



ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A COMPLYING DEVELOPMENT CERTIFICATE

AFFORDABLE RENTAL HOUSING CODE 2009

Applicant's Name and Address:

**MR SCOTT DONALDSON
154 WARRIEWOOD ROAD, WARRIEWOOD NSW 2102**

Being the applicant in respect of Complying Development Certificate No **CDC0045/13**

Owner's Name and Address:

**MR SCOTT DONALDSON
154 WARRIEWOOD ROAD, WARRIEWOOD NSW 2102**

Pursuant to section 85A of the Environmental Planning and Assessment Act 1979, notice is hereby given of the determination by Pittwater Council, as the consent authority, of this Complying Development Certificate application for:

USE OF A DETACHED OUTBUILDING AS A SECONDARY DWELLING

At:

LOT 10 DP 7827

154 WARRIEWOOD ROAD, WARRIEWOOD

BUILDING CLASSIFICATION: 1a

LANDUSE ZONE: 2(a)

Decision:

A Complying Development Certificate has been granted subject to the conditions as detailed under SEPP (Exempt and Complying Development Codes) 2008, Schedule 6, and the accordance with the following documents:

- Architectural Details Plan No. 1264, issue A, dated 18 April 2013, prepared by DEE WHY DRAFTING.
- Site Plan No. 1264, issue A, dated 18 April 2013, prepared by DEE WHY DRAFTING.
- BASIX CERTIFICATE NO. 5200645, dated 21 May 2014.



PITTWATER COUNCIL

ABN61 340837871

Telephone 02 9970 1111

Facsimile 02 9970 1200

Postal Address

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Endorsement date of issue: 4 August 2014

This Certificate lapses: 4 August 2019
(5 years from endorsement date)

Andrew Caponas

DEVELOPMENT COMPLIANCE OFFICER

Accreditation No: BPB1575

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street, Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road, Avalon

Support Services
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Depot
1 Boondah Road, Warriewood

CONDITIONS

COMPLYING DEVELOPMENT CONDITIONS

Part 3, Division 3, Subdivisions 1-3

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

Division 3 Conditions applying to complying development certificate under this code

Note. Complying development must comply with the requirements of the Act, the Environmental Planning and Assessment Regulation 2000 and the conditions listed in this Part.

Note. A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan.

Subdivision 1 Conditions applying before works commence

3.37 Protection of adjoining areas

- (1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:
 - (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
 - (b) could cause damage to adjoining lands by falling objects, or
 - (c) involve the enclosure of a public place or part of a public place.

3.38 Toilet facilities

- (1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.
- (2) Each toilet must:
 - (a) be a standard flushing toilet connected to a public sewer, or
 - (b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
 - (c) be a temporary chemical closet approved under the Local Government Act 1993.

3.39 Garbage receptacle

- (1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.
- (2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

3.39A Notification to neighbours

The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out.

3.39B Adjoining wall dilapidation report

- (1) If a wall on a lot is to be built to a boundary and there is a wall (the adjoining wall) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.
- (2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.
- (3) In this clause:
dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences.

Subdivision 2 Conditions applying during the works

Note. The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise.

3.40 Hours for construction

Construction may only be carried out between 7:00 am and 5:00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

3.41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

3.42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped.

3.43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

3.44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed.
- (2) Any approval that is required for connection to the drainage system under the Local Government Act 1993 must be held before the connection is carried out.
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained.

3.45 Utility services

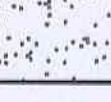
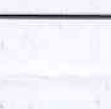
If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.



Part 7, DIV 2A, Clauses 136A-136H
Environmental Planning and Assessment Regulation 2000
(In addition to the conditions prescribed under the Codes SEPP)

1.
 - a. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
 - b. Residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance being entered into and be in force before any building work authorised to be carried out by the certificate commences.
2. Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work related (not being the Council) has given the Council written notice of the following information:
 - a. in the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer by which the work is insured under Part 6 of the Act.
 - b. in the case of work to be done by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
3. The commitments identified in the BASIX Certificate and on the plans or specifications are to be fulfilled and maintained for the life of the development.
4.
 - a. Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 318 of the Occupational Health and Safety Regulation 2001,
 - b. The person having the benefit of the complying development certificate must provide the principal certifying authority with a copy of a signed contract with such a person before any development pursuant to the complying development certificate commences,
 - c. Any such contract must indicate whether any bonded asbestos material or friable asbestos material will be removed, and if so, must specify the landfill site (that may lawfully receive asbestos) to which the bonded asbestos material or friable asbestos material is to be delivered,
 - d. If the contract indicates that bonded asbestos material or friable asbestos material will be removed to a specified landfill site, the person having the benefit of the complying development certificate must give the principal certifying authority a copy of a receipt from the operator of the landfill site stating that all the asbestos material referred to in the contract has been received by the operator.

SITE AREA :	777.8m ²
GRANNY FLAT	44.2m ²
PROPOSED	
TOTAL IMPERVIOUS :	$\frac{292\text{m}^2}{37.54 \%}$
TOTAL NON-IMPERVIOUS :	$\frac{485.8\text{m}^2}{62.46 \%}$

- | | |
|--|--------------------|
|  | GRANNY FLAT |
|  | EXISTING RESIDENCE |
|  | GRASS AREA |
|  | GRAVEL DRIVEWAY |
|  | CONCRETE AREAS |
|  | PAVED AREA |

LOT 1 DP 237425

PITTSWATER COUNCIL COMPLYING DEVELOPMENT CERTIFICATE	
Number:	GDC 0045/13
This is a copy of submitted plans, documents or Certificates associated with the issue of the Complying Development Certificate.	
Endorsed by:	A. Colones
Date:	04 AUG 2014

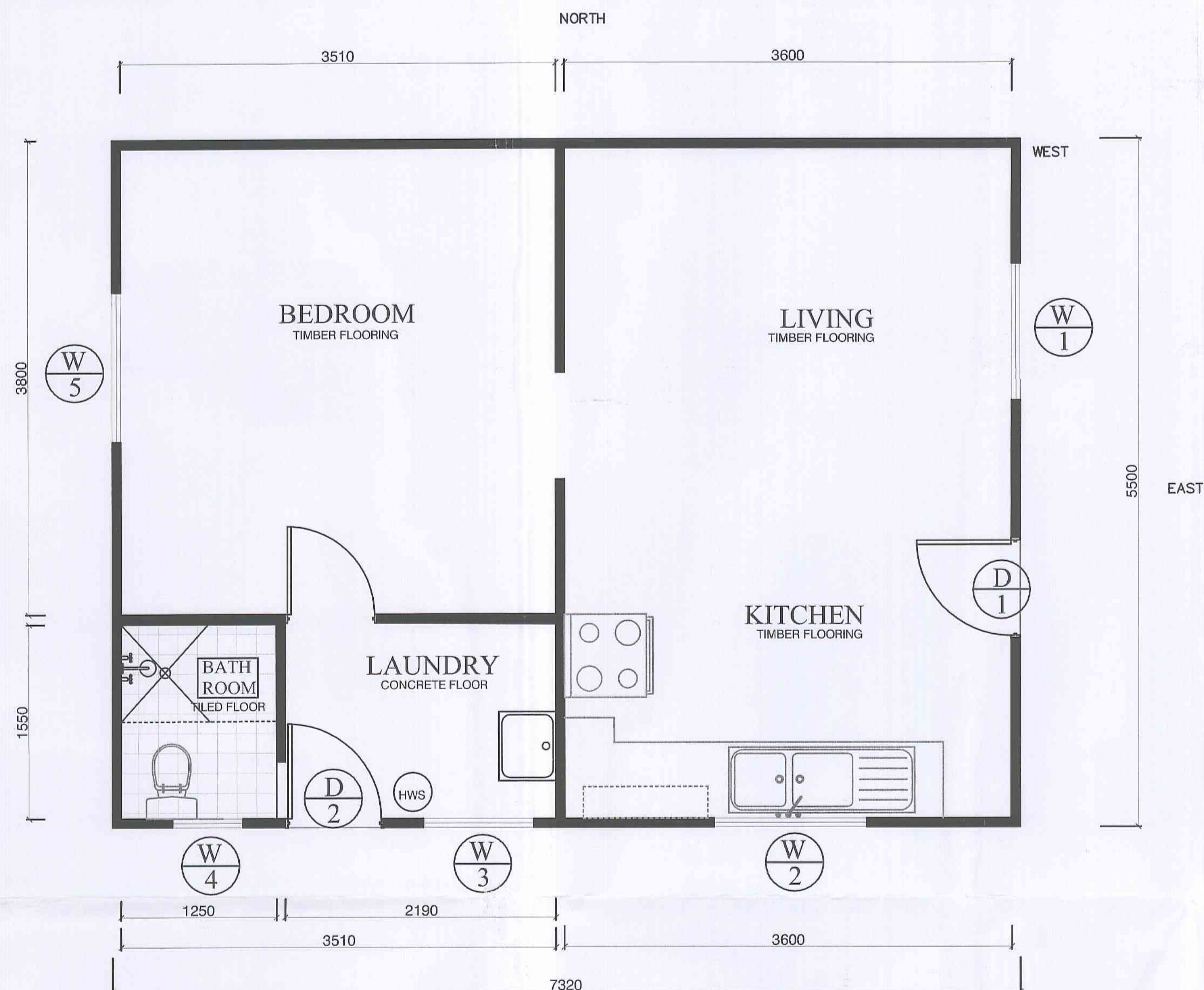


1 SITE PLAN
SCALE 1:200 @ A3

SITE PLAN

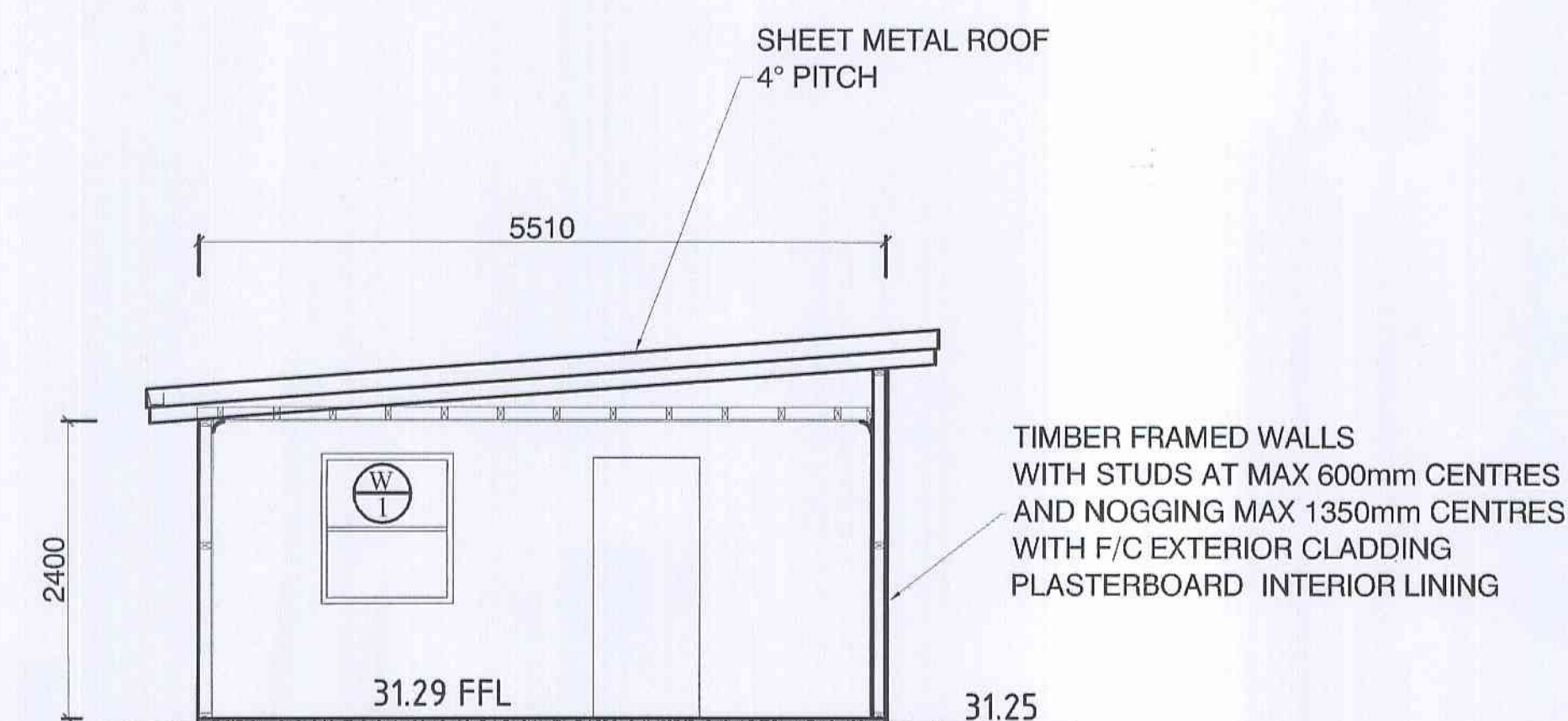
SHEET 1 /1

(ISSUE)	DATE	AMENDMENTS	NOTE 1 THIS DRAWING IS THE EXCLUSIVE PROPERTY OF SELF-WHY DRAFTING SERVICES AND THE REPRODUCTION OF ANY PART WITHOUT THE WRITTEN PERMISSION OF DEE WHY DRAFTING SERVICES IS A VIOLATION OF APPLICABLE LAWS. IN NO EVENT SHALL USE ANY DRAFTING BE LIABLE FOR SPECIAL, INCIDENTAL OR CONSEQUENTIAL LIABILITY IN CONNECTION WITH THE USE OF THE DATA (ONCE RELEASED) FROM THE PLOT OF DRAFTING. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR ANY OTHER CONSULTANTS DOCUMENTATION AND MAY BE APPLICABLE TO THE PROJECT PRIOR TO THE START OF ANY CONSTRUCTION AND DURATION OF ANY CHANGE.	CONSULTANTS Tomasz Piv Ltd.	DEE WHY DRAFTING  ADDRESS: 2/12 PATEY ST., DEE WHY PH : 08001 5551 MOB : 0430 343 122 EMAIL: deewhydrafting@hotmail.com	WORK-TYPE: GRANNY FLAT ADDRESS: 154 WARREWOOD RD, WARREWOOD LOT/PT: Lot No 10 WARREWOOD RD, WARREWOOD CLIENT: SCOTTY DONALDSON	DRAWING: SITE PLAN SCALE: 1:100 DATE: 15-04-13 DRAWN BY: Janna	JOB-NO: 1264 DRAWING NO: 1 DATE: 15-04-13 BY: A
DA	15-04-13	—	PRP DIAGNOSTIC IMAGING - COPYRIGHT OWNERSHIP	Printing permission granted for Tomasz Piv Ltd & Local Council				



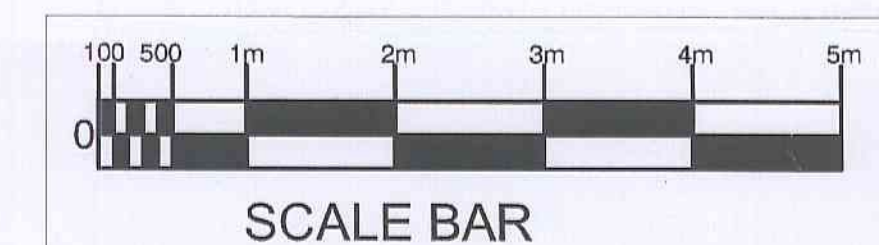
(2) FLR PLAN
Scale: 1:50@ A3

REAR GRANNY FLAT AT 154 WARRIEWOOD RD WARRIEWOOD



(3) SECTION A
Scale: 1:100@ A3

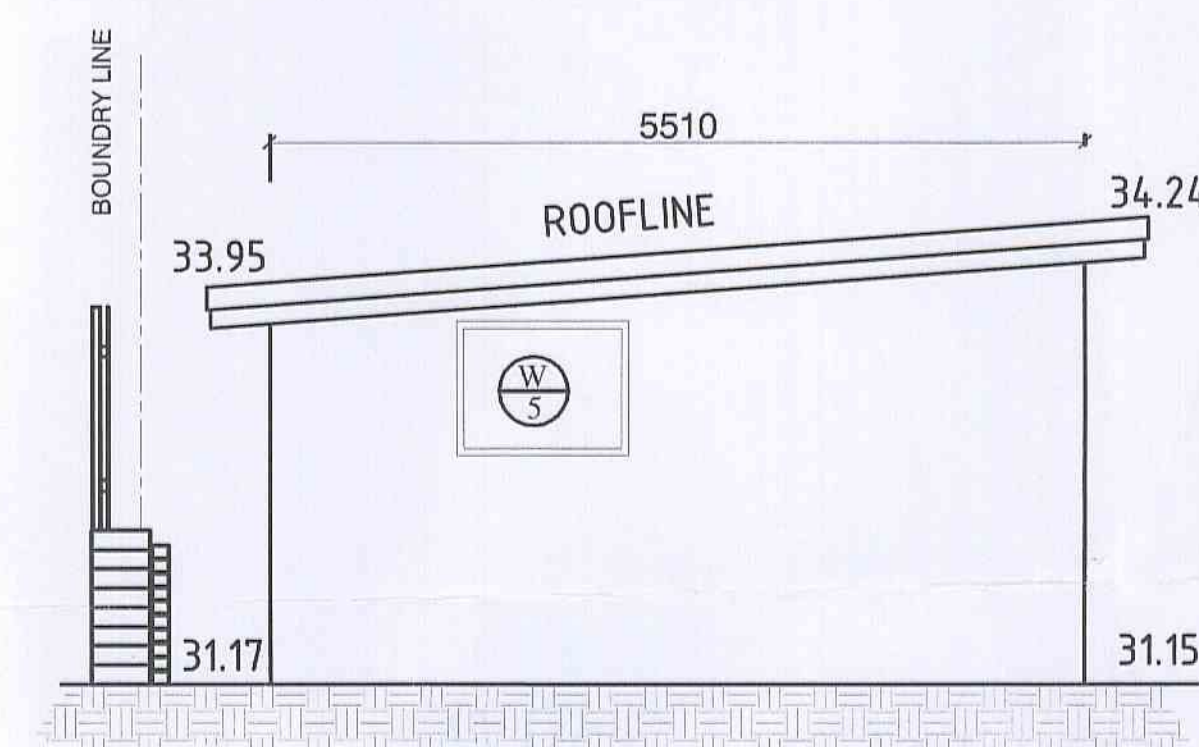
LEGEND	
	WALLS
	WINDOWS
	CONCRETE
	EARTH
	WINDOW NO.
	DOOR NO.



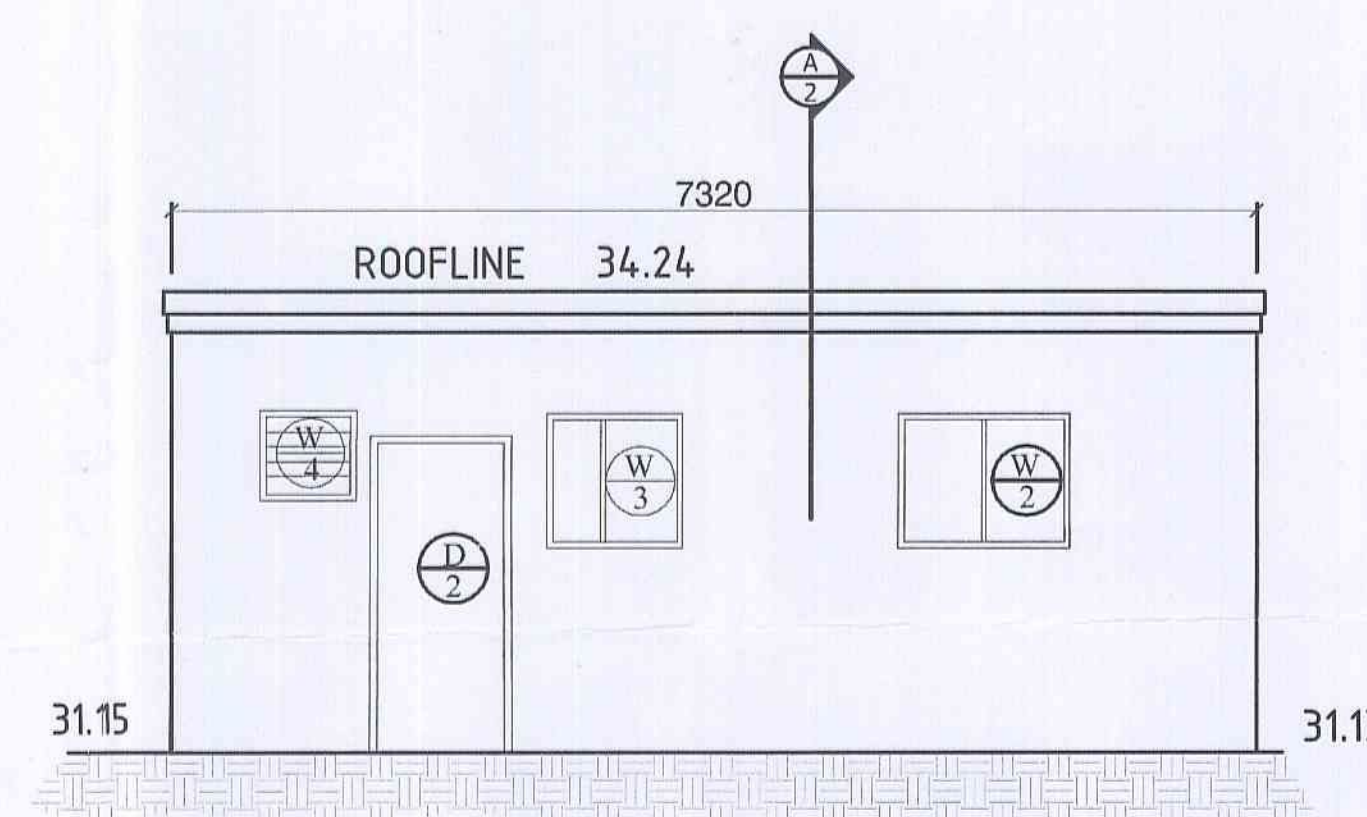
FLOOR PLAN



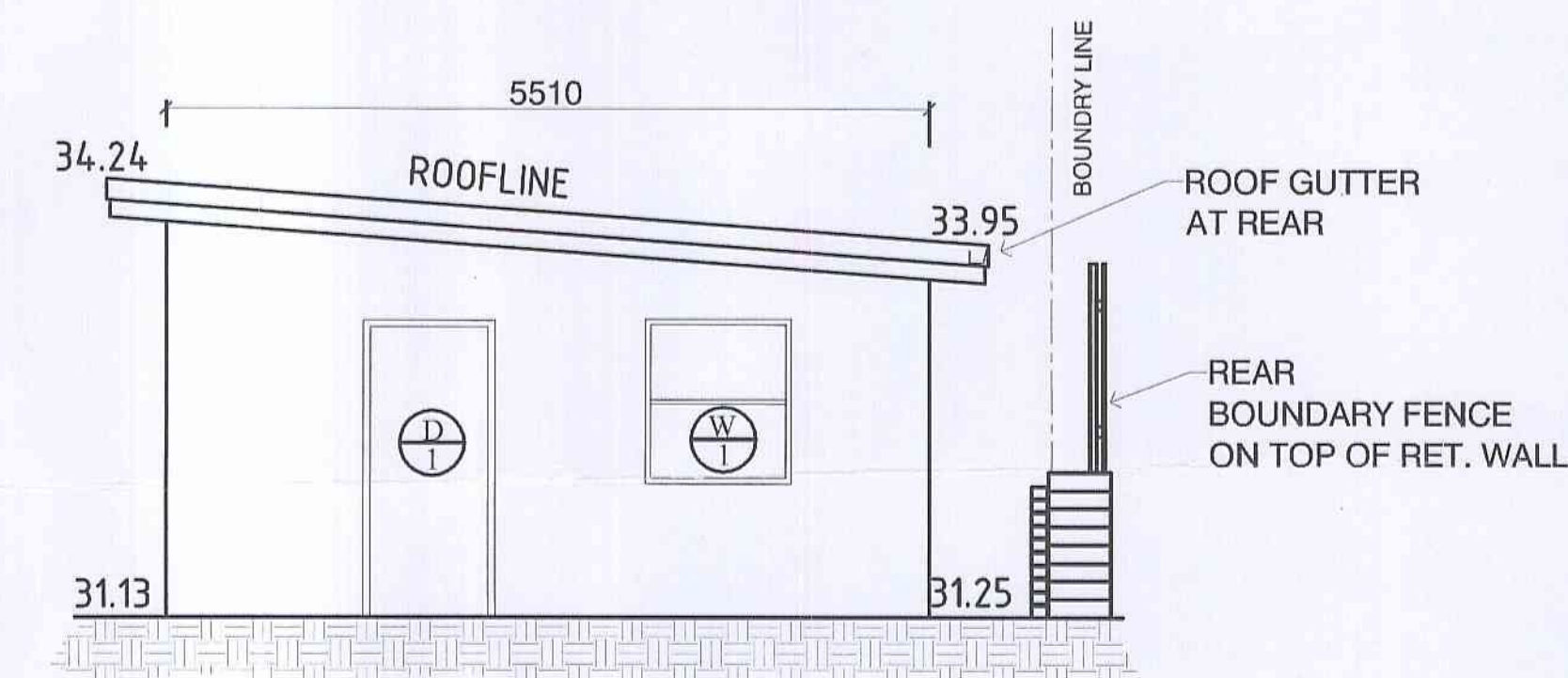
(4) NORTH ELEVATION
Scale: 1:100@ A3



(5) WEST ELEVATION
Scale: 1:100@ A3



(6) SOUTH ELEVATION
Scale: 1:100@ A3



(7) EAST ELEVATION
Scale: 1:100@ A3

(2) FLOOR PLAN, ELEVATIONS & SECTION SHEET 2/2

PITTSBURGH COUNCIL COMPLYING DEVELOPMENT CERTIFICATE	
Number: CDC	004513
This is a copy of submitted plans, documents or Certificates associated with the issue of the Complying Development Certificate.	
Endorsed by:	A. G. G. G.
Date:	04 AUG 2014

ISSUE:	DATE:	AMENDMENTS:	NOTE:	CONSULTANTS:	DEE WHY DRAFTING	WORK TYPE: GRANNY FLAT	DRAWING: FLR PLAN	JOB NO:
01	23/04/13		THIS DRAWING IS THE EXCLUSIVE PROPERTY OF DEE WHY DRAFTING SERVICES AND THE REPRODUCTION OF ANY PART WITHOUT THE WRITTEN PERMISSION OF DEE WHY DRAFTING SERVICES IS A VIOLATION OF APPLICABLE LAWS. IN NO EVENT SHALL DEE WHY DRAFTING BE HELD LIABLE FOR SPECIAL, CONSEQUENTIAL OR INCIDENTAL LIABILITY IN CONNECTION WITH THE USE OF THE DATA ORCE DELIVERED FROM THE DEE WHY DRAFTING OFFICE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONNECTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR OTHER CONSULTANTS DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO THE START OF ANY CONSTRUCTION AND MODIFICATION OF ANY WORK.		20/12 PATEY ST. DEE WHY PH : 19981 5551 MOB : 1 0430 343 122 EMAIL: deewhydrafting@hotmail.com	ADDRESS: 154 WARRIEWOOD RD, WARRIEWOOD	ELEVATIONS & SECTION	1264
			PRP DIAGNOSTIC IMAGING - COPYRIGHT OWNERSHIP			LOTS: Lot 10 to WARRIEWOOD RD, WARRIEWOOD	SCALE: 1:100	DRAWING NO:
						CLIENT: SCOTT DONALDSON	DATE: 19/04/13	1
							DRAWN BY: James	ISSUE:
								A