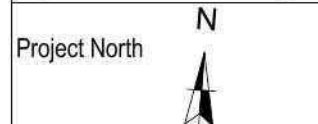
Rapid Plans - www.rapidplans.com.au
PO Box 6193 Frenchs Forest, DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : aread@rapidplans.com.au



NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring.
Trussed Metal Roofs & Timber / Tiled Decking.
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket.
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A137952_04
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DA MOD ONLY
NOT FOR CONSTRUCTION

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Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100

Lot 13, Sec 101, D.P.248495

Drawing Title:
Sunstudy - June 21st 9am
Jun-21-9am

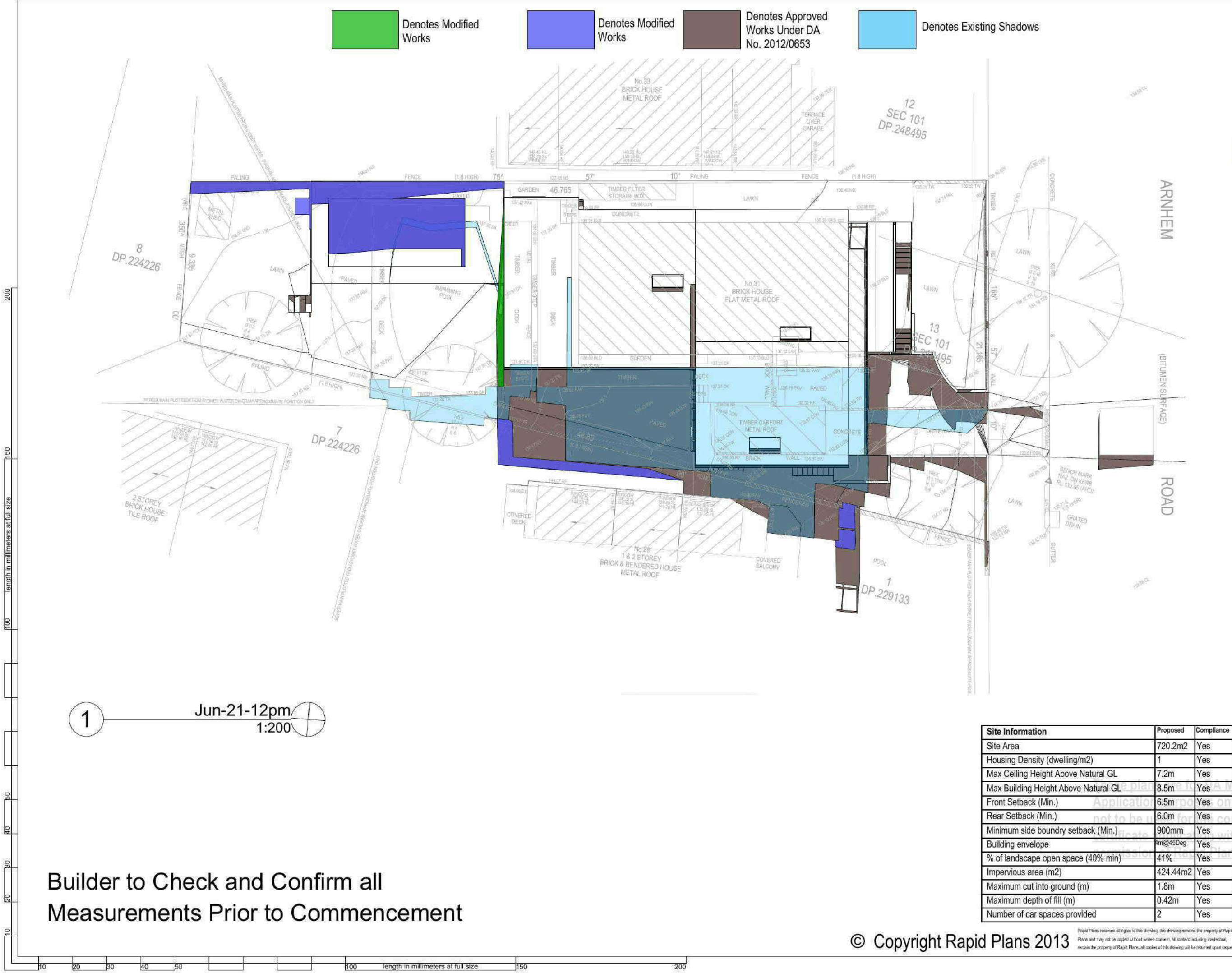
Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: RP0212HUN Drawing No.: DA5001

Plot Date: 28/03/2013

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement





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Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : area@rapidplans.com.au



NOTES
No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction
Cladded Upper Floor Walls, Timber & Conc. Flooring.
Trussed Metal Roofs & Timber / Tiled Decking.
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket.
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A137952_04
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA MOD ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:	Dawn & Michael Hunter
Project Name:	Alterations & Additions No.31 Arnhem Road Allambie Heights 2100
Lot:	Lot 13, Sec 101, D.P.248495
Drawing Title:	Sunstudy - June 21st 12pm Jun-21-12pm
Scale:	A3 as noted
Date:	28/3/2013
Status:	DA MOD Rev.2
Checked By:	GBJ
Project No.:	RP0212HUN
Drawing No.:	DA5002
Plot Date:	28/03/2013

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement



No.31 Arnhem Road, Allambie Heights is zoned R2
Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
No.31 Arnhem Road Allambie Heights
is not considered a heritage item

Cladded Upper Floor Walls, Timber & Conc. Flooring
Trussed Metal Roofs, Timber / Tiled Decking
Trussed Metal Roofs To Have R1.5 Insulation with
Tracked Decking Blanket
R2 Insulation to External Cladded Timber Framed &
Brick Veneer Walls
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3680.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Basic Certificate Number A/13/952_04
All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required for new or altered window construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 100 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

N

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:
Dawn & Michael Hunter
Project Name:
Alterations & Additions
No.31 Armhem Road Allamby Heights
2100
Lot 13, Sec 101, D.P.248495

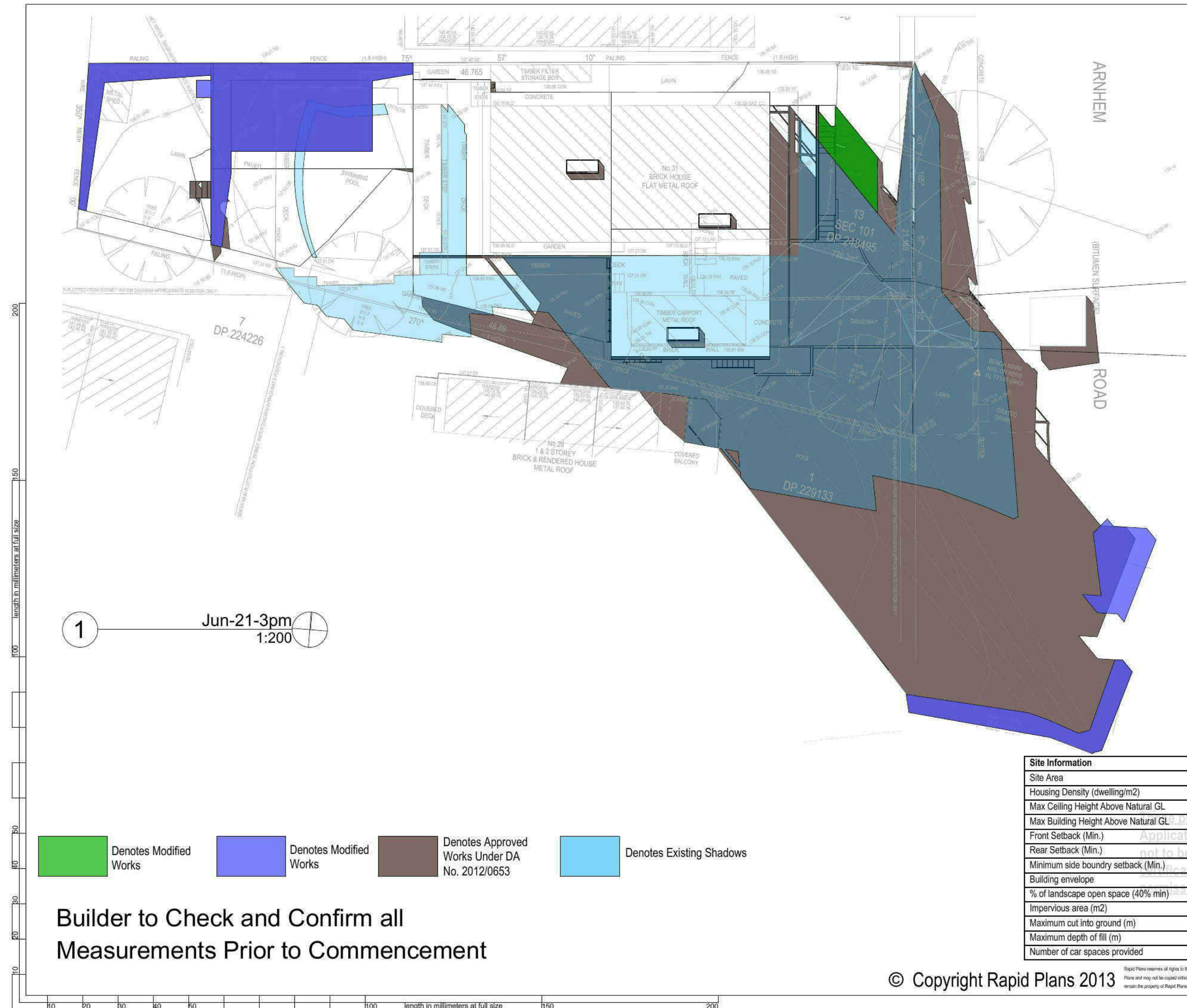
Drawing Title:
Sunstudy - June 21st 3pm
Jun-21-3pm

Scale: A3 as noted	Date: 28/3/2013
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Status: DA MOD Rev.2	Checked By: GBJ
----------------------	-----------------

Project No:	Drawing No:
RD0212HUN	DA5002

RP0212HUN	DA5003
Plot Date:	28/03/2013



Builder to Check and Confirm all
Measurements Prior to Commencement

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes

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NOTES

No.31 Arnhem Road, Allambie Heights is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
No.31 Arnhem Road Allambie Heights is not considered a heritage item.

Construction

Cladded Upper Floor Walls, Timber & Conc. Flooring.
Trussed Metal Roofs To Have R1.5 Insulation with 75mm Foil Backed Blanket.
R2 Insulation to External Cladded Timber Framed & Brick Veneer Walls.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A137952_04
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA MOD ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

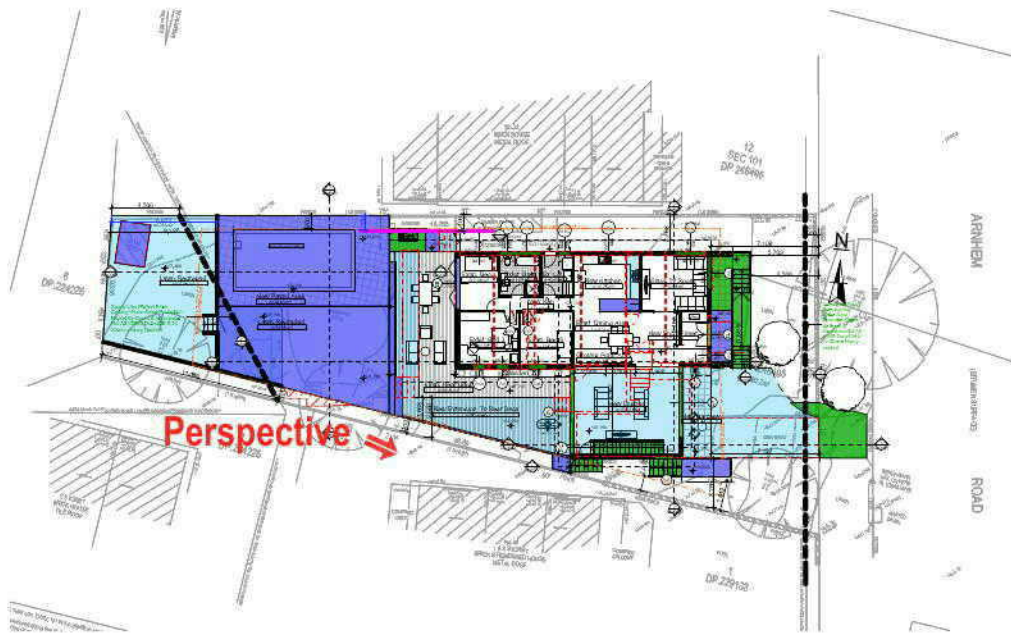
Client: Dawn & Michael Hunter
Project Name: **Alterations & Additions**
No.31 Arnhem Road Allambie Heights
2100
Lot 13, Sec 101, D.P.248495

Drawing Title:
Sunstudy - No.29 Arnhem Road Shadows
Jun-21-9am No.29, Jun-21-12pm No.29, Jun-21-3pm No.29, Locality Plan

Scale: A3 as noted Date: 28/3/2013
Status: DA MOD Rev.2 Checked By: GBJ

Project No: **RP0212HUN** Drawing No.: **DA5004**

Plot Date: 28/03/2013



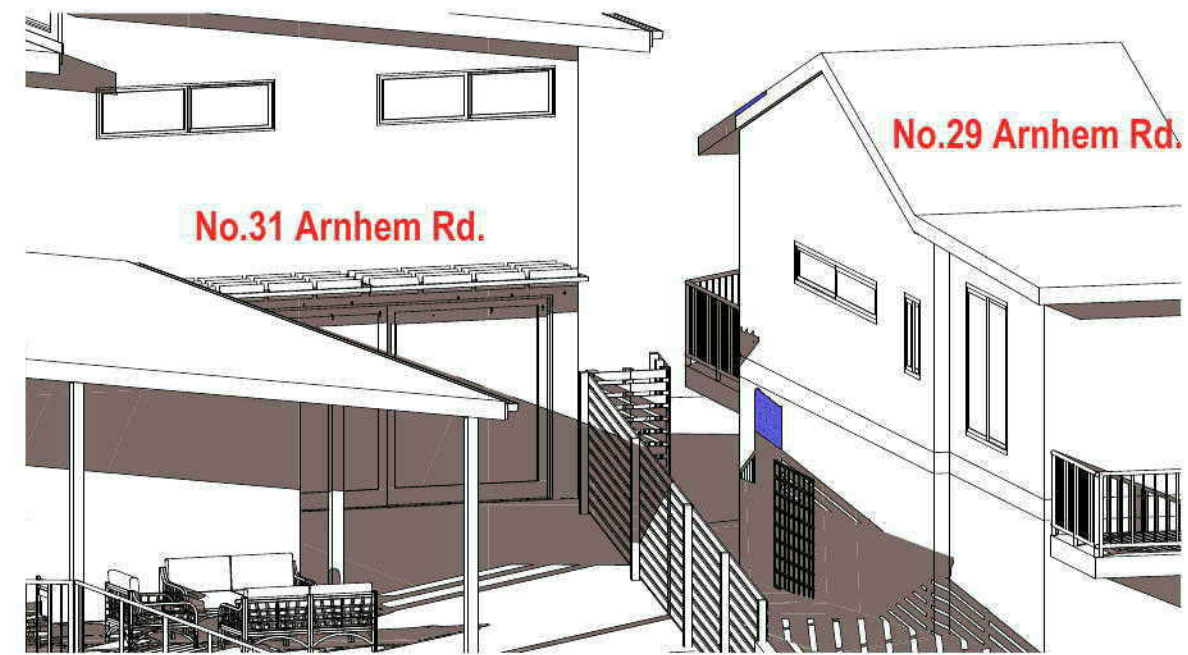
Locality Plan
1:500



2 Jun-21-12pm No.29
1:100



1 Jun-21-9am No.29
1:100



3 Jun-21-3pm No.29
1:100

Denotes Modified Works
Denotes Modified Works
Denotes Approved Works Under DA No. 2012/0653

Builder to Check and Confirm all Measurements Prior to Commencement

Site Information	Proposed	Compliance
Site Area	720.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	41%	Yes
Impervious area (m ²)	424.44m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	0.42m	Yes
Number of car spaces provided	2	Yes