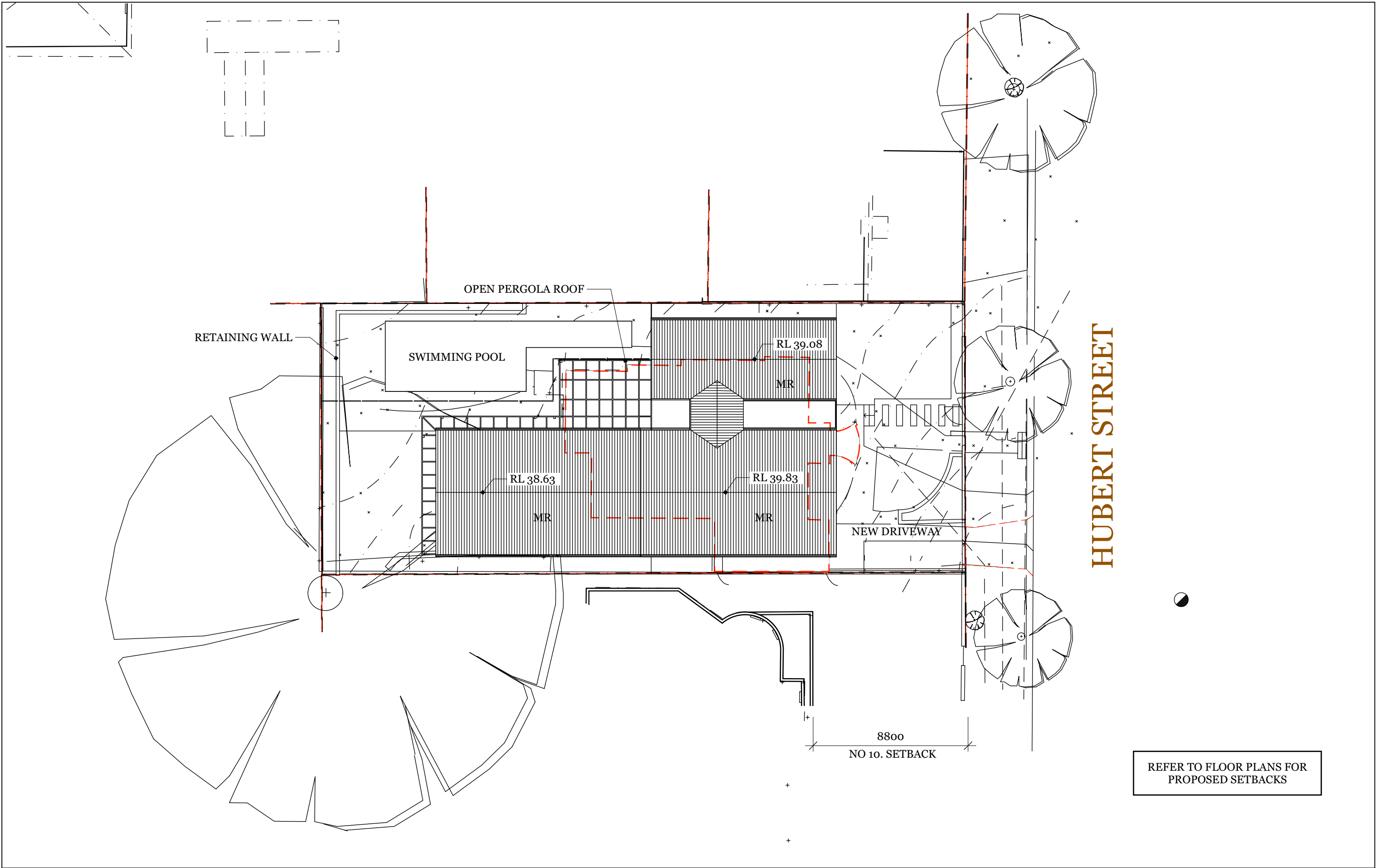
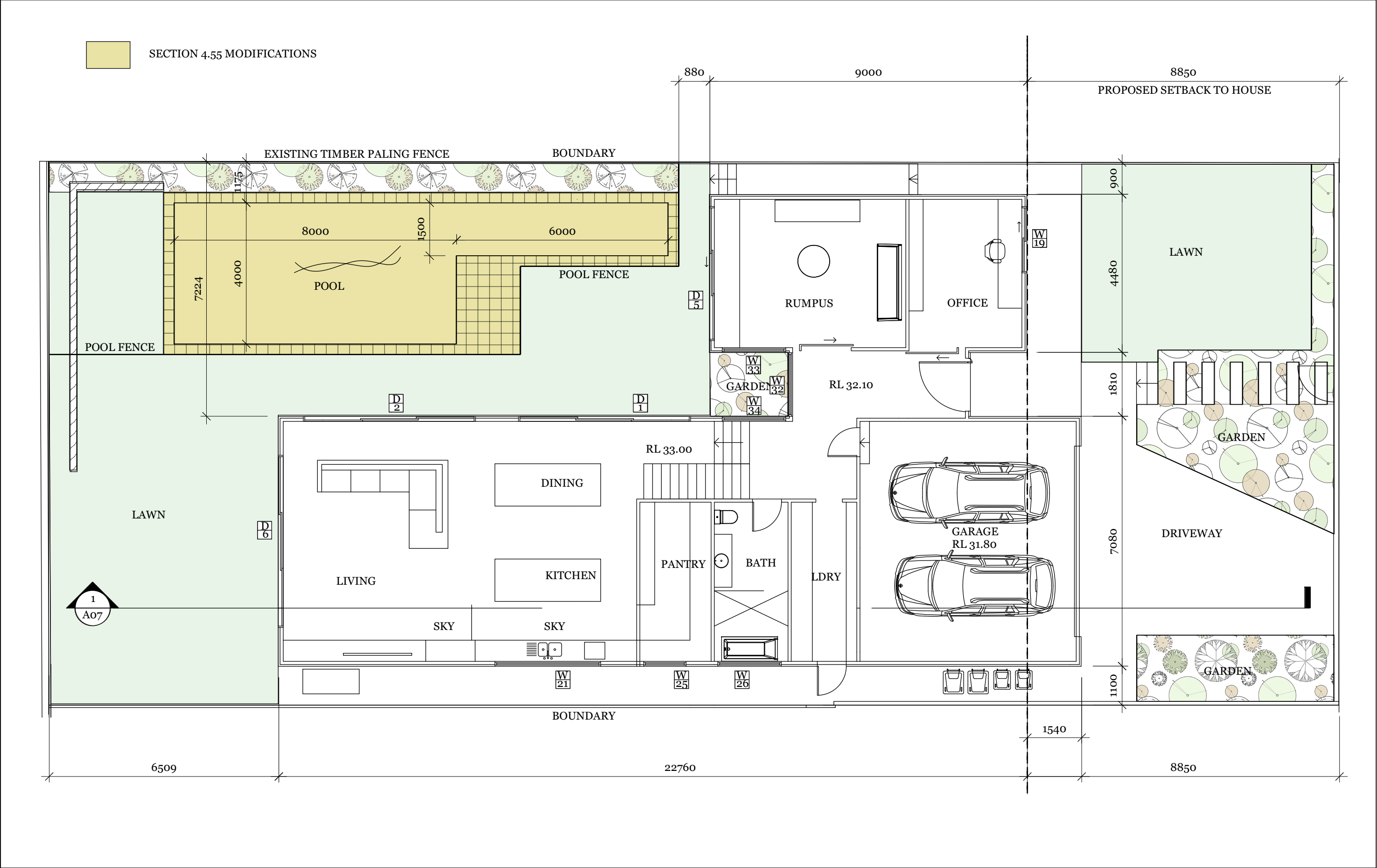
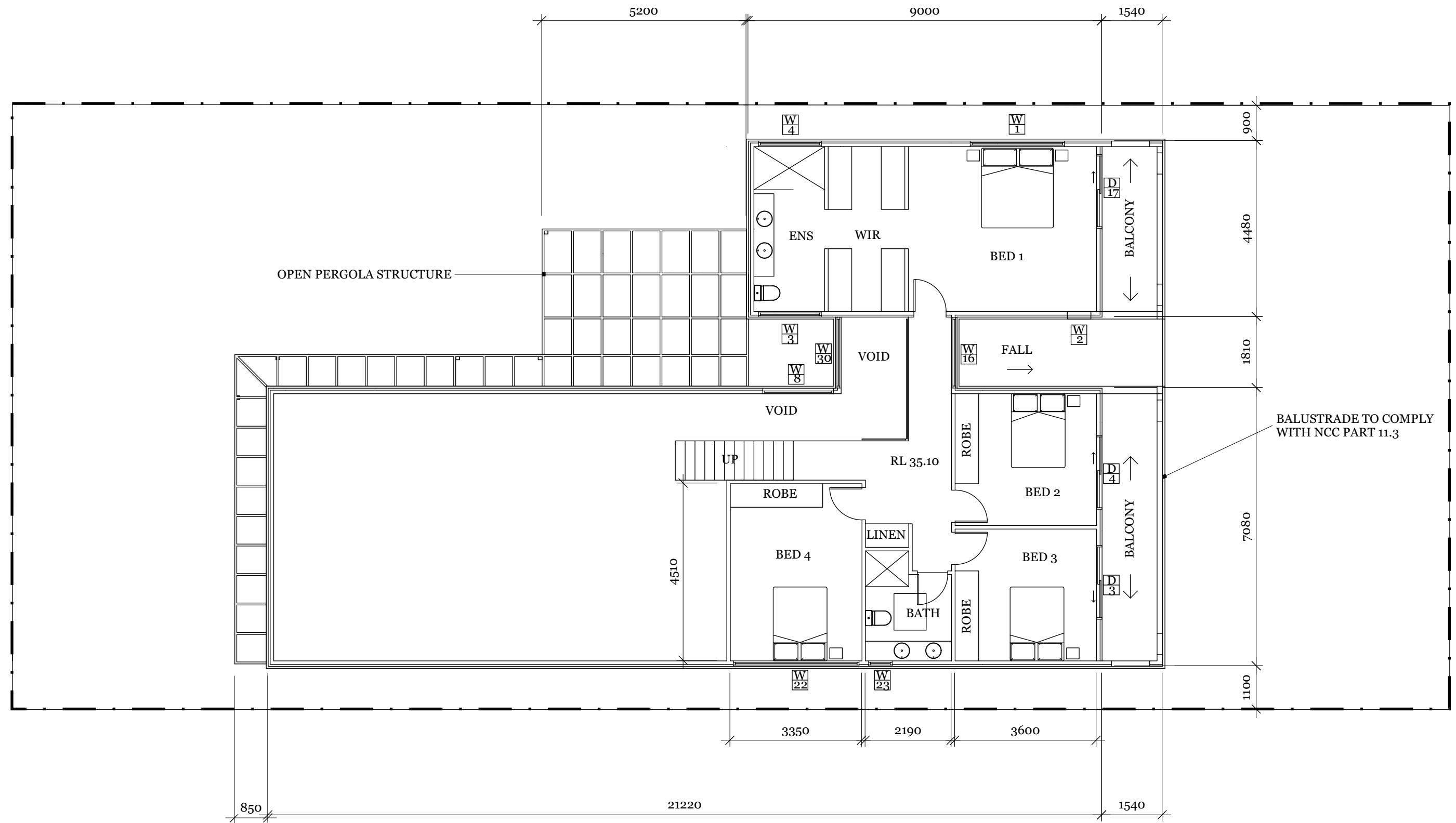








FIRST FLOOR PLAN

12 HUBERT ST FRESHWATER

REVISIONS

	MM/DD/YY	REMARKS
1	24 /02 /24	Modification 4.55
2	...	...
3	...	...
4	...	...
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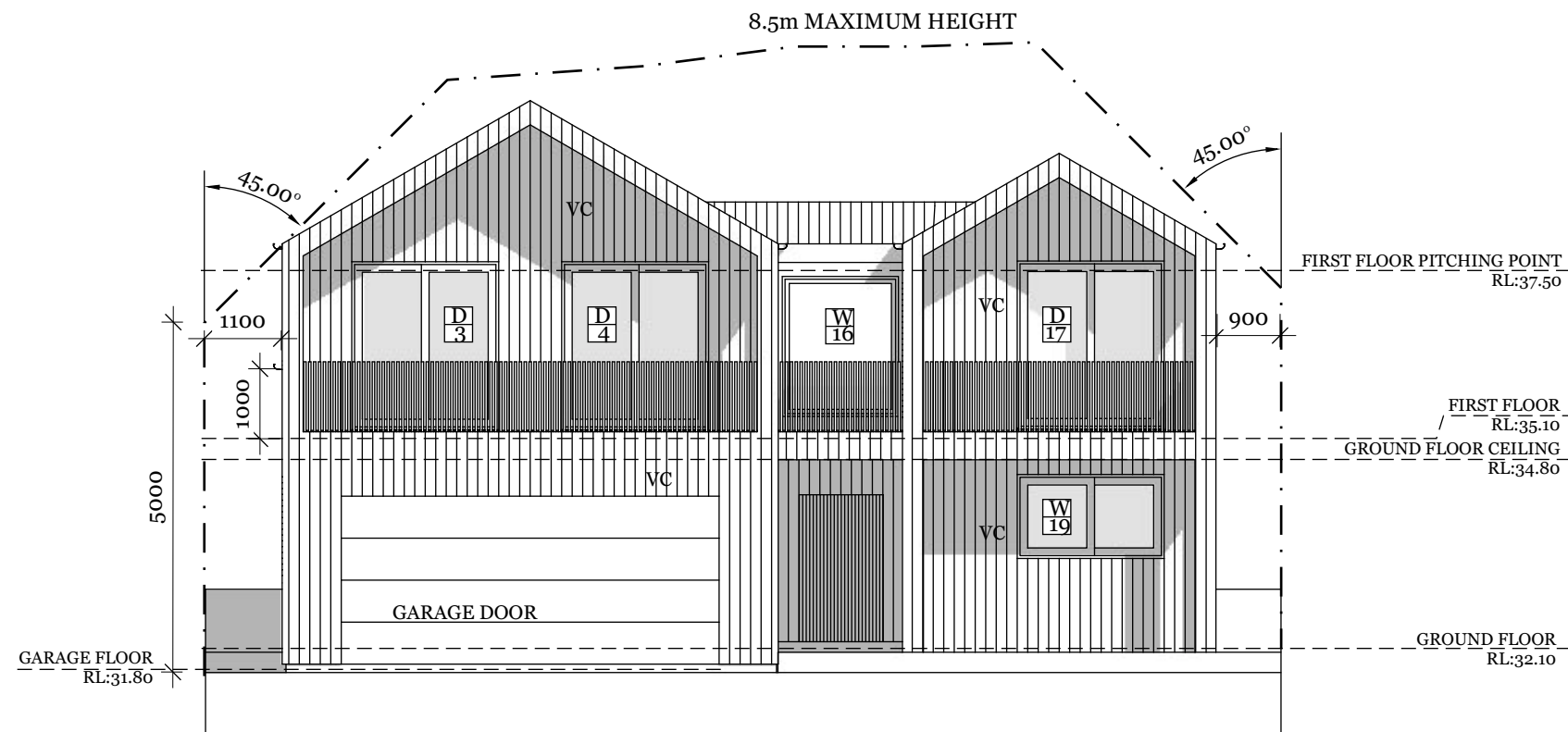
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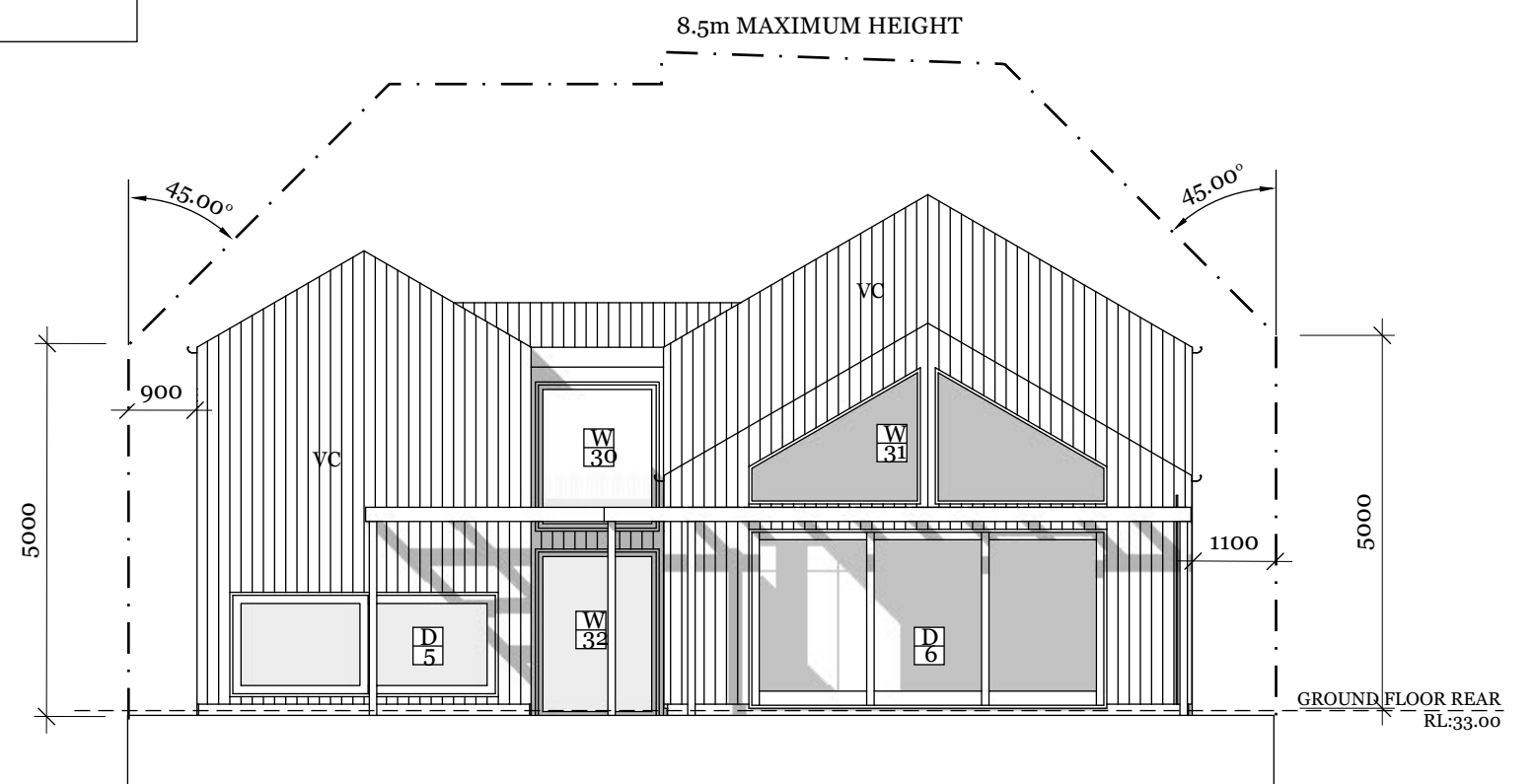
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1

EAST ELEVATION

1:100



2

WEST ELEVATION

1:100



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ELEVATIONS

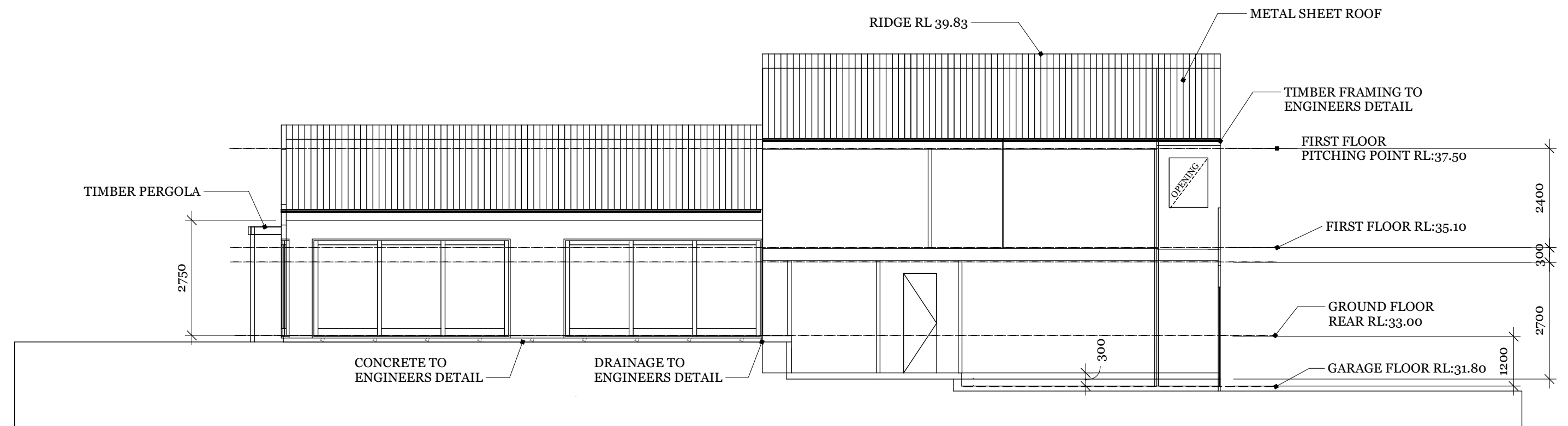
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SECTION PLAN

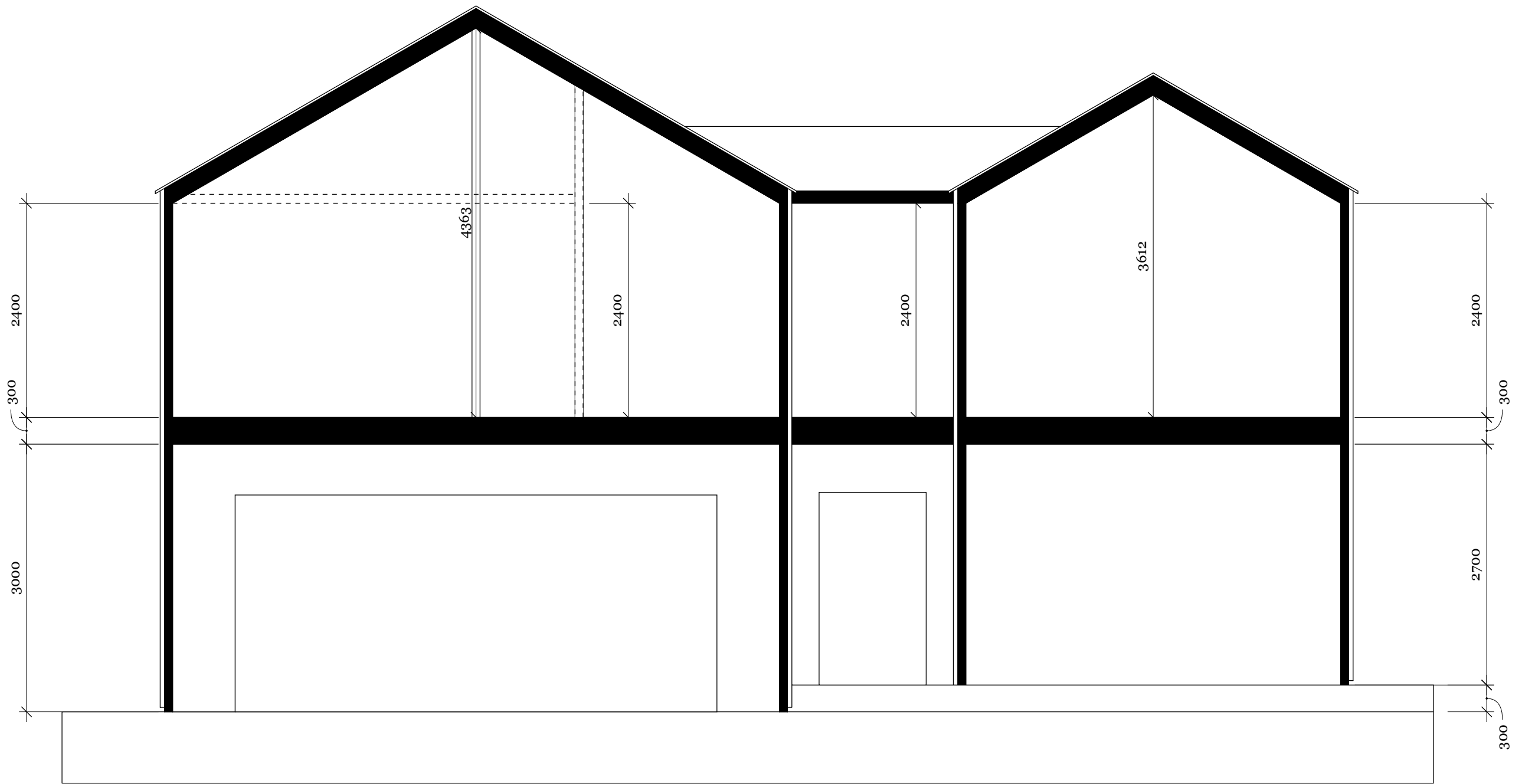
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SECTION PLAN

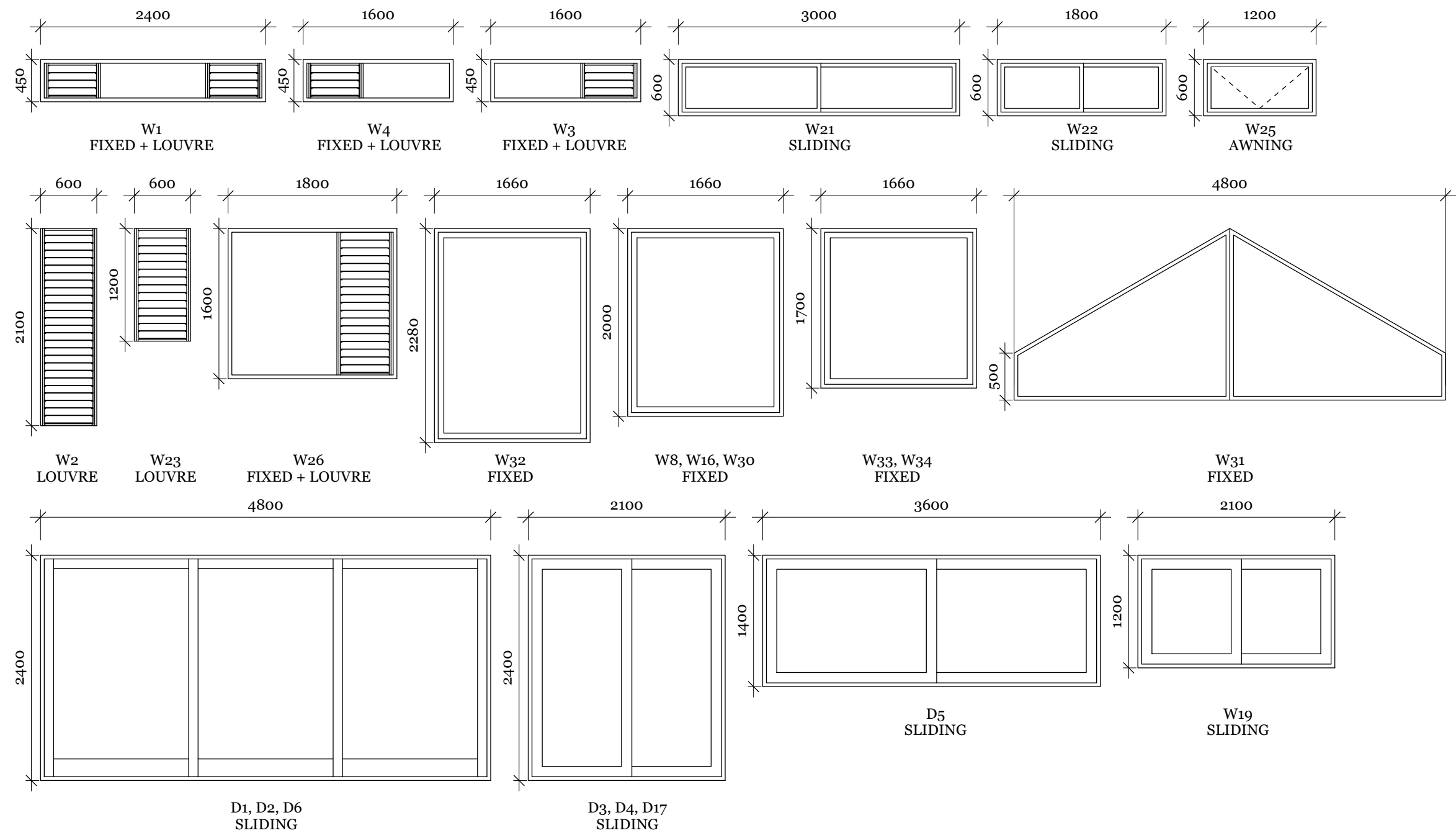
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WINDOW SCHEDULE

12 HUBERT ST FRESHWATER

REVISIONS

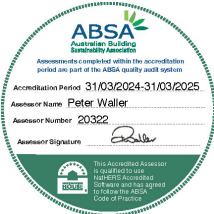
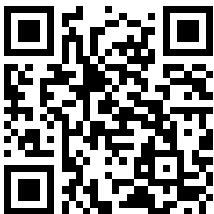
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Single Dwelling

Certificate number: 1336347S_03



Water Commitments
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 2400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 155 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: - all toilets in the development - the cold water tap that supplies each clothes washer in the development - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) - a tap that is located within 10 metres of the swimming pool in the development
Swimming Pool
The swimming pool must not have a volume greater than 58 kilolitres.
The swimming pool must have a pool cover.

BASIX Certificate Centre Thermal Comfort Specification Summary						NatHERS Certificate # 0009423641
ABSAs Assessor # 20322						
The items specified below are those used in the above certificate, and should be cross-checked with the actual certificate						
Windows	Glass Type	Frame Type	U Value	SHGC Value		
TIM-002-01 W	Single Clear	Timber	5.40	0.63	To W23 & W26	
TIM-001-03 W	Single Low E	Timber	4.30	0.42	To W25	
TIM-002-03 W	Single Low E	Timber	4.30	0.50	To remaining types	
NB: Refer to NatHERS Certificate for correct sizing and opening types						
NB: Screens required to windows in accordance with NCC Child Safety, to allow full opening and cross-flow.						
Alternative products with different glazing and frame types can be used if they have a lower U value and a SHGC value tolerance of + or - 5%.						
External Wall Type	Insulation		Colour	Description		
Weatherex Style Cladding on Frame + 13mm Plasterboard	VPM+R2.7 (or total R Value 3.16)		Light	As per plans		
NB: VPM (Vapour Permeable Membrane requires air gap)						
Internal Wall Type	Insulation		Description			
Plasterboard + Frame	R2.0		To Garage, Powder Room, Laundry and Bathroom			
Plasterboard + Frame	None		To remainder as per plan			
Floor Type	Insulation	Floor Finishes	Description			
Concrete (SOG)	None	None	To Garage			
Concrete (SOG)	None	Tiles	To Powder Room and Laundry/Pantry			
Concrete (SOG)	None	Polished Concrete	To Kitchen Living Dining (RL33.00)			
Concrete (SOG)	None	Polished Concrete	To remainder of Ground Floor			
Framed	R2.0	Tiles & Carpet	To areas over Garage			
Framed	None	Tiles & Carpet	To remainder of the First Floor			
NB: Due the inslab floor heating to RL33.00, at least R1.0 slab edge insulation is required.						
NB: Tiles to all wet areas, Carpet to Bedrooms & remainder of First Floor, with Polished Concrete to the Ground Floor						
Ceiling Type	Insulation		Description			
13mm Plasterboard	R2.0 below First Floor - See above - Including below Balcony over Garage		To Garage			
13mm Plasterboard	None		Below other floors			
13mm Plasterboard	R5.0		To remainder as per plan			
Roof Type	Insulation		Colour	Description		
Framed + Tiles (Balconies)	Total R value of 2.51 Up & 2.56 Down		Medium	To over Garage as per plans		
Metal Sheetting	Anticon 55 or similar		Medium	As per plans		
NB: Total R Value includes the insulation listed in Ceiling Type						
Additional items:						
Sealed Exhaust Fans:	Yes (self closing)	Insulated Garage door:		Yes (R1.0)		
Seals to Windows:	Yes - to AS2047	Approved Sealed LED Downlights:		Yes (if downlights installed)		
Seals to doors:	Yes - to AS2047	Approved Downlight Covers:		Yes (if downlights installed)		
Seals to Garage door:	Not Required	1400mm Ceiling Fans for Cooling:		2 to Kit/Liv, 1 to Rumpus, 1 to each bedroom		
NB: LED Downlights must be sealed to eliminate ventilation & approved to allow for insulation cover.						
NB: Builder to ensure compliance with all relevant NCC requirements						

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (electric boosted) with a performance of 21 to 25 STCs or better.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER < 2.5
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER < 2.5
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: electric floor heating; Energy rating: n/a
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER < 2.5
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only
The applicant must install a timer for the swimming pool pump in the development.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 2.9 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

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BASIX COMMITMENTS

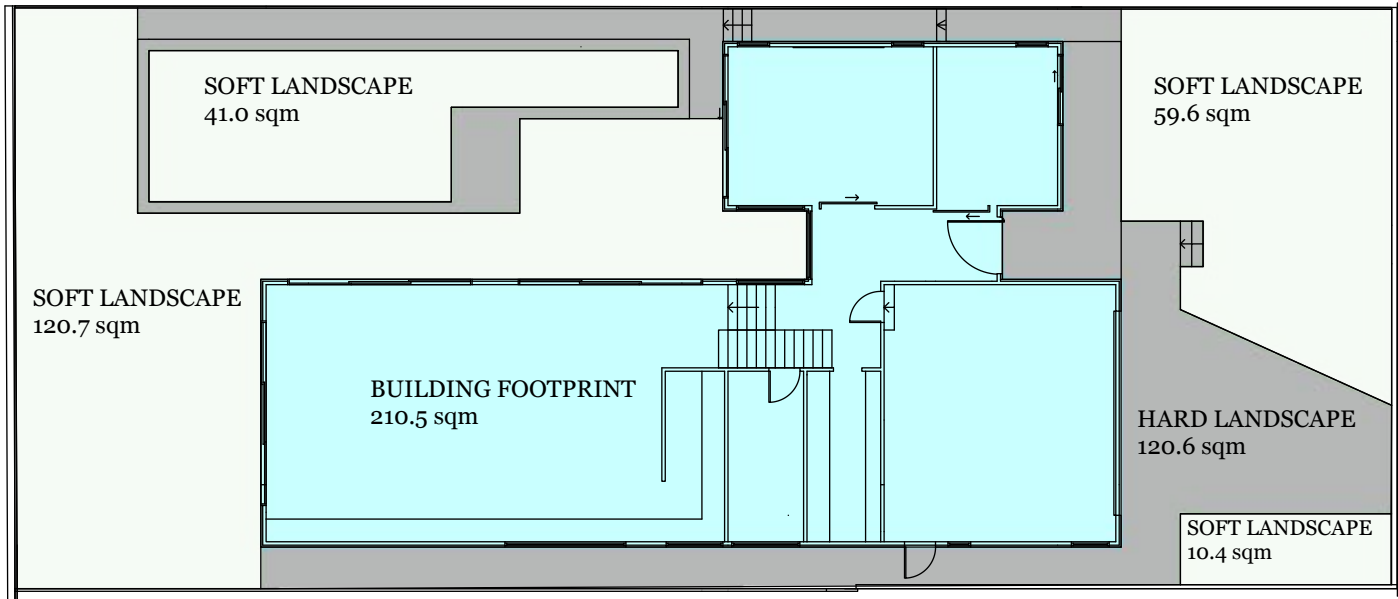
12 HUBERT ST FRESHWATER

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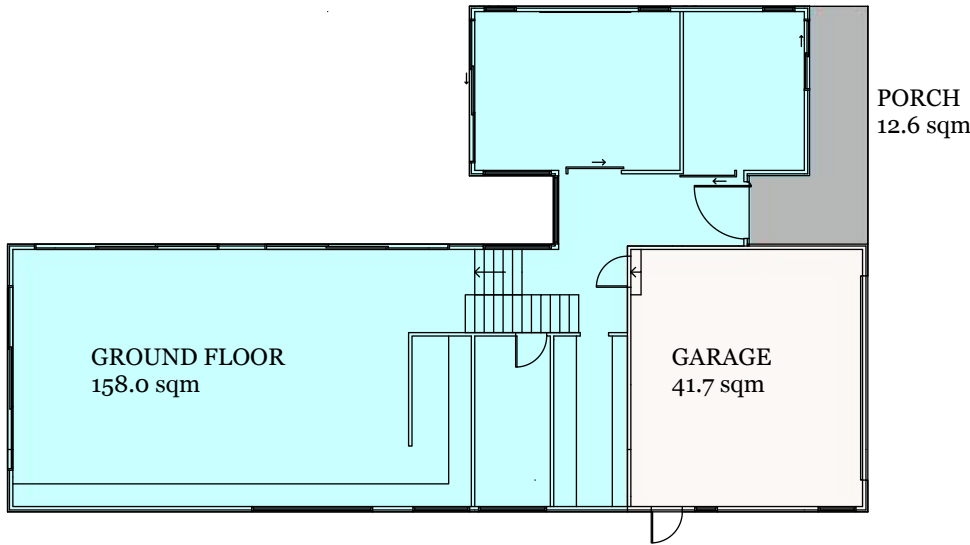
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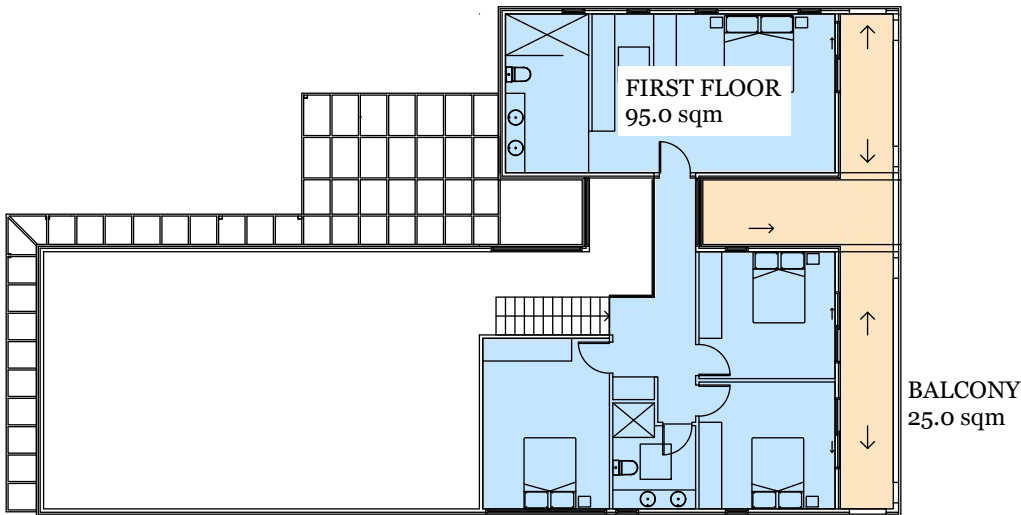


LANDSCAPE AREA CALCULATIONS		
NAME	AREA	% SITE
BUILDING FOOTPRINT	210.5 sqm	37.4%
HARD LANDSCAPE	120.6 sqm	21.4%
SOFT LANDSCAPE	231.7 sqm	41.2%
TOTAL	562.8 sqm	100%

1 LANDSCAPE AREA
1:200



2 GROUND FLOOR AREA
1:200



3 FIRST FLOOR AREA
1:200

GROSS FLOOR AREA SCHEDULE		
NAME	COMMENTS	AREA
GROUND FLOOR	HABITABLE	158.0 sqm
FIRST FLOOR	HABITABLE	95.0 sqm
GARAGE	INHABITABLE	41.7 sqm
PORCH	INHABITABLE	12.6 sqm
BALCONY	INHABITABLE	25.0 sqm