



Application for Building Certificate
Environmental Planning & Assessment Act, 1979 (as amended)
Section 149A, B, C, D

Effective from 1/7/15 till 30/6/16

Office Use – BC No: BC0058/15

Please Note: Details provided on this form and documents provided will be made public both at Councils Office and via Application Tracking on Councils website. The information will be kept by Council and will be disposed of in accordance with the Local Government Disposal Authority. You are entitled to review your personal information at any time by contacting Council.

Property Description	
Number: <u>129</u>	Street: <u>RIVERVIEW Rd</u>
Suburb: <u>AVALON</u>	
Lot: <u>100</u>	DP: <u>1196629</u>
Applicant	
Applicants Name: <u>PETER DOWNES</u>	
Postal Address: <u>17 RIVIERA AVE</u>	
Suburb: <u>AVALON</u>	Postcode: <u>2107</u>
Phone (84) <u>9973 3312</u>	Daytime Contact No () _____
Mobile () <u>0488 662 445</u>	Fax () _____
Email: <u>PETER@PETERDOWNES.COM.AU</u>	
You can apply for a building Certificate if you are: (Please tick the appropriate box) ☐ I am the owner of the building ☒ I have the owners consent to lodge this application (see below) ☐ I am the purchaser under a contract for the sale of the property ☐ I am the owner's or purchasers solicitor or agent ☐ We are a public authority which has notified the owner of its intention to apply for the certificate	
Signature: <u>[Signature]</u>	Date: <u>8.9.2015</u>
For access to the building please contact: <u>TERESA TICEHURST</u>	
Phone: _____	Mobile: <u>0425 259 515</u>

Owners ConsentOwner/s Name/s: THE RIVERVIEW PROPERTY TRUSTPostal Address: C/O 77 RIVIERA AVE,Suburb: AVALON Postcode: 2107Phone () _____ Mobile () C/O 8488 662 445Email: C/O PETER & PETER DOWNS. COM.AU.

I/We consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections:

Signature: _____

Certificate Type

- ☐ Whole Property
- ☐ Whole Building i.e. _____
- ☒ Part Building i.e. _____
- ☐ Pool , Fencing & Access _____
- ☐ Unauthorised works _____

Processing Fees

Fee Description	Detail	Code	Fee
Class 1 & 10 (& class 2 buildings with only 2 dwellings)	<u>\$250</u>	FHEA	<u>\$250</u>
Class 2-9 buildings - floor area less than 200m ²	\$250	FHEA	X
Class 2-9 buildings - floor area > 200m ² to 2000 m ²	\$250 + \$0.50 per m ² > 200 m ²	FHEA	X
Class 2-9 buildings - floor area > 2000m ²	\$1165 + \$0.75 per m ² > 2000 m ²	FHEA	X
For unauthorised works, one of the above certificate fees will apply in addition to the following:			
Development Application, Construction Certificate and Notification fees OR CDC fees apply based on the cost of works	\$860	FHEA	X
Notification (required for unapproved works)	\$270	TADV	X
Notification Sign (required for unapproved works)	\$40	NOPD	X

\$250

Accompanying information to be submitted with Application		
Checklist	Documents Required	Office Use
	A detailed survey prepared by a Registered Surveyor clearly showing the location of the structures and/or works on the site. The date of the survey is irrelevant in so far as the information contained therein is still current.	
	Where the property is identified on either Pittwater Councils Geotechnical Risk Management Map 2003 and/or Pittwater Councils Coastal Hazard map 97-003 as being Bluff Management Areas A geotechnical Engineers report prepared in accordance with Councils Interim Geotechnical Risk management policy is to be provided, together with completed form 4 & 4a pursuant to that policy	
When this application relates to unapproved structures or works the following information is required:		
	A detailed survey prepared by a Registered Surveyor clearly showing the site & location of the structures on the property and any nearby structures on adjacent properties together with floor levels, finish surface levels and the like. (A detail and contour survey as required to accompany Development Applications as outlined on Councils Development Application form will satisfy this requirement).	
	1 set of Works as constructed plans. These plans should be prepared by a suitably qualified professional e.g. Architect/Draftsman and clearly annotate the unapproved structures and/or works as to their compliance with the relevant Council Development controls.	
	12 x A4 reduced copies of works as constructed plans for neighbour notification.	
	Certification as to the structural and/or Geotechnical adequacy of the structures and/or works as built. All built structures will require certification as to their structural integrity by a qualified Structural Engineer, all earthworks and foundations will require certification by a qualified & experienced Geotechnical Engineer as to their adequacy.	
	Certificate by an appropriately qualified person that the structures and/or works comply with the Building Code of Australia and appropriate Australian Standards.	
	Council may require additional information to enable appropriate assessment and determination of the Building Certificate.	
Office Use		
Receipt No: _____ Date: _____		

Privacy and Personal Information Protection Notice

This information is provided under the Environmental Planning & Assessment Act 1979 voluntarily by the applicant and is collected for the assessment of the application. Failure to provide this information will prevent Council processing your application and may lead to your application being rejected. This information is intended only for Officers of Pittwater Council and will be stored in accordance with Pittwater Council's compliant Records Management System (ECM) and the State Records Act 1998 (NSW). This information may be accessed by Council Officers or by requests under the Government Information (Public Access) Act 2009 (NSW). You have a right to access your personal information under the Privacy and Personal Information Protection Act 1998 (NSW) by application to Pittwater Council and to have that information updated or corrected.

LETTER OF AUTHORITY

COUNCIL Pittwater

ATT'N the General Manager

DATE 9.9.2015

PROJECT 129 Riverview rd, Avalon

OWNERS the Riverview Trust

I hereby authorise Peter Downes to be the applicant for the purposes of submitting a Building Certificate Application for this site.

A handwritten signature in dark ink, appearing to read 'Lucy Monje', is written over a horizontal dotted line.

Lucy Esperanza Monje
Director,
Riverview Property Holdings Pty Ltd, ACN: 123 399 673 (Trustee of the
Riverview Trust)

Pittwater Council

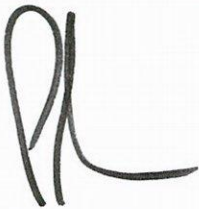
Att'n the General Manager

8.9.2015

Re Building Certificate Application for 129 Riverview rd, Avalon

All of the works which are the subject of this application have been built in accordance with the approved plans and conditions of approval of DA N0 269/09 (sections 96 1,2 3 and 4).

Please note that I was the designer and applicant for all of the above approvals.



Peter Downes

Chartered Building Designer
Dip of Arch Tech (distinction)
Dip of Building Design (distinction)

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 3 – Post Construction Geotechnical Certificate to be submitted with Occupation
Certificate or Subdivision Certificate

Development Application for	Name of Applicant
Address of site	<u>129 RIVERVIEW ROAD AVALON</u>

Declaration made by geotechnical engineer on completion of the Development

I, PETER THOMPSON on behalf of Jack Hodgson Consultants Pty Ltd
(Insert Name) (Trading or Company Name)

on this the 30/07/2015

certify that I am a Geotechnical Engineer, Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify the organisation/company a current professional indemnity policy of at least \$2million. ; I prepared and/or verified the Geotechnical Report as per Form 1 dated referred to below.

Geotechnical Report Details:

Report Title: RISK ANALYSIS AND MANAGEMENT FOR PROPOSED ADDITIONS AND POOL AT 129 RIVERVIEW ROAD AVALON
Report Date: 8/07/2009
Author : BEN WHITE
Author's Company/Organisation: JACK HODGSON CONSULTANTS PTY LTD

- ☒ I reviewed the original structural design, and where applicable the subsequently amended structural details (below listed) which have been incorporated into the completed project.
- ☒ I have inspected and/or am satisfied that the foundation materials, upon which the structural elements (as detailed in the original and amended structural documents) of the development have been erected, comply with the requirements specified in the Geotechnical Report and the Construction Certificate approved Structural Plans.
- ☒ I have inspected the site during construction and to the best of my knowledge, I am satisfied that the development referred to in the development consent D.A. dated 28/08/2009/10/06/2014

D.A. No N0269/09/S96/4 Date consent given 28/08/2009/10/06/2014

☒ has been constructed in accordance with the intent of the Geotechnical Report, and the requirements of the conditions of Development Consent and the Construction Certificate approved Structural Plans relating to the geotechnical issues (including any treatment and/or maintenance plan that may be required to remove risk where reasonable and practical).

☒ I am aware that Pittwater Council require this certificate prior to issuing an occupancy certificate for the development identified above and will rely on this certificate in regard to the development having achieved the "Acceptable Risk Management" criterion defined in the Policy and that reasonable and practical measures have been taken to remove foreseeable risk.

List of all work as executed drawings and Ongoing Maintenance plans relevant to geotechnical risk management.

--

Signature	
Name	<u>PETER THOMPSON</u>
Chartered Professional Status	<u>MIE Aust CPEng</u>
Membership No.	<u>146800</u>
Company	<u>Jack Hodgson Consultants Pty Ltd</u>

6 November 2012

The Principal Certifier
129 Riverview Road
Avalon NSW 2107

Dear Sir,

Re: Addition & Alterations – 129 Riverview Road, Avalon

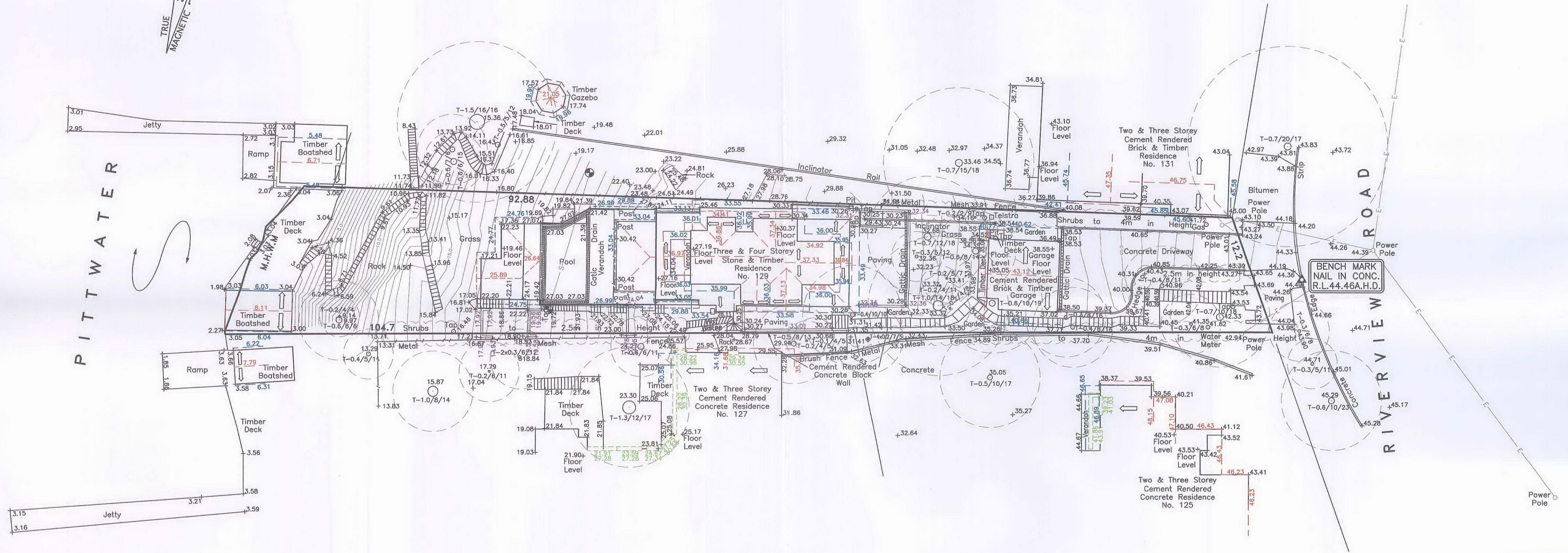
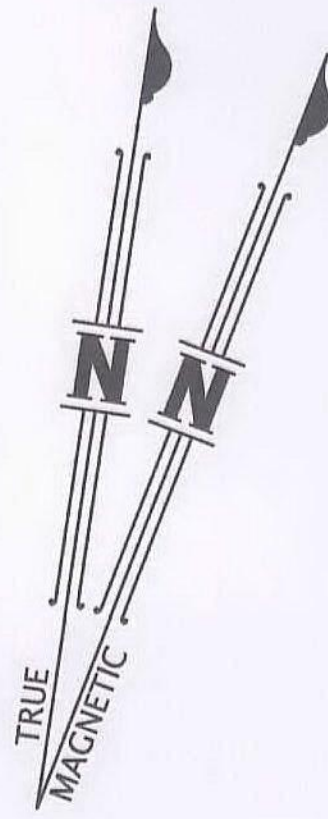
This is to certify that we have inspected on 10 June 2010 the excavation for swimming pool column footing at the above address and consider that they are structurally adequate.

Yours faithfully,



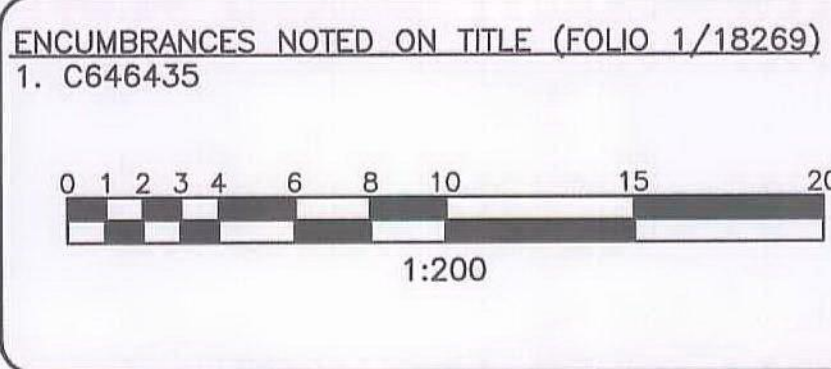
MIE Aust CPENG NPER 92996

Dr Bala Muhunthan
B.Sc., (Hon) Civil Eng., M. Eng. Sc, PhD, FICE, FIE Aust., CP Eng. NPER



- LEGEND**
- +26.23 Denotes spot height.
 - +25.37 TK Denotes height on top of kerb.
 - T-0.2/5/4 Denotes tree-diameter/spread/height.
 - E Denotes overhead power wires.
 - S Denotes Sydney Water Sewer, (as per pegs found)
 - Denotes Sewer peg as placed by Ausflow Pty Ltd.
 - Denotes flow direction of roof waters.
 - 78.37 Denotes ridge and levels.
 - 74.26 Denotes gutter and levels.
 - 76.85 Denotes window and levels.
 - 75.42 Denotes level on top of wall.
 - 63.14 Denotes level on top of wall.

- NOTES**
1. NO BOUNDARY SURVEY HAS BEEN MADE.
 2. IF ACCURATE LOCATION OF ANY FEATURES IN RELATION TO BOUNDARIES IS REQUIRED, ADDITIONAL SURVEY WORK WILL BE NECESSARY.
 3. ONLY VISIBLE SERVICES HAVE BEEN LOCATED.
 4. ORIGIN OF LEVELS PM 60565 R.L.37.145 A.H.D. (Vide S.C.I.M.S. 7-5-07 CLASS "LC")
 5. SITE AREA 1201m² (Vide D.P.18269)



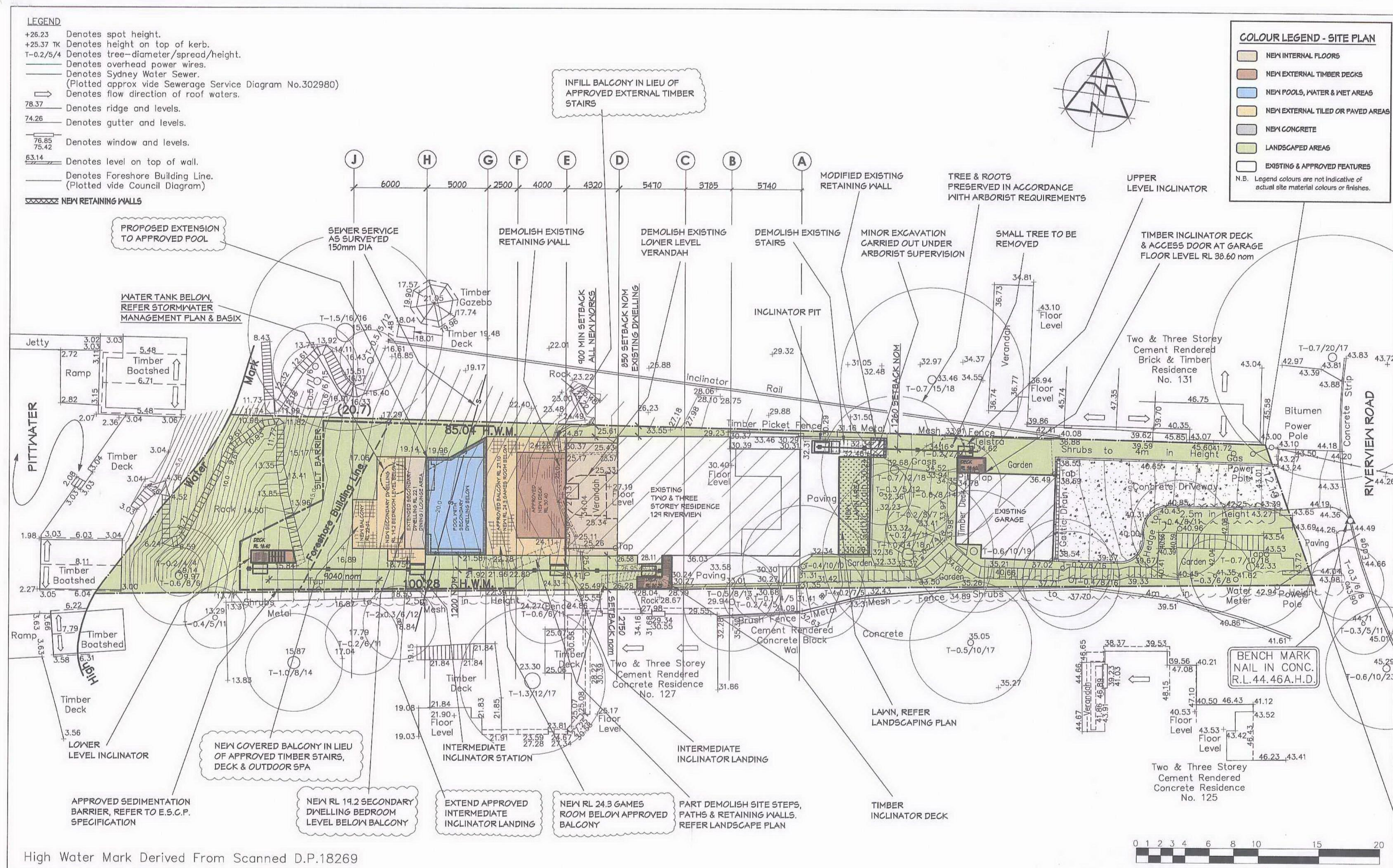
Surveyed By:
Richards & Loftus
surveying services

Consulting Rooms
Suite 2, 375 Pacific Hwy
Asquith NSW 2077
P.O. Box 3114
Asquith NSW 2077

Phone: (02) 9482 8766
Fax: (02) 9482 8133
E-Mail: gerry@rsurveying.com.au

SCALE :- 1:200	DATUM :- A.H.D.
DATE :- JULY 2015	DRAWN :- M.L.
JOB No. :- 649	CHECKED :- G.R.
AZIMUTH :- MAGNETIC NORTH	
CLIENT :- HELLIER	

PITTWATER COUNCIL		
PLAN OF DETAIL, CONTOURS & LEVELS		
OVER LOT 100		
D.P.1196629		
BEING No. 129		
RIVERVIEW ROAD		
AVALON		
REFERENCE :- 649	SHEET No. 1 OF 1	ISSUE :- C



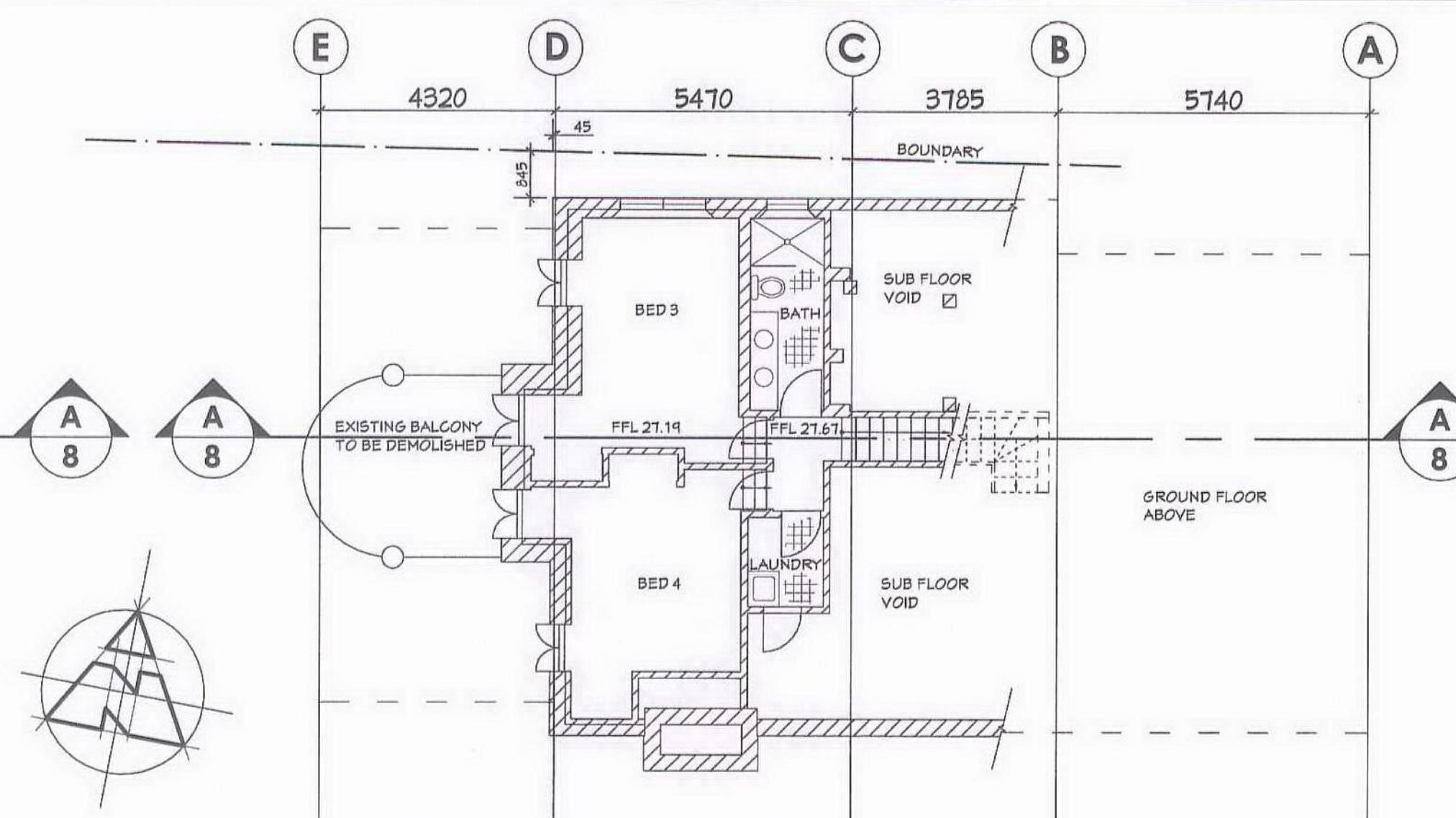
High Water Mark Derived From Scanned D.P.18269

REVISION	PROJECT	DRAWING	CHECKED
A. 30/04/04 BALCONY OVER ADDED POOL ALTERED, D1, D2, D3 MODIFIED	PROPOSED ALTERATIONS & ADDITIONS AT 121 RIVERVIEW ROAD, AVALON FOR THE RIVER PROPERTY TRUST	SITE PLAN	R.FARR
B. 21/12/04 POOL & BALCONY ALTERED STAIRS REPOSITIONED	N.B. THIS SITE PLAN IS BASED ON FORMAL SURVEY DATA PROVIDED BY RICHARDS & LOFTUS SURVEYING SERVICES		F.DOWNES
C. 04/05/10 POOL & 2ND DWELLING REVISED, TIMBER STAIRS DELETED, STORM TANK MOVED			DATE
			06-05-10
			DRG. No.
			A2
			0908-01/C

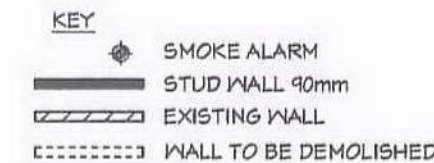


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address 115 Palmgrove Rd, Avalon 2107
phone 9973 3312 www.peterdownes.com

PROJECT	PROPOSED ALTERATIONS & ADDITIONS AT 121 RIVERVIEW ROAD, AVALON FOR THE RIVER PROPERTY TRUST	DRAWN	CHECKED
DRAWING	SITE PLAN	R.FARR	F.DOWNES
		SCALE	DATE
		1:200	06-05-10
		DRG. No.	
		A2	0908-01/C



EXISTING LOWER GRD FLOOR
(to be partially demolished)
RL 27.19



All work to be carried out by suitably licensed and qualified tradesmen and to comply with all relevant standards and Councils requirements.

Main contractor to be responsible for obtaining all necessary inspection certificates.

An approved sedimentation control system is to be installed and maintained to Council's satisfaction for the duration of the contract (refer to E & SG specification).

Smoke alarms are to be fitted in accordance with Building Code of Australia requirements.

Termite protection is to be installed in Accordance with relevant Australian Standard (refer to specification).

Pool backwash water to be disposed to Sydney Water sewer

All plumbing & draining fixtures to be concealed & not exposed to public view on buildings over one storey in height

All external glazing is to have a maximum reflectivity index of 25%

New electrical connections are to be carried out using underground cabling

WINDOW SCHEDULE			
ITEM	SIZE W X H	REMARKS	*AREA
W1	3200 X 1450	2 CASEMENT, 2 FIXED	4.6 m ²
W2	3200 X 1450	2 CASEMENT, 2 FIXED	4.6 m ²
W3	4000 X 1450	5 PANEL, MULTI-FOLD	5.8 m ²
W4	4100 X 1350	2 CASEMENT, 3 FIXED	7.0 m ²
W5	1200 X 2350	1 FIXED	2.8 m ²
W6	4100 X 1200	1 CASEMENT, 4 FIXED	4.9 m ²
W7	3200 X 1950	2 CASEMENT (remote windows), 2 FIXED	4.9 m ²
W8	2400 X 1350	2 CASEMENT, 1 FIXED	3.2 m ²
W9	3200 X 1450	2 CASEMENT, 2 FIXED	4.6 m ²
W10	800 X 1450	1 CASEMENT	1.2 m ²
W11	800 X 2350	1 CASEMENT, 1 FIXED	1.9 m ²
W12	2000 X 1100	2 CASEMENT, 2 FIXED	4.2 m ²
W13	1275 X 1100	1 FIXED	2.8 m ²
W14	490 X 2350	1 CASEMENT, 1 FIXED	1.6 m ²
W15	490 X 2350	1 CASEMENT, 1 FIXED	1.6 m ²
W16		NOT USED	
W17		NOT USED	
W18	1600 X 1450	1 CASEMENT, 1 FIXED	2.3 m ²
W19	800 X 1450	1 CASEMENT	1.2 m ²
W20	800 X 1450	1 CASEMENT	1.2 m ²

All doors & windows to be timber framed to match existing & fitted with draft seals

All dimensions to be confirmed on site by builder

Window & door head heights to be finalised on site prior to order to maintain consistent architrave level

DOOR SCHEDULE			
ITEM	SIZE W X H	REMARKS	
D1	3200 X 2340	GLASS, 2 FIXED, 2 SLIDING	7.5 m ²
D2	1640 X 2340	DOUBLE ENTRANCE GLASS	3.1 m ²
D3	3200 X 2340	GLASS, 2 FIXED, 2 SLIDING	7.5 m ²
D4	6400 X 2340	8 PANEL GLASS, MULTI-FOLD	15.0 m ²
D5	6400 X 2340	8 PANEL GLASS, MULTI-FOLD	15.0 m ²
D6	3200 X 2340	GLASS, 2 FIXED, 2 SLIDING	7.5 m ²
D7	3200 X 2340	GLASS, 2 FIXED, 2 SLIDING	7.5 m ²
D8	820 X 2340	SELECTED ENTRY, GLASS	1.4 m ²

REVISION	rev. A 28-09-04 NEW DECK ADDED IN PLACE OF APPROVED SKILLION ROOF EXISTING BALCONY FILLED IN. KITCHEN MODIFIED
	rev. B 05-01-10 GRID LINE "F" RELOCATED. WINDOW & DOOR SCHEDULE UPDATED
	rev. C 26-04-10 WINDOW / DOOR NUMBER & STYLES UPDATED. M16 & M17 DELETED. RL 30.4 GRIDLINE D POSTS
	rev. D 15-08-10 DECK ROOF RE-PITCHED



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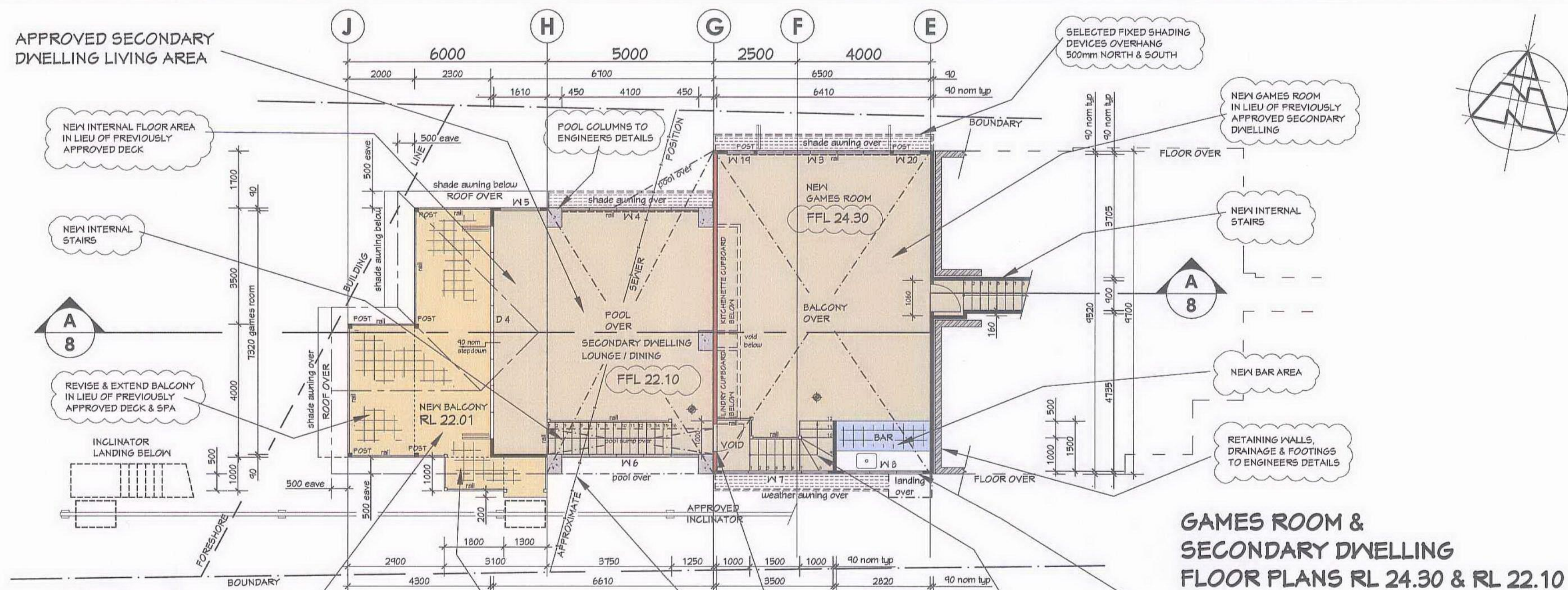
address 115 Palmgrove Rd, Avalon 2107
phone 9973 3312 www.peterdownes.com

PROJECT
PROPOSED ALTERATIONS TO EXISTING DWELLING AT
129 RIVERVIEW RD AYALON
FOR - THE RIVERVIEW PROPERTY TRUST -

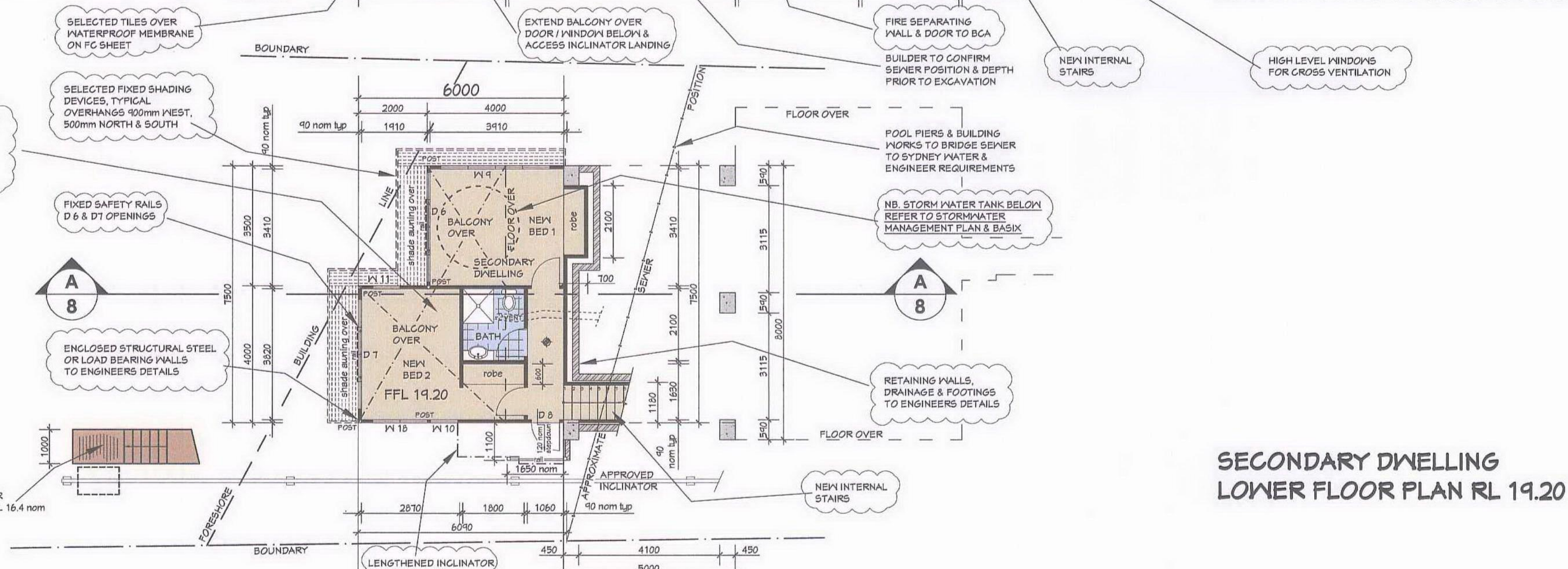
DRAWING
FLOOR PLANS - EXISTING DWELLING

DRAWN R. FARR	CHECKED P. DOWNES
SCALE 1:100	DATE 18-08-10
DRG. No. A2 0908-02/D	

- COLOUR LEGEND - PLAN & ELEVATIONS**
- NEW FLOOR AREAS & WALLS
 - PROPOSED TIMBER DECKS & STRUCTURES
 - NET AREAS & GLAZING
 - EXTERNAL TILES OR PAVING
 - CONCRETE
 - LANDSCAPED AREAS
 - PROPOSED NEW ROOF
 - EXISTING FEATURES
- N.B. Legend colours are not indicative of actual site material colours or finishes.



PROPOSED SECONDARY DWELLING NEW LOWER FLOOR LEVEL



- KEY**
- SMOKE ALARM
 - STUD WALL 90mm
 - EXISTING WALL
 - WALL TO BE DEMOLISHED
 - MASONRY WALL

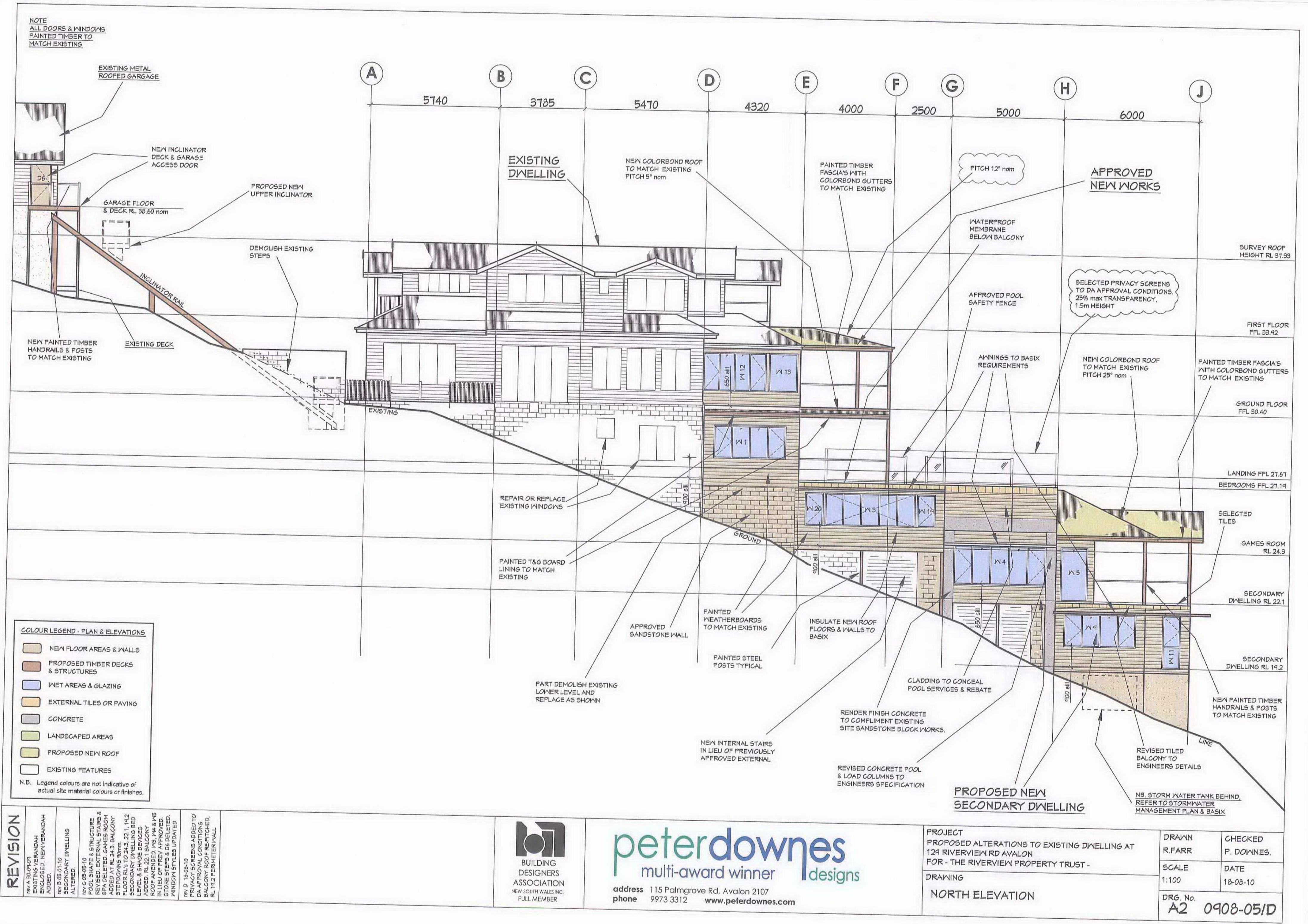
REVISION	
REV A 15/09/01	DA ALTERED, POOL OVER, ALTERED, AND SELECTED
REV B 22/10/01	DA ALTERED, POOL OVER, ALTERED, AND SELECTED
REV C 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV D 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV E 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV F 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV G 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV H 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV I 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED
REV J 21/04/10	EXISTING FLOOR PLANS, POOL OVER, ALTERED, AND SELECTED

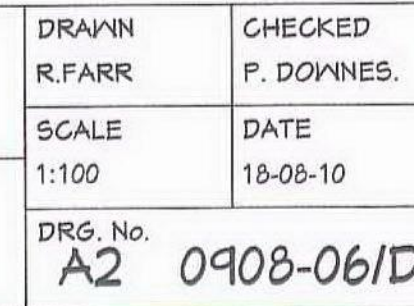
BUILDING DESIGNERS ASSOCIATION
NEW SOUTH WALES INC.
FULL MEMBER

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phone 9973 3312 www.peterdownes.com

PROJECT PROPOSED ALTERATIONS TO EXISTING DWELLING AT 124 RIVERVIEW RD AVALON FOR - THE RIVERVIEW PROPERTY TRUST -	DRAWN R. FARR	CHECKED P. DOWNES.
DRAWING FLOOR PLANS - SECONDARY DWELLING RL 24.30, RL 22.10 & RL 19.20	SCALE 1:100	DATE 27-04-10
	DRG. No. A2	0908-041C





- COLOUR LEGEND - PLAN & ELEVATIONS**
- NEW FLOOR AREAS & WALLS
 - PROPOSED TIMBER DECKS & STRUCTURES
 - WET AREAS & GLAZING
 - EXTERNAL TILES OR PAVING
 - CONCRETE
 - LANDSCAPED AREAS
 - PROPOSED NEW ROOF
 - EXISTING FEATURES
- N.B. Legend colours are not indicative of actual site material colours or finishes.

SURVEY ROOF
HEIGHT RL 31.33

FIRST FLOOR
FFL 33.42

GROUND FLOOR
FFL 30.40

LANDING FFL 27.67

BEDROOMS FFL 27.14

GAMES ROOM
RL 24.3

SECONDARY
DWELLING RL 22.1

SECONDARY
DWELLING RL 19.2

NOTE
ALL DOORS & WINDOWS
PAINTED TIMBER TO
MATCH EXISTING

REVISION	
REV A 30/04/10	NEW DECK ADDED TO NORTH ELEVATION. POOL ALTERED. SECTION B8 ADDED.
REV B 15/05/10	POOL ALTERED.
REV C 14/06/10	POOL SHAPE & STRUCTURE REVISED. EXTERNAL STAIRS & BALCONY ADDED. GAMES ROOM ADDED AT RL 24.3. BALCONY STEPPINGS 50mm.
REV D 10/08/10	CONCRETE TO RL 23.2, 1.1, 1.2. SECONDARY & GAME DECKS LEVEL & SHAPE REVISED. ROOF & BALCONY ROOF MESH STILES UPDATED.
REV E 10/08/10	BALCONY ROOF RE-PITCHED. RL 19.2 PERIMETER WALL.

WEST ELEVATION

A
8

EXISTING DWELLING

PITCH 12° nom

APPROVED NEW ROOF & DECK

APPROVED NEW WORKS

NEW PAINTED TIMBER HANDRAILS & POSTS TO MATCH EXISTING

NEW COLORBOND ROOF TO MATCH EXISTING PITCH 25° nom

GLADDING TO CONCEAL POOL SERVICES & REBATE

APPROVED POOL

PAINTED TIMBER FASCIA'S WITH COLORBOND GUTTERS TO MATCH EXISTING

PAINTED WEATHERBOARDS TO MATCH EXISTING

RENDER FINISH OR STONE CLAD WALL TO COMPLEMENT EXISTING SITE SANDSTONE BLOCK WORKS.

INCLINATOR & BOTTOM LANDING NOT SHOWN REFER TO SOUTH ELEVATION & SITE PLAN

RENDER FINISH BLOCK WALL TO COMPLEMENT EXISTING SITE SANDSTONE WORKS.

FIXED SAFETY RAILS D 6 & D 7 OPENINGS

SELECTED TILES

NB. STORM WATER TANK BEHIND. REFER TO STORMWATER MANAGEMENT PLAN & BASIX

RETAINING WALLS FOOTINGS & PIERS TO ENGINEERS DETAILS

AWNINGS TO BASIX REQUIREMENTS

INSULATE NEW ROOF FLOOR & WALLS TO BASIX

REVISED CONCRETE POOL TO ENGINEERS SPECIFICATION

APPROVED POOL SAFETY FENCE

TILED BALCONY SETDOWN FROM FFL

PAINTED TIMBER FASCIA'S WITH COLORBOND GUTTERS TO MATCH EXISTING

NEW COLORBOND ROOF TO MATCH EXISTING PITCH 9° nom

EAST ELEVATION

A
8

EXISTING DWELLING

GROUND

LINE

PROPOSED NEW WORKS

BUILDING DESIGNERS ASSOCIATION
NEW SOUTH WALES INC.
FULL MEMBER

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multi-award winner designs

address 115 Palmgrove Rd, Avalon 2107
phone 9973 3312 www.peterdownes.com

PROJECT
PROPOSED ALTERATIONS TO EXISTING DWELLING AT
124 RIVERVIEW RD AVALON
FOR - THE RIVERVIEW PROPERTY TRUST -

DRAWING
EAST & WEST ELEVATIONS

DRAWN
R. FARR

CHECKED
P. DOWNES.

SCALE
1:100

DATE
18-08-10

DRG. No.
A2 0908-07/D

