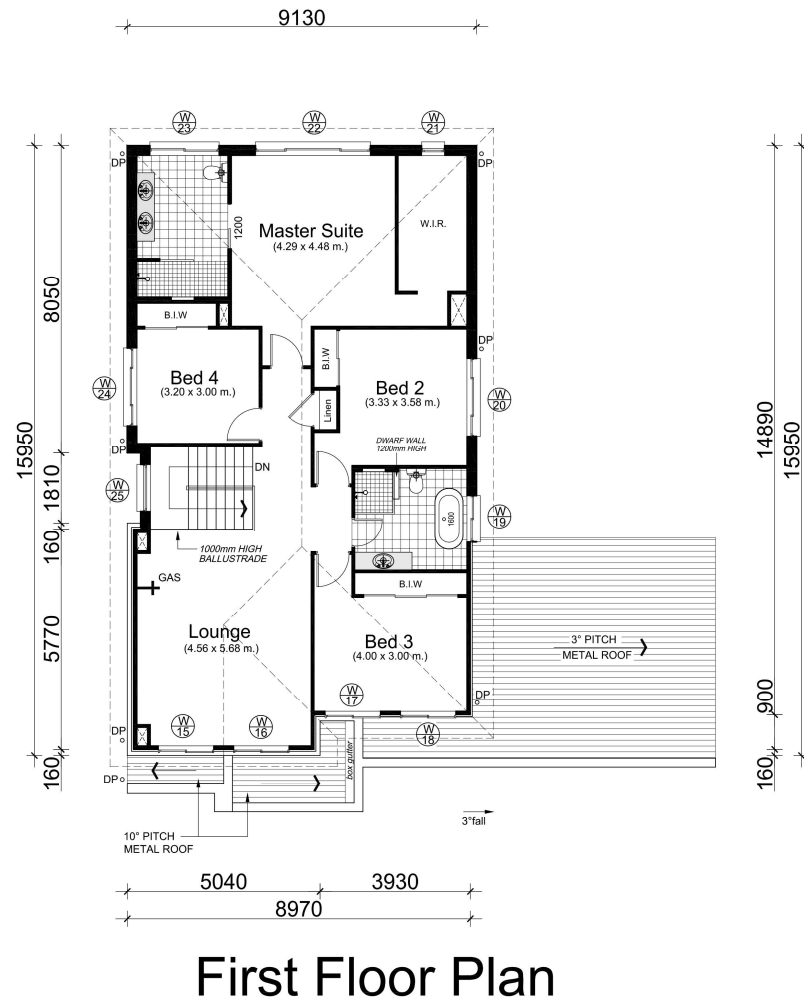
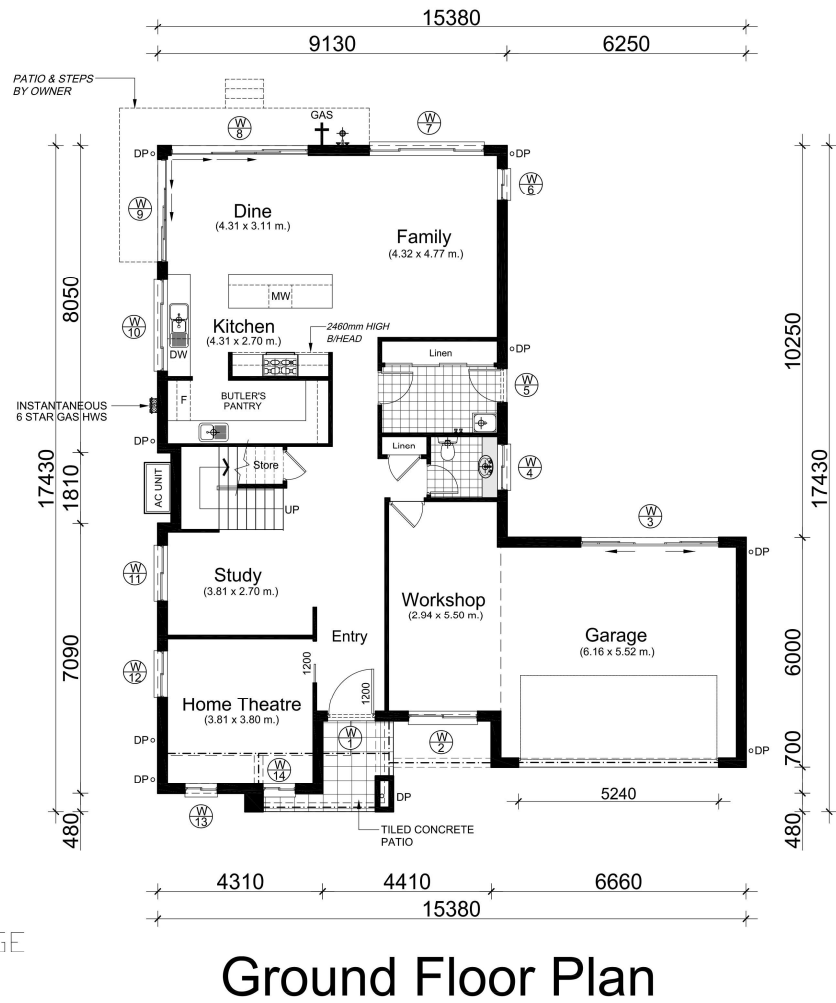
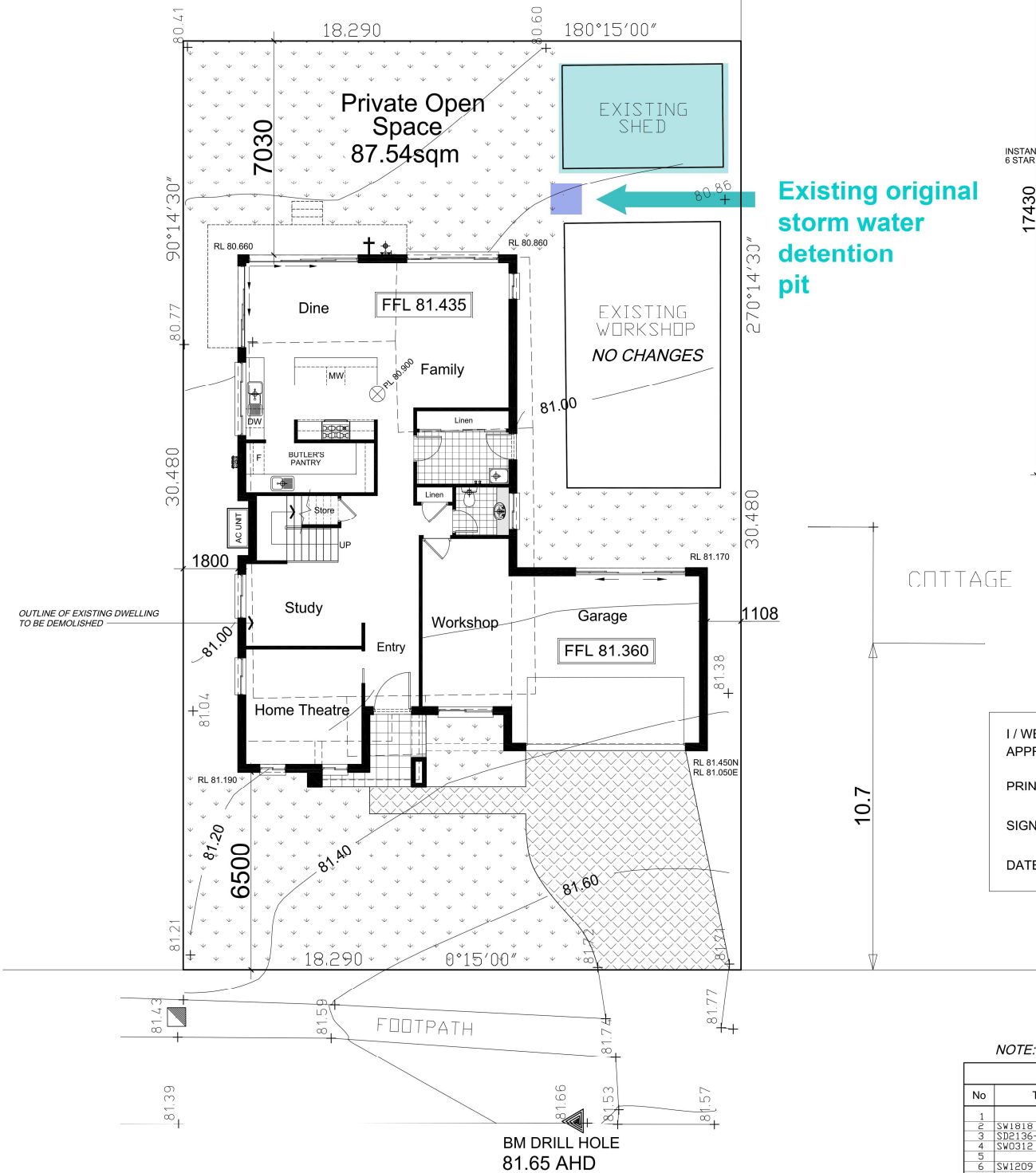


Proposed New Private Open Space Plan
with retained shed



I / WE HAVE REVIEWED THESE PLANS / DETAILS AND APPROVE THEM IN FULL (subject to changes marked)

PRINT NAME:

SIGNED:

DATED: / /

NOTE: 10mm HUSH GLASS TO WINDOWS 22 & 23

No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1	2388	1260		TIMBER ENTRY FRAME
2	SW1818	1800	1810	SLIDING / GLAZING BARS
3	SD2136-4	2100	3610	ALUM SLIDING DOOR
4	SW0312	300	1210	SLIDING / OBSCURE GLASS
5		2088	881	TIMBER ENTRY FRAME
6	SW1209	1200	850	SLIDING
7	SW1230	1200	3010	SLIDING
8	ASD2436-3	2400	3598	SLIDING STACKER DOOR
9	ASD2427-3	2400	2688	SLIDING STACKER DOOR
10	SW1224	1200	2410	SLIDING
11	SW2115	2057	1450	SLIDING
12	SW1812	1800	1210	SLIDING / GLAZING BARS
13	SW1809	1800	850	SLIDING / GLAZING BARS
14	SW1809	1800	850	SLIDING / GLAZING BARS
15	SW1215	1200	1450	SLIDING / GLAZING BARS
16	SW1215	1200	1450	SLIDING / GLAZING BARS
17	SW1215	1200	1450	SLIDING / GLAZING BARS
18	SW1215	1200	1450	SLIDING / GLAZING BARS
19	SW1212	1200	1210	SLIDING / OBSCURE GLASS
20	SW0921	857	2050	SLIDING
21	FW1506	1457	610	FIXED
22	SW1830	1800	3010	SLIDING
23	SW0918	857	1910	SLIDING / OBSCURE GLASS
24	SW0921	857	2050	SLIDING
25	FW2712	2700	1210	FIXED / OBSCURE GLASS

Control Table Calculations

Zone R2 - Low Density Residential

Warringah LEP 2011

- Site Area**
Total area of site = 556.400 sq.m
- Gross Floor Area**
Calculated excluding external walls, first floor stair void and garage area: -
Proposed Dwelling = 239.000 sq.m
- Private Open Space**
Minimum 60sqm area required (minimum 5m dimension)
Provided 87.540 sq.m
- Carparking Requirement**
Required 2
Proposed Dwelling 2
- Landscaped Open Space**
Minimum 40% of site area required (minimum 2m wide)
Required 40% of site or 222.560 sq.m
Provided 31.5% of site 175.430 sq.m

Non-compliance

REVISION	DATE	DRAWN BY	COMMENTS

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208-210 Northumberland St,
Liverpool NSW 2170

Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

Site Plan, Floor Plans & Calculations			
PROPOSED TWO STOREY DWELLING			
CLIENT: Mr & Mrs Colwell			
SITE ADDRESS: No.49 (Lot 1 in DP 407432) Waratah Parade,			
SUBURB: Narrabeena		SCALE: 1 : 100	
COUNCIL: Northern Beaches		JOB No.: RL 5527	
REVISION: A		DATE: 15.02.2021	
		SHEET: 1 of 2	

LOCATION PLAN

Scale: NTS



OTHER LANDSCAPE ITEMS

- Turf area - refer detail
- Gravel or pebbles to be selected by client
- Front fence - colour and style to be nom. by client
- 1.8m Gate and fence - colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected

TREES

- Botanical Name:** *Acacia longifolia*
Common Name: Sydney Golden Wattle (Native)
Pot size: 200mm
Mature H x S: 6m x 4m
Qty Required: 1
- Botanical Name:** *Tristaniopsis laurina*
Common Name: Watergum (Native)
Pot size: 200mm
Mature H x S: 5-8m x 3-5m
Qty Required: 1



Tristaniopsis laurina

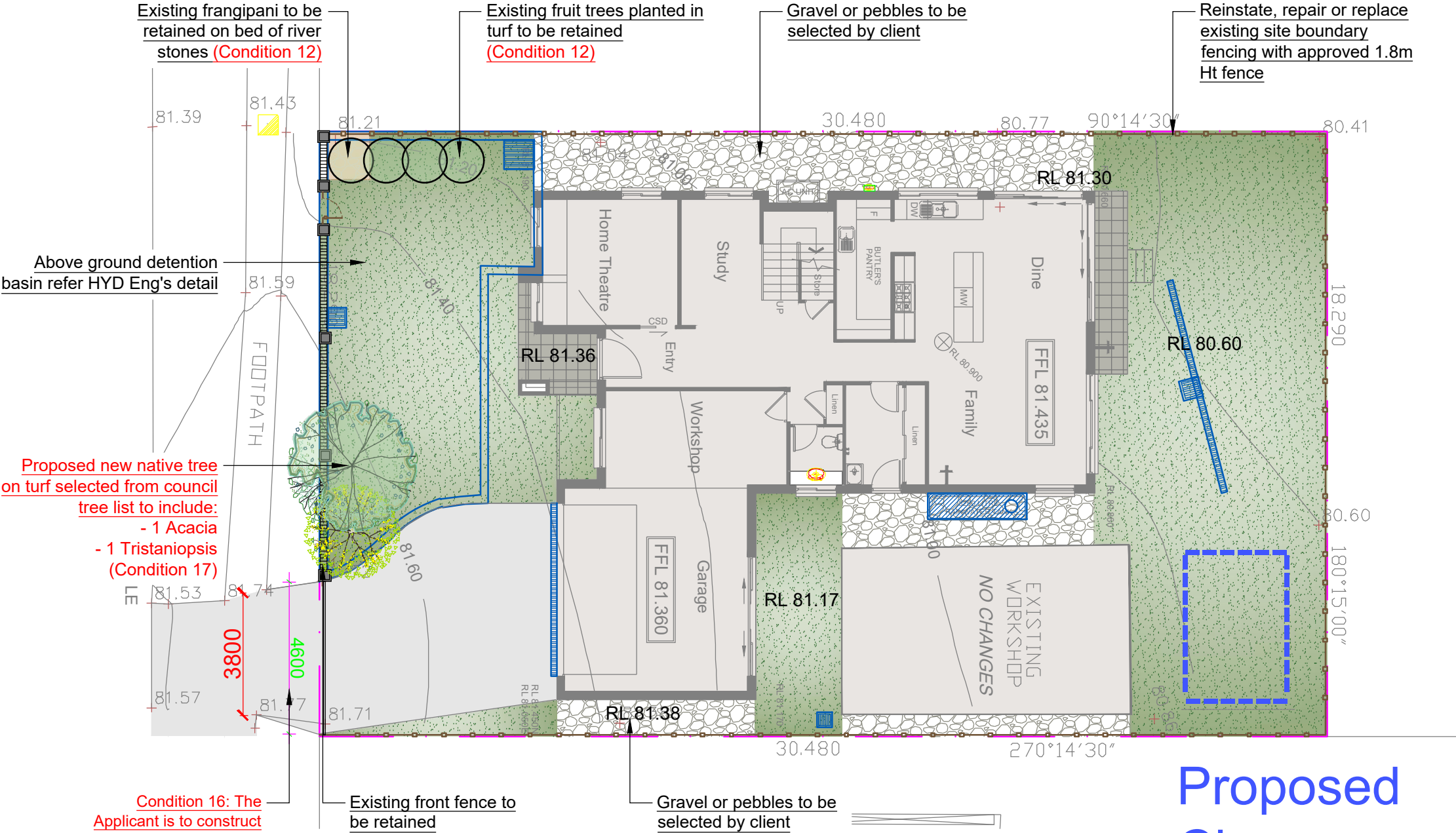
- Condition 12:**
Existing trees and vegetation shall be retained and protected.
- Condition 16:**
The Applicant is to construct one vehicle crossing 4.6m wide at kerb and at property boundary
- Condition 17:**
2 trees capable of attaining a minimum height of 5m at maturity; located in the front yard; minimum pot size 200mm.
Native tree planting species may be selected from Council's list:
www.northernbeaches.nsw.gov.au/environment/native-plants/native-plant-species-guide.

LANDSCAPE CALCULATIONS

SITE AREA:	556.4m²
REQUIRED LANDSCAPE AREA: (2 M MINIMUM WIDTH)	222.56m² (40%)
PROPOSED LANDSCAPE AREA: (COMPLIANT)	225.1m² (40.5%)

LANDSCAPE AREA INCLUDE IN CALCULATION:

LANDSCAPE AREA NOT INCLUDED IN CALCULATION:
(LESS THAN 2M REQUIRED MINIMUM WIDTH)



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Construction Certificate approval only, not for construction.

This plan has been prepared with reference to **Northern Beaches** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (**acceptable for BASIX planting**).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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AILA Associate

www.dialbeforeyoudig.com.au



REV	DATE	NOTATION/AMENDMENT
A	29/03/2021	Preliminary plan prepared for review
B	06/04/2021	Co-ordinated with client's comments
C	08/04/2021	Co-ordinated with client's comments
D	06/05/2021	Co-ordinated with client's comments
E	15/09/2021	Construction certificate
F	28/09/2021	Co-ordinated with council's comments
G	11/10/2021	Co-ordinated with client's comments

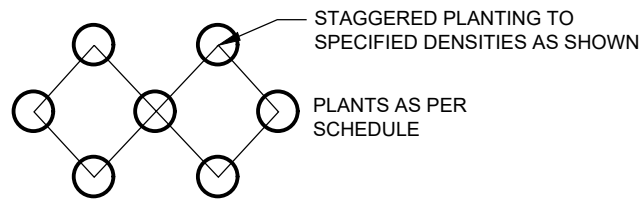
COUNCIL	NORTHERN BEACHES
CLIENT	MR & MRS COLWELL
ARCHITECT	RESIDENTIAL LOGISTICS
STATUS / ISSUE	CC - ISSUE G

Concept
Landscape Architects

www.conzept.net.au
enquiries@concept.net.au

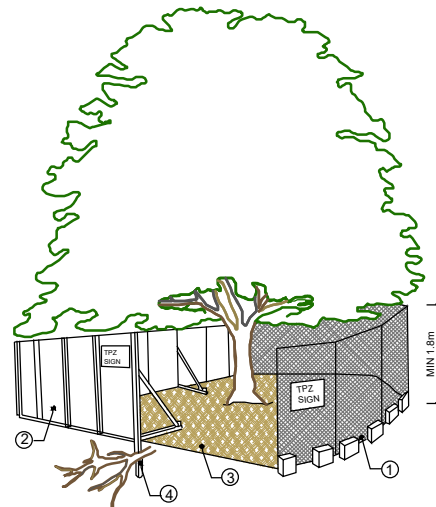
Phone: 9922 5312
Suite 101, 506 Miller St
CAMMERAY NSW 2062

TITLE:	LANDSCAPE PLAN	DWG No:	LPCC 21 - 2015754 / 1
SCALE:	1:150 @ A3	CHECKED:	R.F
DATE:	OCT 2021		
DRAWN:	C.D		



MASS PLANTING SETOUT

N.T.S

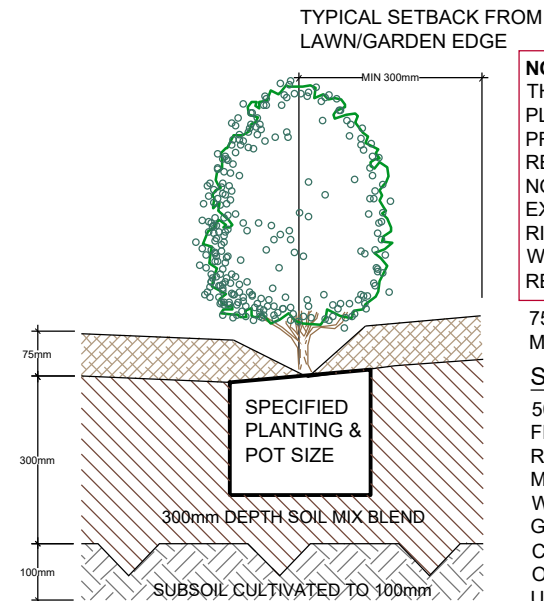


1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS
5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF AMENITY TREES

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

TREE PROTECTION ZONE

N.T.S



NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED.
NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

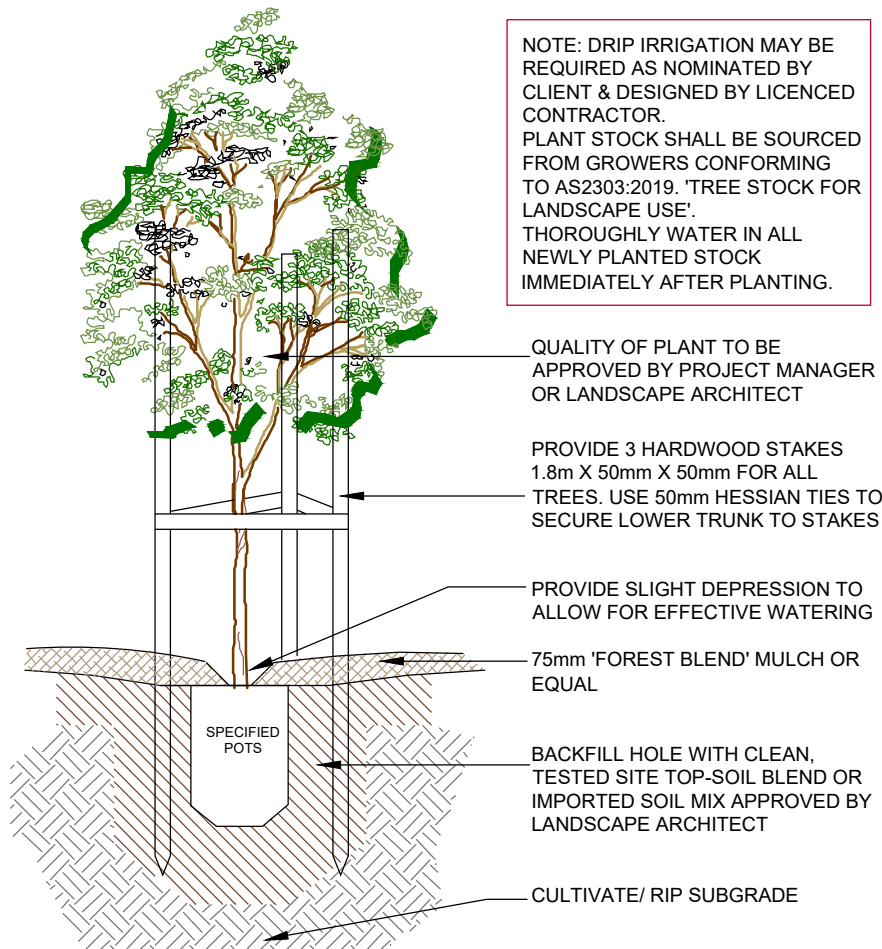
75mm DEPTH "FOREST BLEND" MULCH OR EQUIVALENT

SOIL MIX:

50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL

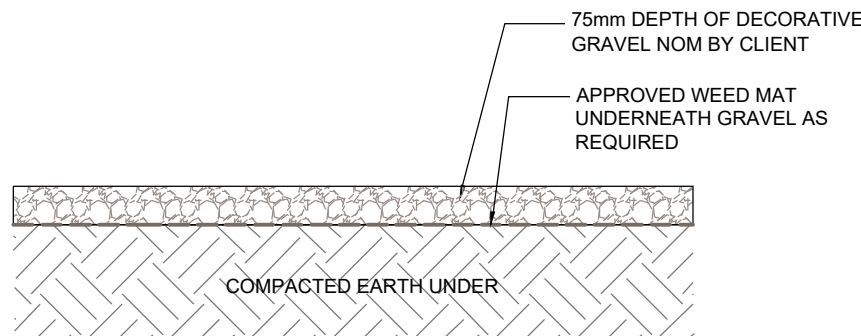
SCALE 1:10



TREE PLANTING DETAIL

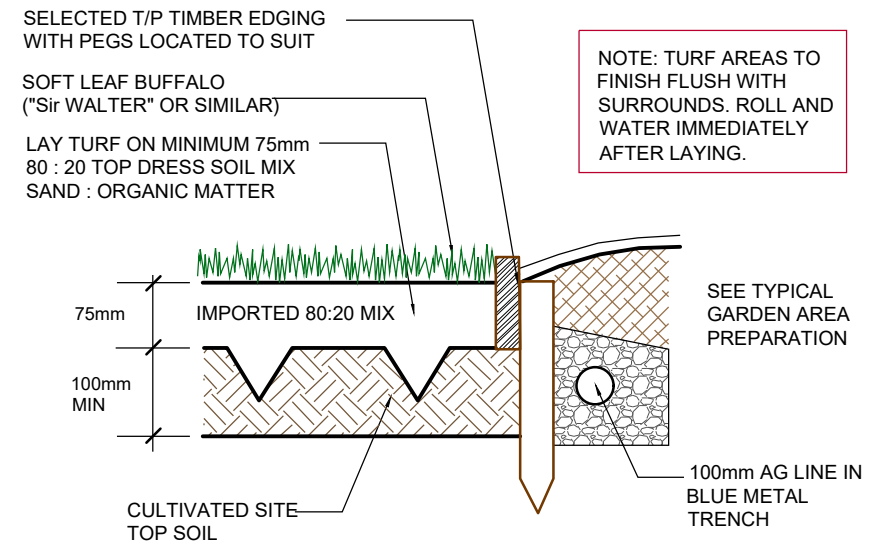
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



GRAVEL OR PEBBLES SURFACE

SCALE 1:10



TYPICAL TURFING & TIMBER EDGE

approx 1:10

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DRAWN:	C.D	CHECKED:	R.F

