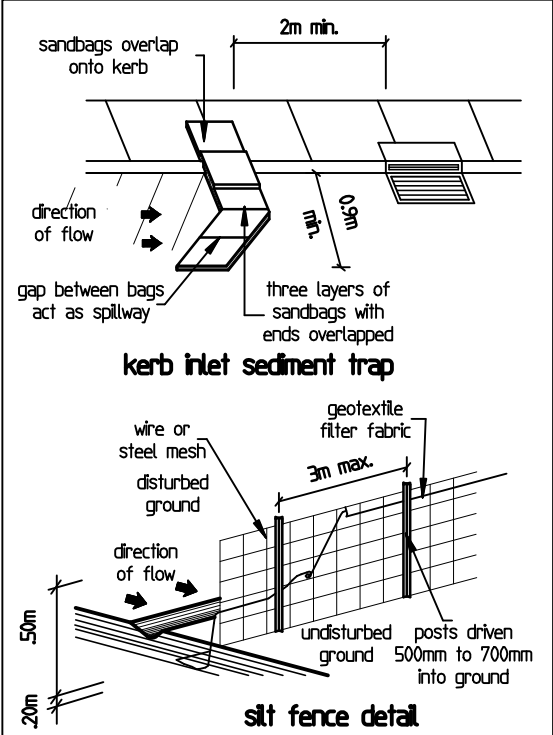




sediment control notes:

all erosion and sedimentation control measurements, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of n.s.w.

all drainage works shall be constructed around and stabilised as early as possible during development

sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.

all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of materials, including the maintenance period.

all disturbed areas shall be revegetated as soon as the relevant works are completed.

soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.

filter shall be constructed by stretching a filter fabric (propex or approved equivalent between post at 2m centres), fabric shall be buried 150mm along its lower edge.

general site notes:

- ♦ "as selected" refers to as selected by the owner
- ♦ final location of buildings to be verified on site by a registered surveyor
- ♦ Sewer & Stormwater layout is diagrammatic only and subject to contractors assessment and/or any construction constraints. Drainage location and connection points are to be established on-site.
- ♦ sewer to local authorities requirements.
- ♦ all ground lines to be verified on-site by the builder.
- ♦ written dimensions to take precedence over scaling, any plan discrepancies to be referred back to a&n design.
- ♦ finished floor levels may vary (+/- 200mm) from those indicated on plan, due to site cleaning, demolition, contour inconsistencies etc.
- ♦ see elevations regarding all dropped edge beam details.
- ♦ tender/contract relevant to this proposal to be read in conjunction with this plan
- ♦ window spacings shown on plan are approximate and may vary on site.
- ♦ plan to be read in-conjunction with engineering plans
- ♦ all retaining walls, driveways, garden steps & fencing by owner unless noted otherwise
- ♦ window and door heights on elevations are approximate only and may vary on site
- ♦ no works are to be carried out over an easement, no works are to be carried out over council property without prior council approval

NCC and Australian Standards:

- ♦ all aspects of construction to be complaint with relevant performance requirements of the NCC and Australian Standards including, but not limited to, the following:
- ♦ termite control measures:
 - redstop pipe penetrations
 - granite guard application to perimeter walls in accordance with AS3660.1 Clause 6.59 & 6.60
- ♦ structural post note:
 - steel & h/w timber posts to eng's details to support steel beams over, to be located within timber stud wall frames.
 - balcony attachments & supports to be in accordance with Clause 3.10.6 of Volume 2 of the NCC
 - isolated masonry piers to be constructed in accordance with Clause Part 3.3.6 of Volume 2 of the NCC
 - refer to structural engineers plans for post type & locations.
- ♦ bricklayer note:
bricklayers to verify all brick dimensions on site before commencing any work, if there is any discrepancy or doubt do not hesitate to contact the builder
- ♦ stairs and balustrade note:
 - the stairs will be constructed in accordance with the requirements of Clause 3.9.1.2 of Volume 2 of the NCC
 - the finish of all stairs will meet the requirements of Clause 3.9.1.4 of Volume 2 of the NCC
 - any landings will meet the requirements of Clause 3.9.1.5 of Volume 2 of the NCC
 - the stairs will be serviced by a handrail in accordance with the requirements of Clause 3.9.2.4 of Volume 2 of the NCC
 - the balustrades servicing the dwelling (both internal & external) to meet the requirements of Clause 3.9.2.3 Volume 2 of the NCC
- ♦ note:
all first floor bedroom windows to be provided with protection in accordance with Clause 3.9.2.6. of Volume 2 of the NCC
first floor rooms other than bedrooms in accordance with Clause 3.9.2.7 of Volume 2 of the NCC
- ♦ note:
exhaust system to be installed as per flow rates specified in Clause 3.8.7.3 of Volume 2 of the NCC & must be discharged directly via shaft or duct to outdoor air or ventilated roof space in accordance with Clause 3.8.7.4 of Volume 2 of the NCC
- ♦ note:
hard wired photo-electric smoke alarms to be installed in accordance with Clause 3.7.5 of Volume 2 of the NCC and associate standard AS 3786
- ♦ note:
articulation joints will be provided in brickwork in accordance with the requirements of Clause 3.3.5.13 of Volume 2 of the NCC and associated standard AS4773.1-2015
- ♦ note:
lift off hinges to be provided where a door is within 1200mm of a toilet pan in accordance with req. of Clause 3.8.3.3 of Volume 2 of the NCC
- ♦ note:
external cladding as selected to be in accordance with Clause 3.5.4 of Volume 2 of the NCC
- ♦ note:
waterproofing of the wet areas will be carried out in accordance with AS3740 and Clause 3.8.1.2 and 3.8.1.3 of Volume 2 of the NCC
- ♦ note:
building sealing to roof lights, external doors and windows and construction of ceilings, walls and floors to be provided in accordance with Clauses 3.12.3.1-6 of Volume 2 of the NCC
- ♦ note:
garage and driveway profiles/grades to comply in accordance with associated standard AS2890



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FOR

MR S. & MRS S. ELL

AT

LOT 20 SEC 2, N°9 SURREY AVENUE,
COLLAROY

DP10649

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Re-site to DA

DB

5.9.22

Amendments

AJ

21.7.22

Amendments

DF

13.4.22

CC Plans

DB

9.3.22

Siting

RL

9.2.22

REV

DESCRIPTION

DWN

DATE

house type

Brookhaven 38

DRAWING N°:

AND-35428

facade

Custom

SHEET

1 of 9

hand

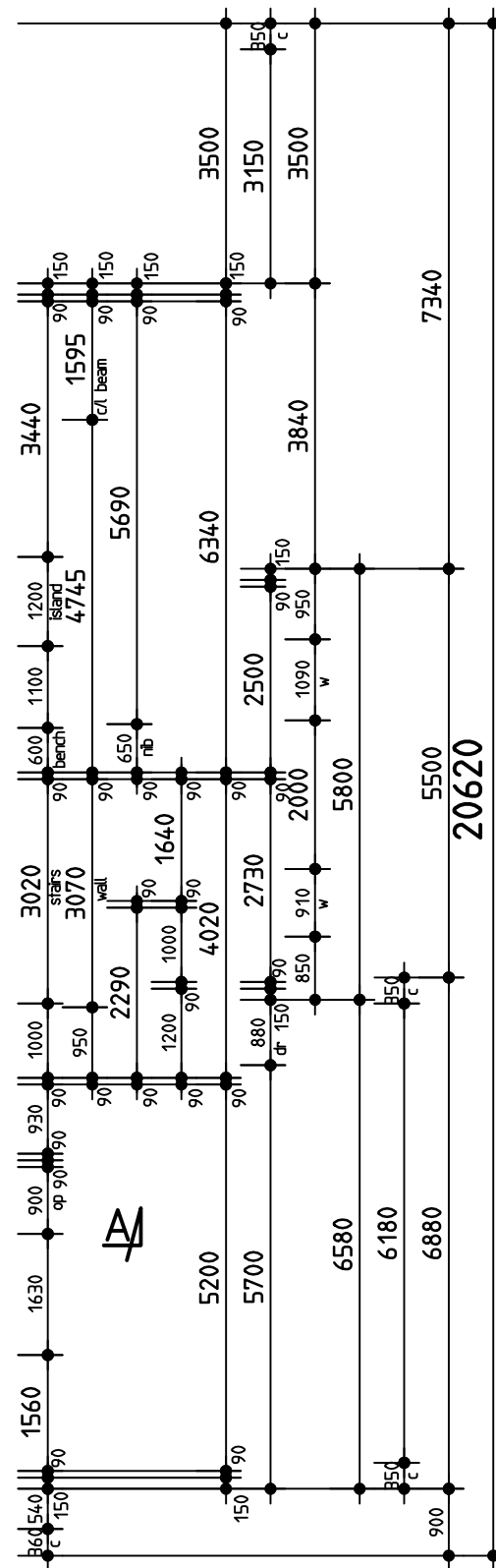
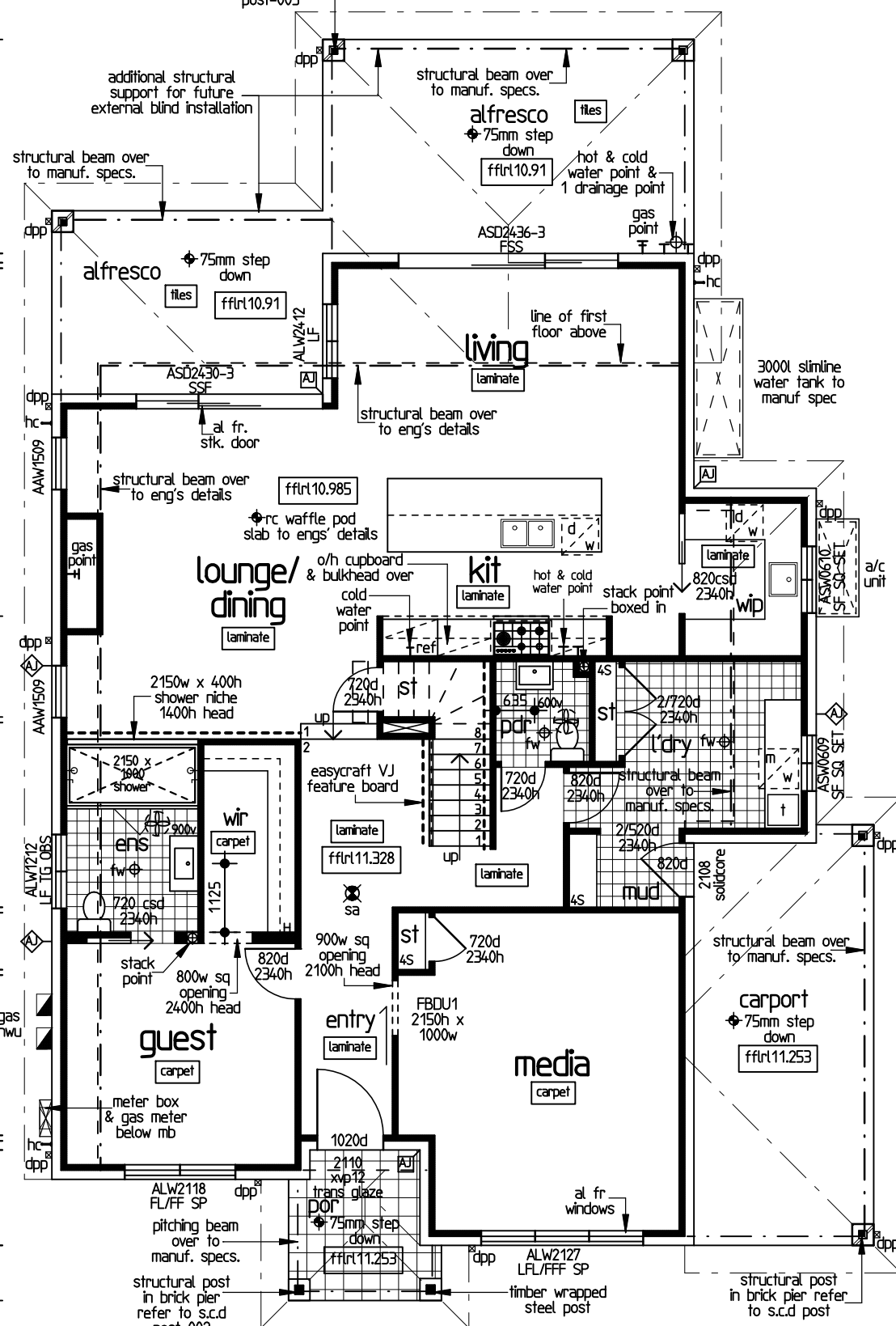
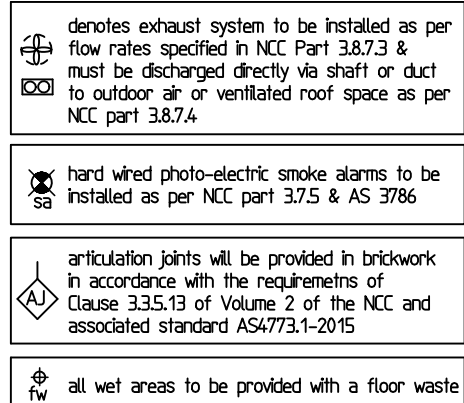
RH

JOB N°:

403995

MASTER

Custom



AT LOT 20 SEC 2, N°9 SURREY AVENUE,
COLLAROY

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The figure displays a series of horizontal tracks representing different frequency components or channels. Each track contains several vertical lines indicating specific frequencies or time points. Key labels include:

- Top Track:** 555, 90, 1c/l beam, 3275, 1250, 760, 910, 1530, 400, 2890, 90, 150, 940.
- Second Track:** 2100, 90, 1000, 1190, 90, 510, 1290, 3800, 90, 1150, 590, 850, 1c.
- Third Track:** 1500, 90, 800, open, 700, 90, 510, 1190, 4300, 90, 510, 1290, 90, 150, 150.
- Fourth Track:** 2150, 90, 150, 1080, 600, 150, 1190, 1500, 4600, 90, 150, 150.
- Fifth Track:** 3740, 90, 1190, 1810, w, 4220, 1220, 1800, 1000, 2650, 830, 2940, 2590, 850, c.
- Sixth Track:** 6020, 1800, 850, c, 2500, 4130, 2940, 7070.
- Bottom Track:** 3870, 13440.

GROUND FLOOR PLAN 1:100



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C	Amendments	DF	13.4.22
B	CC Plans	DB	9.3.22
A	Siting	RL	9.2.22
REV	DESCRIPTION	DWN	DATE
house type Brookhaven 38		DRAWING N°: AND-35428	
facade Custom		SHEET 3 of 9	
hand RH	JOB N°: 403995	MASTER Custom	



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FOR

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The first floor plan shows a rectangular building with overall dimensions of 10400mm by 14280mm. The layout includes three bedrooms (bed 1, bed 2, bed 3), a sitting area, a kitchen, a bathroom, and a laundry. Key features include:

- Bedrooms:** bed 1 (1500w x 400h), bed 2 (1600w x 400h), and bed 3 (1575w x 2415h). Each has a carpet and a window.
- Bathroom:** 1600w x 400h with a shower niche, toilet, and vanity.
- Kitchen:** 1500w x 400h with a shower niche, sink, and stove.
- Sitting Area:** 1000w sq opening with a 2100h head and a 4000 round EZ400 skylight.
- Laundry:** 1600 free stand bath and a 900w x 400h bath niche.
- Other:** A central staircase, a 4000 round EZ400 skylight, and various windows and doors.

FIRST FLOOR PLAN 1:100

 denotes exhaust system to be installed as per flow rates specified in NCC Part 3.8.7.3 & must be discharged directly via shaft or duct to outdoor air or ventilated roof space as per NCC part 3.8.7.4

 hard wired photo-electric smoke alarms to be installed as per NCC part 3.7.5 & AS 3786

 articulation joints will be provided in brickwork in accordance with the requirements of Clause 3.3.5.13 of Volume 2 of the NCC and associated standard AS4773.1-2015

 all wet areas to be provided with a floor waste



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E

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9.3.22

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9.2.22

REV

DESCRIPTION

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DATE

house type

Brookhaven 38

DRAWING N^o:

AND-35428

facade

Custom

SHEET

4 of 9

hand

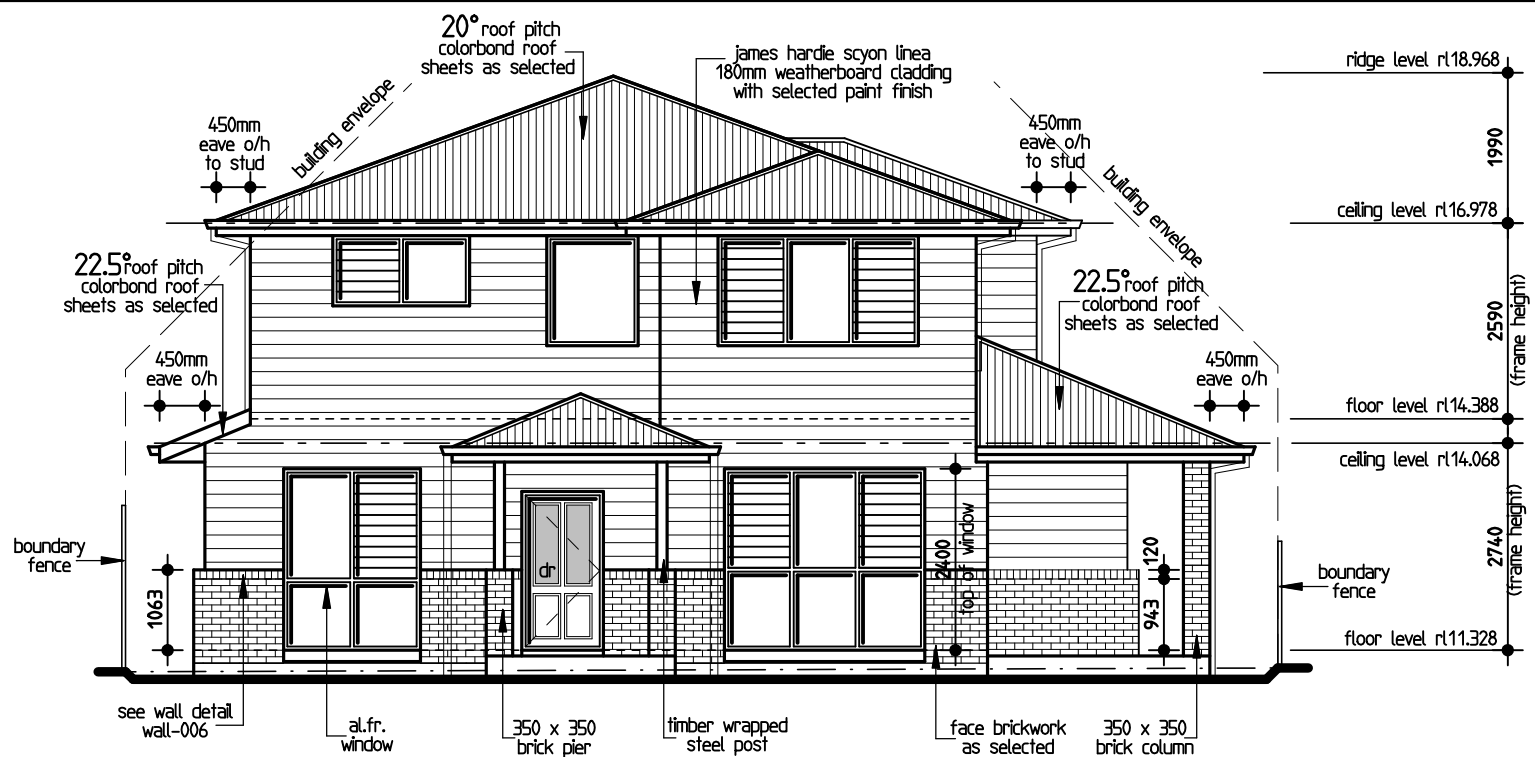
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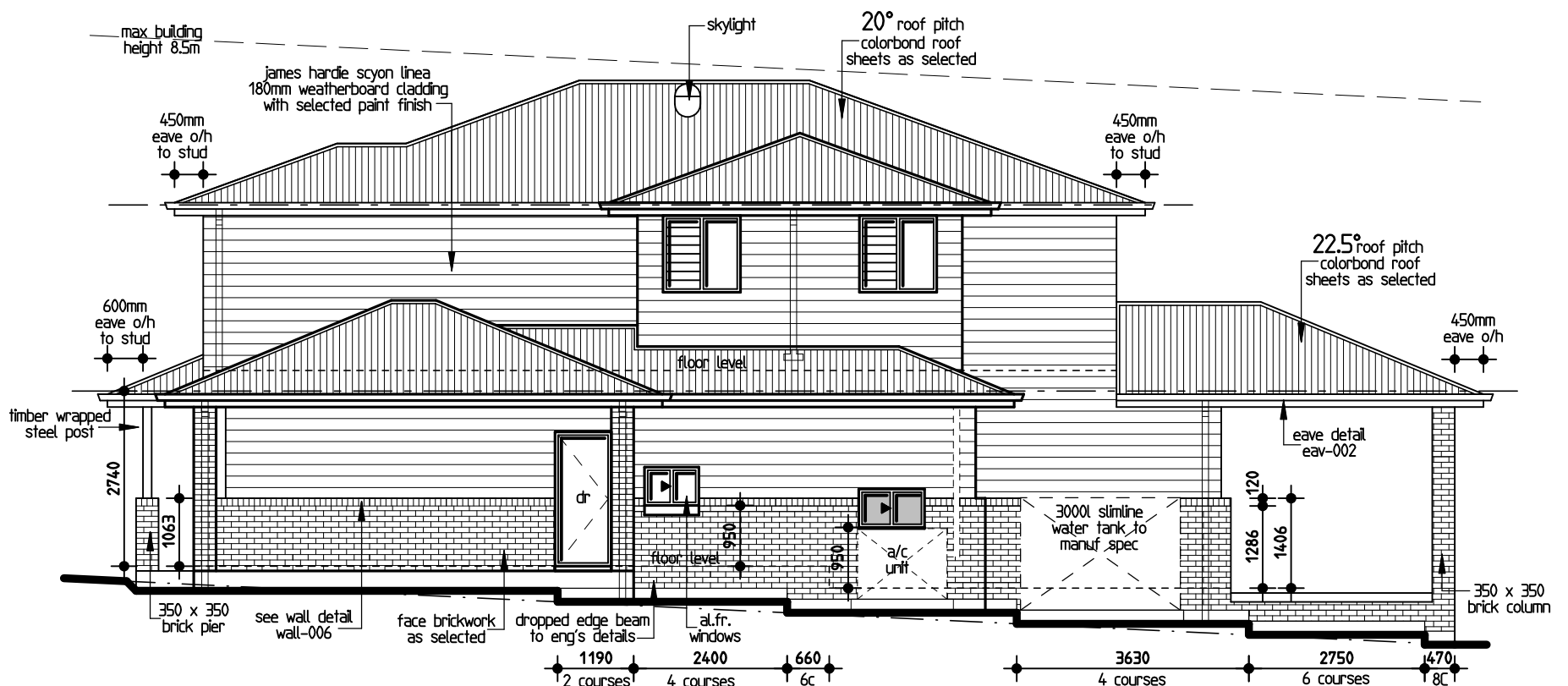
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MASTER

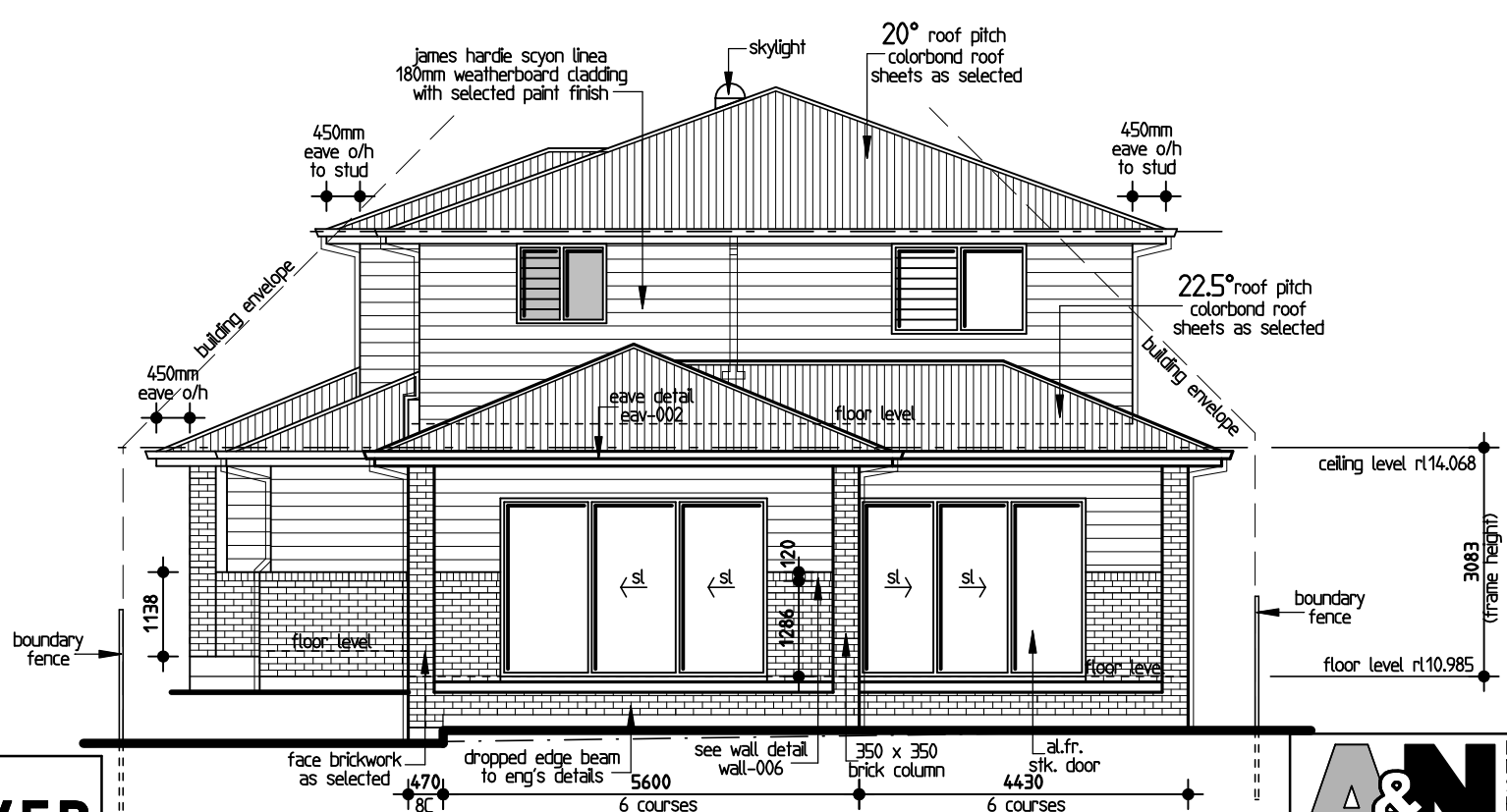
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NORTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



SOUTH WEST ELEVATION 1:100



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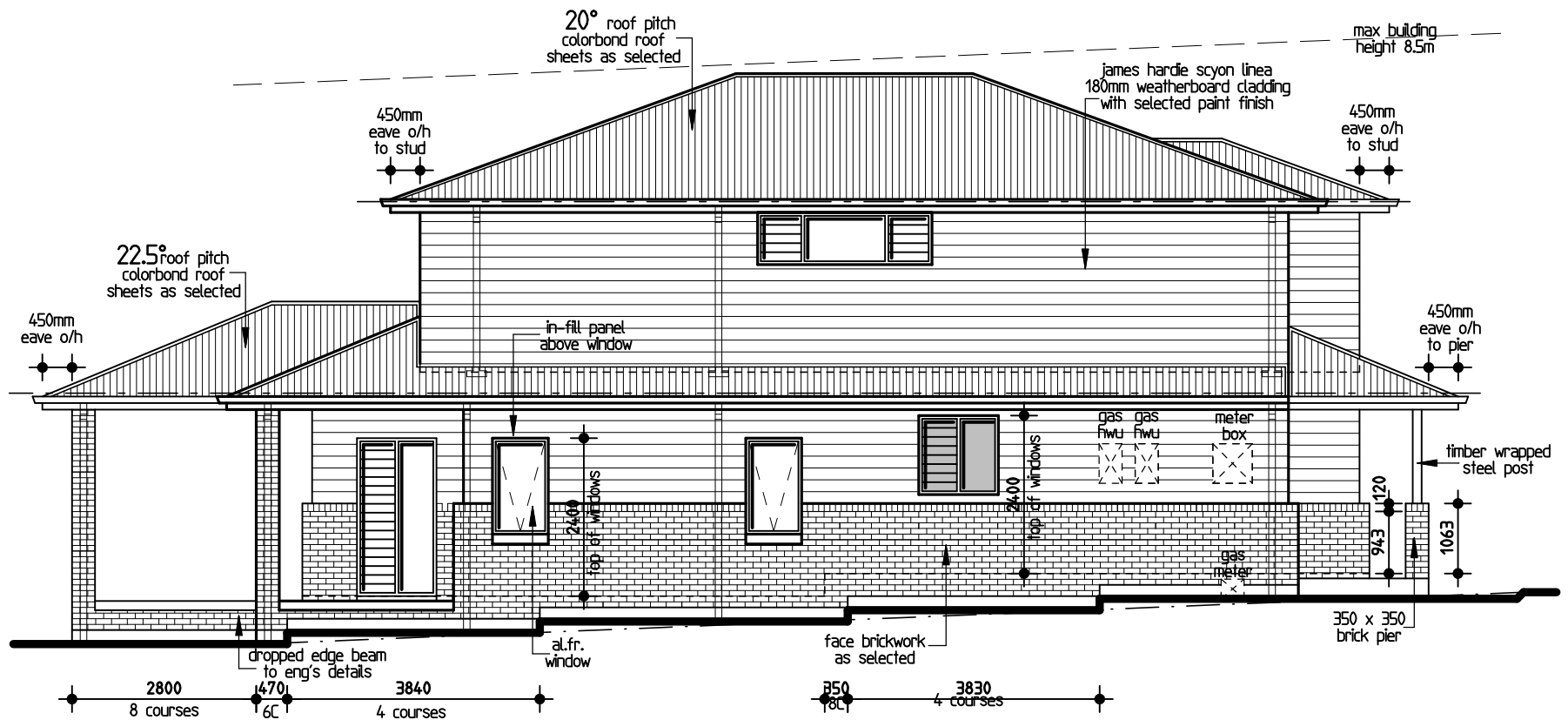
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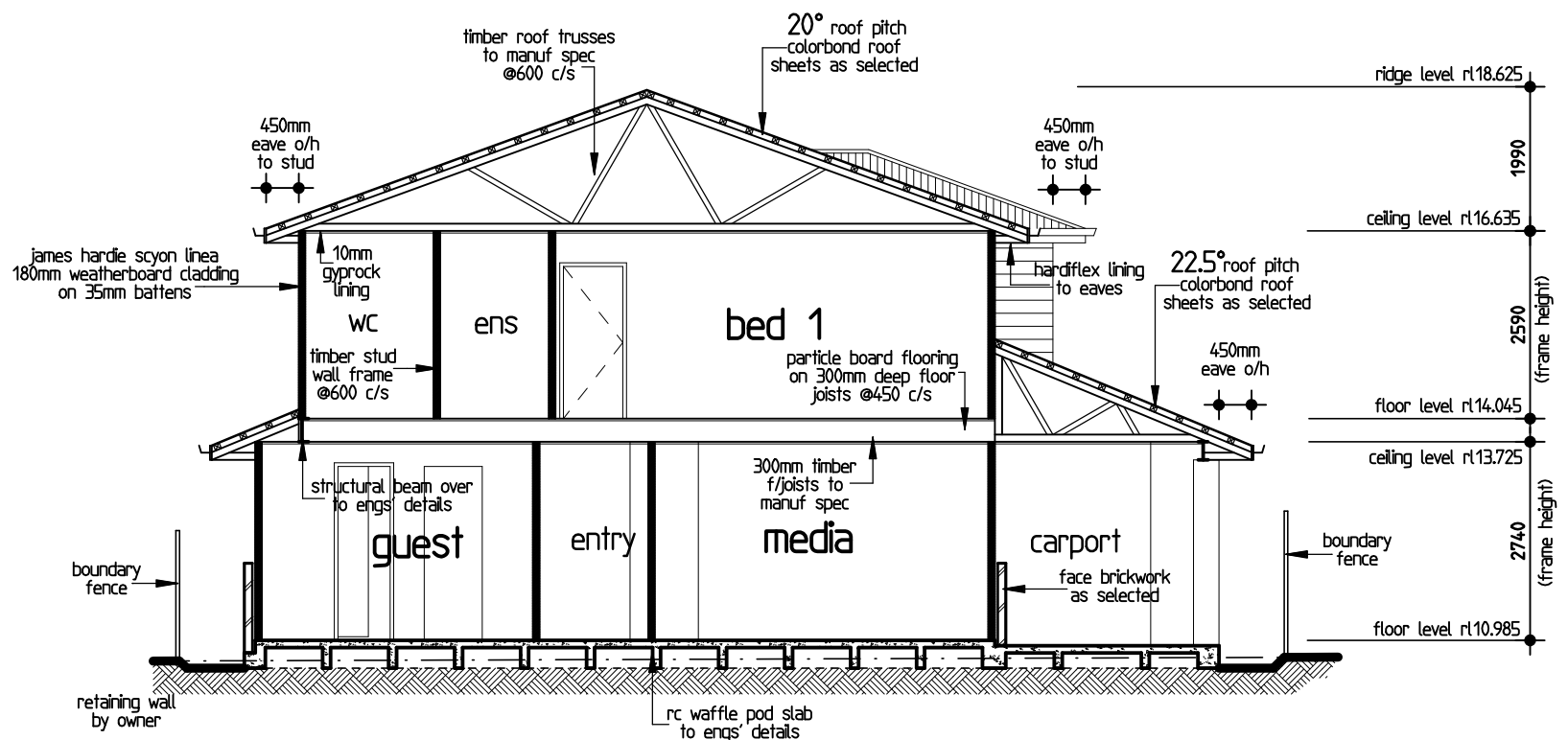


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D	Amendments	AJ	21.7.22
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A	Siting	RL	9.2.22
REV	DESCRIPTION	DWN	DATE
house type	Brookhaven 38	DRAWING N°:	AND-35428
facade	Custom	SHEET	5 of 9
hand	RH	JOB N°:	403995
		MASTER	Custom



SOUTH EAST ELEVATION 1:100



SECTION A-A 1:100

Key construction and insulation materials

(see BASIX & NatHERS certificate for all commitment details)

- vapour control wall wrap to external framed walls
- R2.0 batts to external walls of living areas (excludes garage)
- R2.0 batts to internal walls between garage & living
- R4.1 batts to ceiling of living areas (excludes garage)
- R3.1 soundscreen to floor structure between ground & first floor
- 55mm anticon blanket underside of roof



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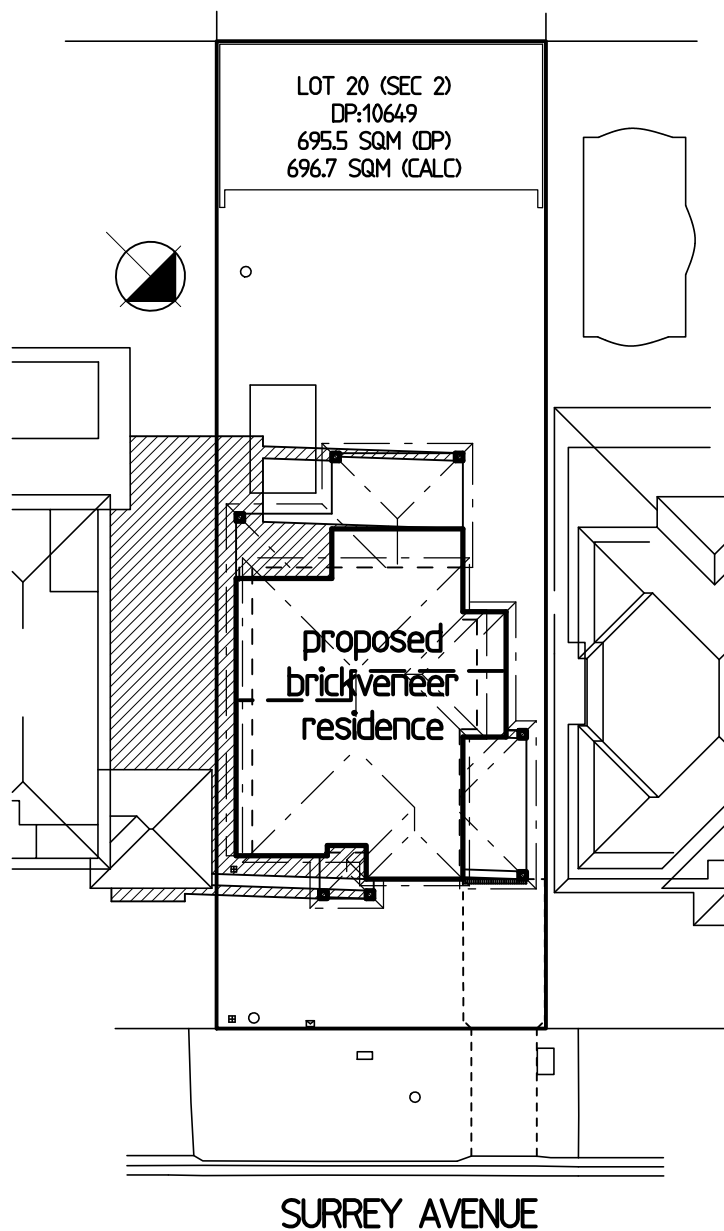
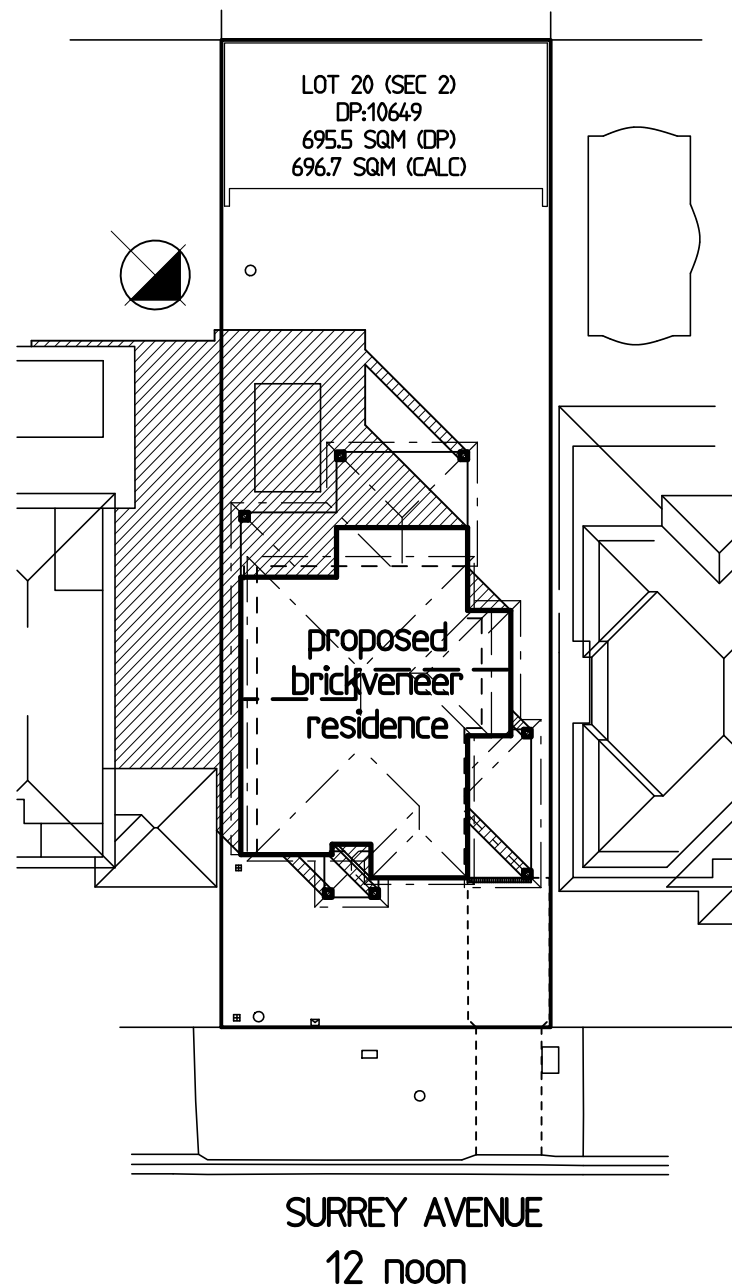
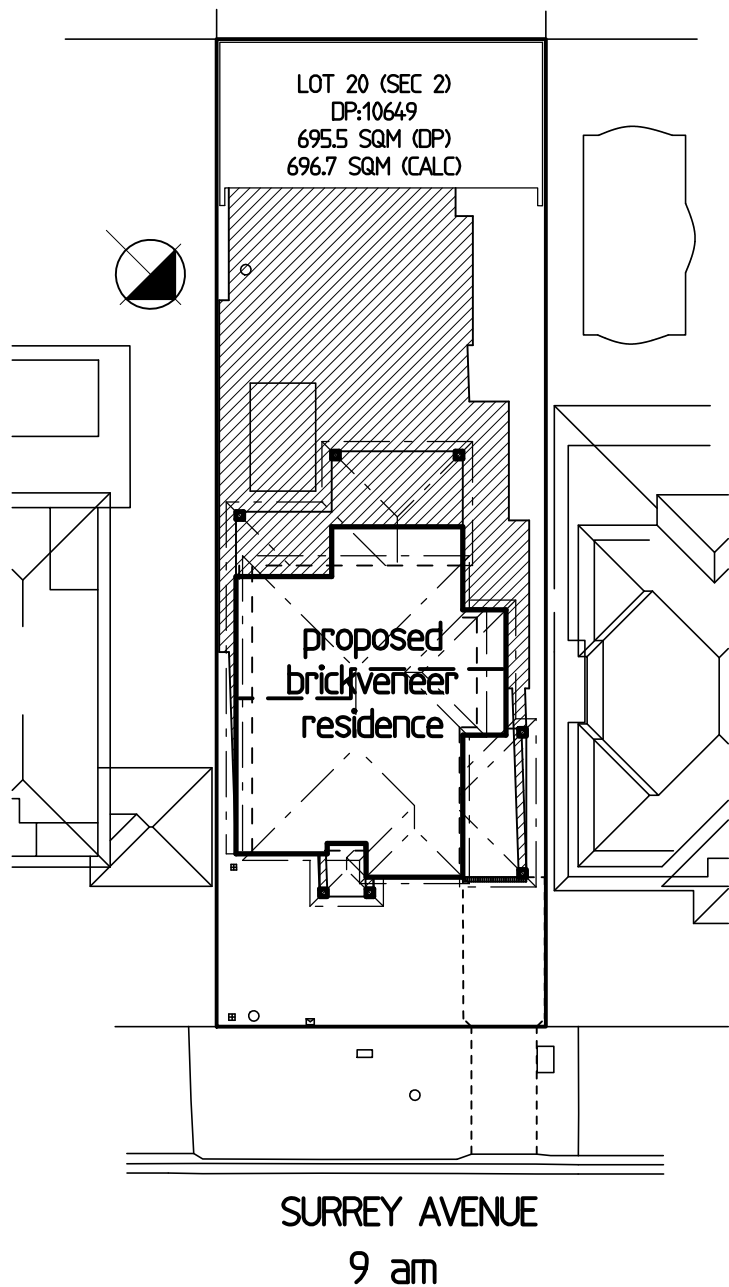
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facade	Custom	SHEET	6 of 9
hand	RH	JOB N°:	403995
		MASTER	Custom



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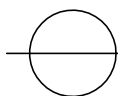
FOR
MR S. & MRS S. ELL

AT LOT 20 SEC 2, N°9 SURREY AVENUE,
COLLARROY DP10649

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Shadow Diagrams

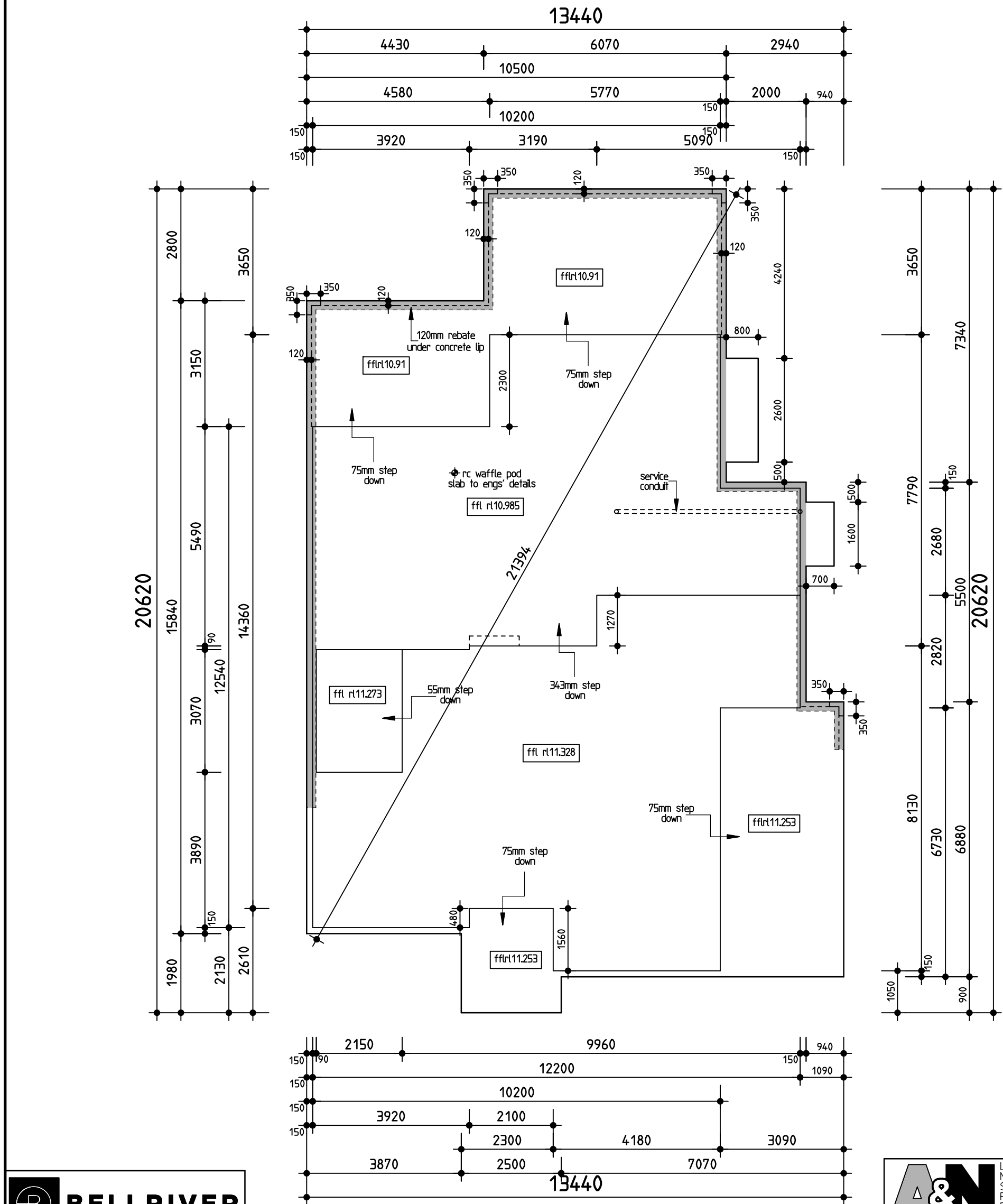
June 21st Mid-Winter 1:350

shadow diagrams to be used as a guide only site conditions may cause variations



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facade	Custom	SHEET	7 of 9
hand	RH	JOB N°:	403995
		MASTER	Custom



SLAB PLAN 1:100

Refer to floor plans for locations of plumbing stack & drainage points

slab plan to be cross referenced with floor plans, any discrepancies are to be verified before proceeding



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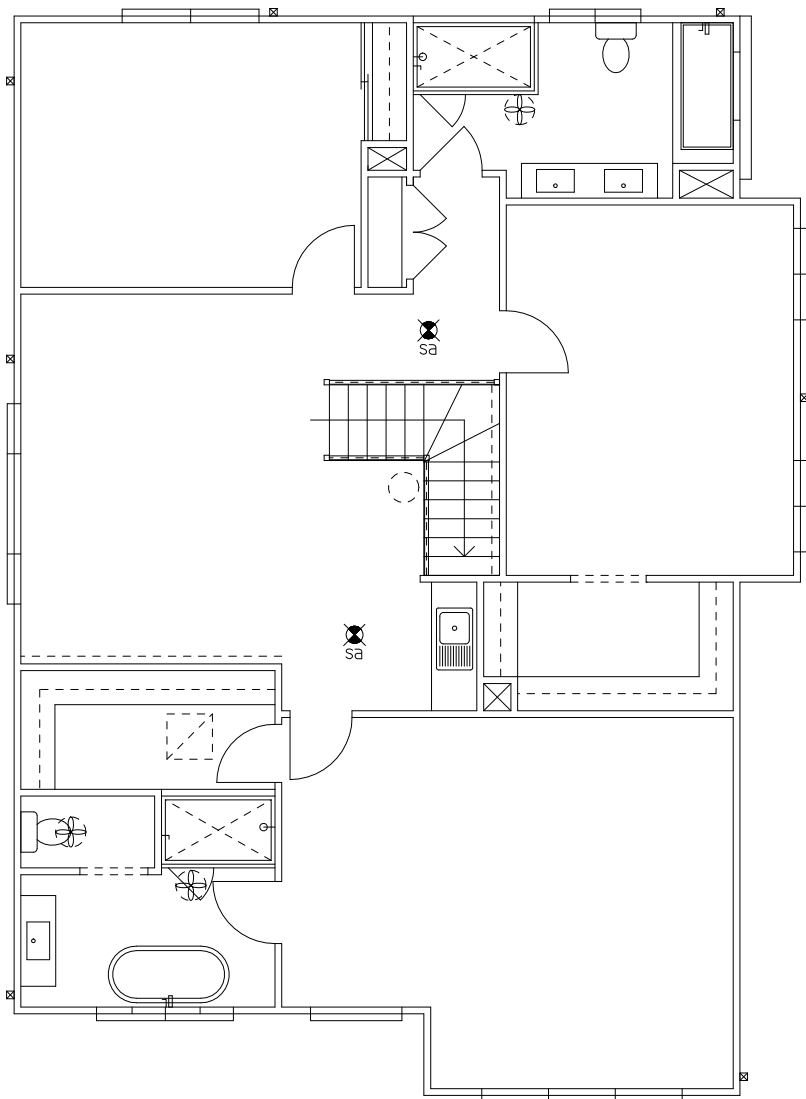


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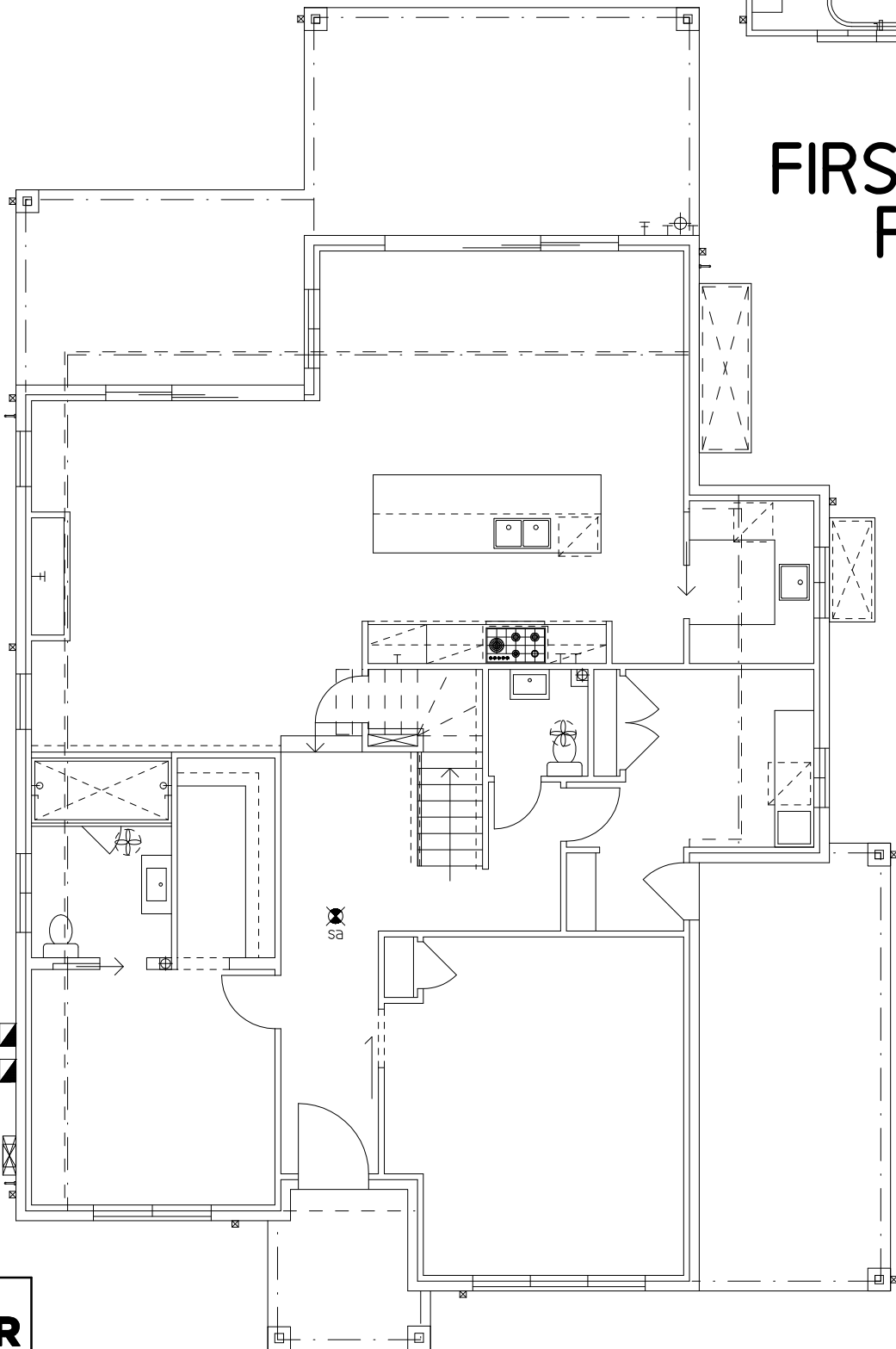
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REV	DESCRIPTION	DWN	DATE
house type	Brookhaven 38	DRAWING N°:	AND-35428
facade	Custom	SHEET	8 of 9
hand	RH	JOB N°:	403995
		MASTER	Custom

electrical legend	
	single gpo - 300mm ffl
	double gpo - 300mm ffl
	single gpo - 1050mm ffl
	double gpo - 1050mm ffl
	single gpo - 1300mm ffl
	double gpo - 1300mm ffl
	single gpo - 1500mm ffl
	double gpo - 1500mm ffl
	single gpo - 1800mm ffl
	double gpo - 1800mm ffl
	single gpo - 2000mm ffl
	single gpo - on ceiling
	water proof double gpo
	ceiling light outlet
	ceiling down light outlet
	internal wall light
	up/down light (round)
	wall mounted light
	double spotlight
	exhaust fan/light/light/heater
	exhaust fan/light
	exhaust fan/heater/light
	exhaust fan
	free to air tv point
	pay tv point
	speaker point
	telephone point
	hot water unit
	junction box
	NBN hub
	data point
	1200mm diffused florescent light
	sweep fan
	sweep fan/light
	door bell
	eye ball sensor
	dimmer switch
	light point
	gas point

Note: Final locations of power points and light switches to comply with NCC requirements. Location shown on plan may vary to achieve compliance with the Building Code. Electrical meter box to be positioned on side of house closest to electrical supply UNO.



FIRST ELECTRICAL
PLAN 1:100



GROUND ELECTRICAL
PLAN 1:100



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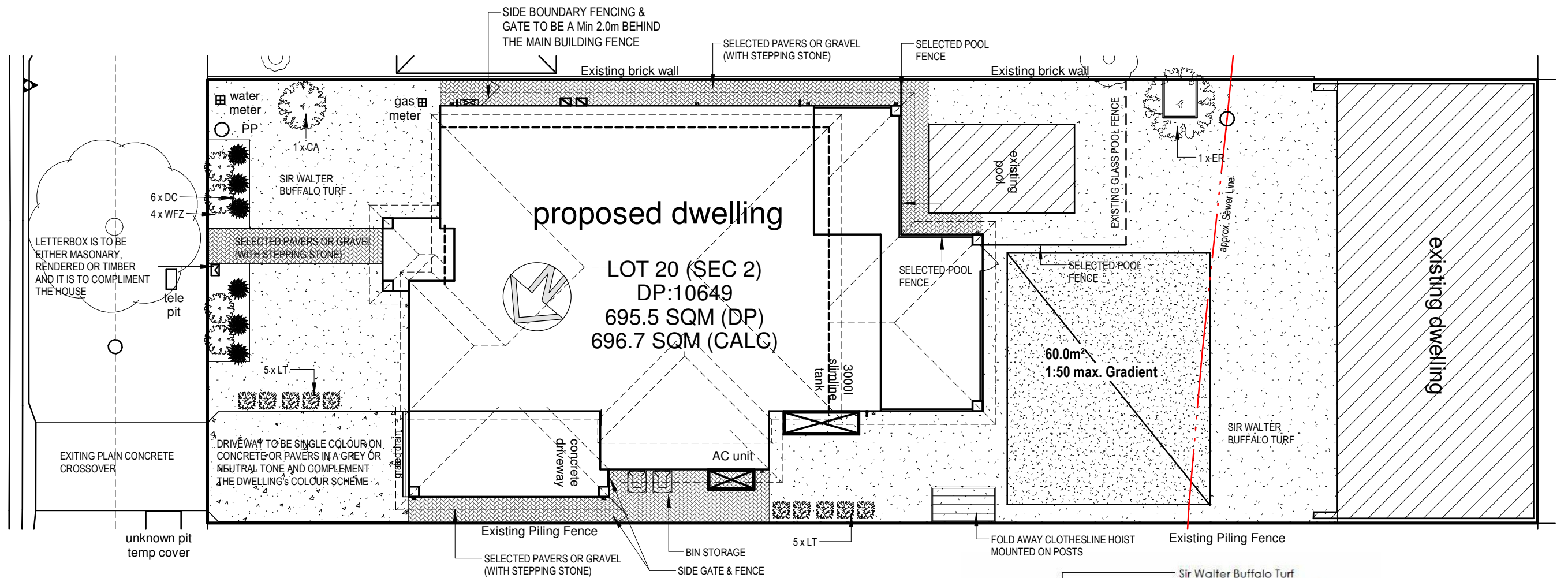
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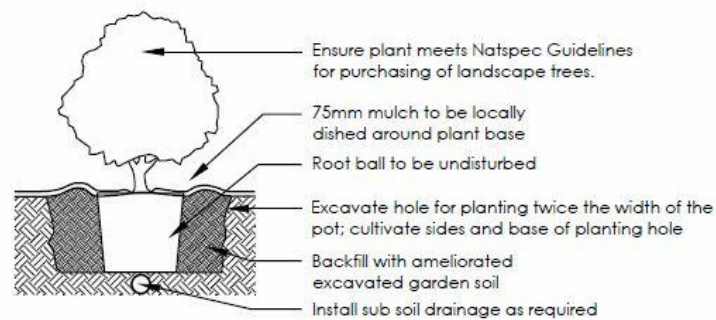
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Brookhaven 38		AND-35428	
facade		SHEET	
Custom		8 of 9	
hand		MASTER	
RH		Custom	

SURREY AVENUE

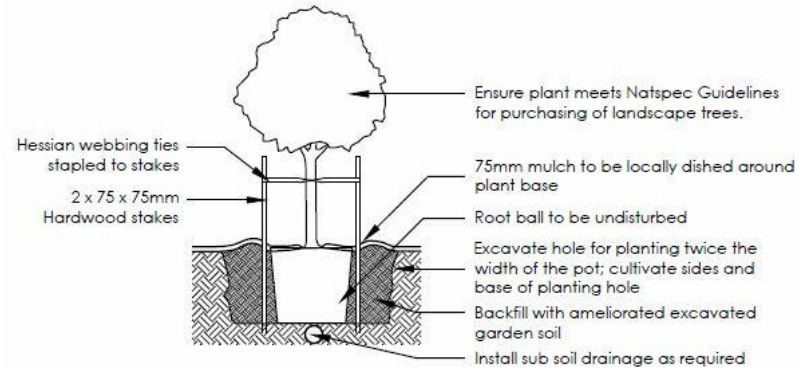


1 CONCEPT LANDSCAPE PLAN

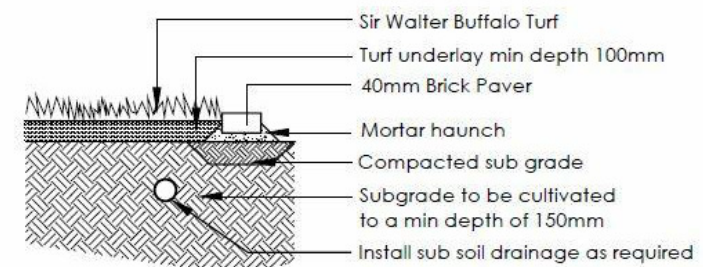
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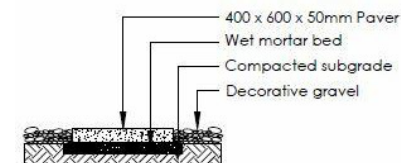
PLANTING DETAIL



TREE PLANTING DETAIL



TURF DETAIL



STEPPING STONE

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
CA	CUPANIOPSIS ANARCARDIoidES	TUCKEROO	1	45L	10m
DC	DIANELLA CAERULEA	BLUE FLAX LILY	6	150mm	0.5m
ER	ELAEoCARPUS RETICULATUS	BLUEBERRY ASH	1	45L	9m
LT	LOMANDRA 'TANIKA'	FINE-LEAFED MAT RUSH	10	140mm	0.5m
WFZ	WESTRINGIA FRUTICOSA 'ZENA'	DWARF NATIVE ROSEMARY	4	200mm	0.9m

NOTE:

- LANDSCAPE REQUIREMENTS AS PER DEVELOPERS GUIDLINES.
- ALL LANDSCAPE AREA TO HAVE A MINIMUM 1:100 FALL FOR POSSIBLE OVERLOAD WATER DRAINAGE.
- ALL EXISTING TREES TO BE RETAINED AND PROTECTED.
- DRIVEWAY, FRONT / SIDE PATH BY OWNER UNLESS SPECIFIED ON ARCHITECTURAL PLANS

SITE COVERAGE LANDSCAPE

Name	Area	%
Site Area	696.70 m ²	
Landscape Required	278.20 m ²	40%
Landscape	320.01 m ²	46%
Driveway	26.04 m ²	

LANDSCAPE LEGEND	
	LARGE TREES
	MEDIUM TREES
	SMALL TREES
	PROPOSED ACCENTS & GRASSES
	PROPOSED SCHRUBS
	RUBBISH BINS
	TURF
	PAVING
	BOUNDARY
	FENCE
	TIMBER RETAINING WALLS

THE BUILDERS LICENSE NUMBER SHOWN ON THIS DRAWING IS NOT TO BE USED FOR ANY PURPOSE WITHOUT THE PRIOR CONSENT (IN WRITING) OF BELL RIVER HOMES PTY LTD.

FINAL SIGNED ISSUE.

I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS - THEY SUPERCEDE ANY PRELIMINARY PLANS & I/WE HAVE CHECKED THAT ALL ALTERATIONS ARE SHOWN & CORRECT.

OWNER(S) SIGNATURE(S)

ISSUE	DATE	REASON FOR REVISION	
	05.09.22	LANDSCAPE PLAN	RD



BELL RIVER

A.B.N. 76 062 307 779
LIC. No. 61247C

Client:	MR S & MRS S ELL
Project:	PROPOSED LOT 20 Sec 2, 9 SURREY AVENUE COLLARoy, NSW 2099
Drawing:	CONCEPT LANDSCAPE PLAN

Job Number:	403995	© A3
No. in Set:	Sheet No.: A.1	
Scale:	As indicated	
First Drawn:	25.09.22	
Drawn:	Revision No.: .	
	Revision Date: .	