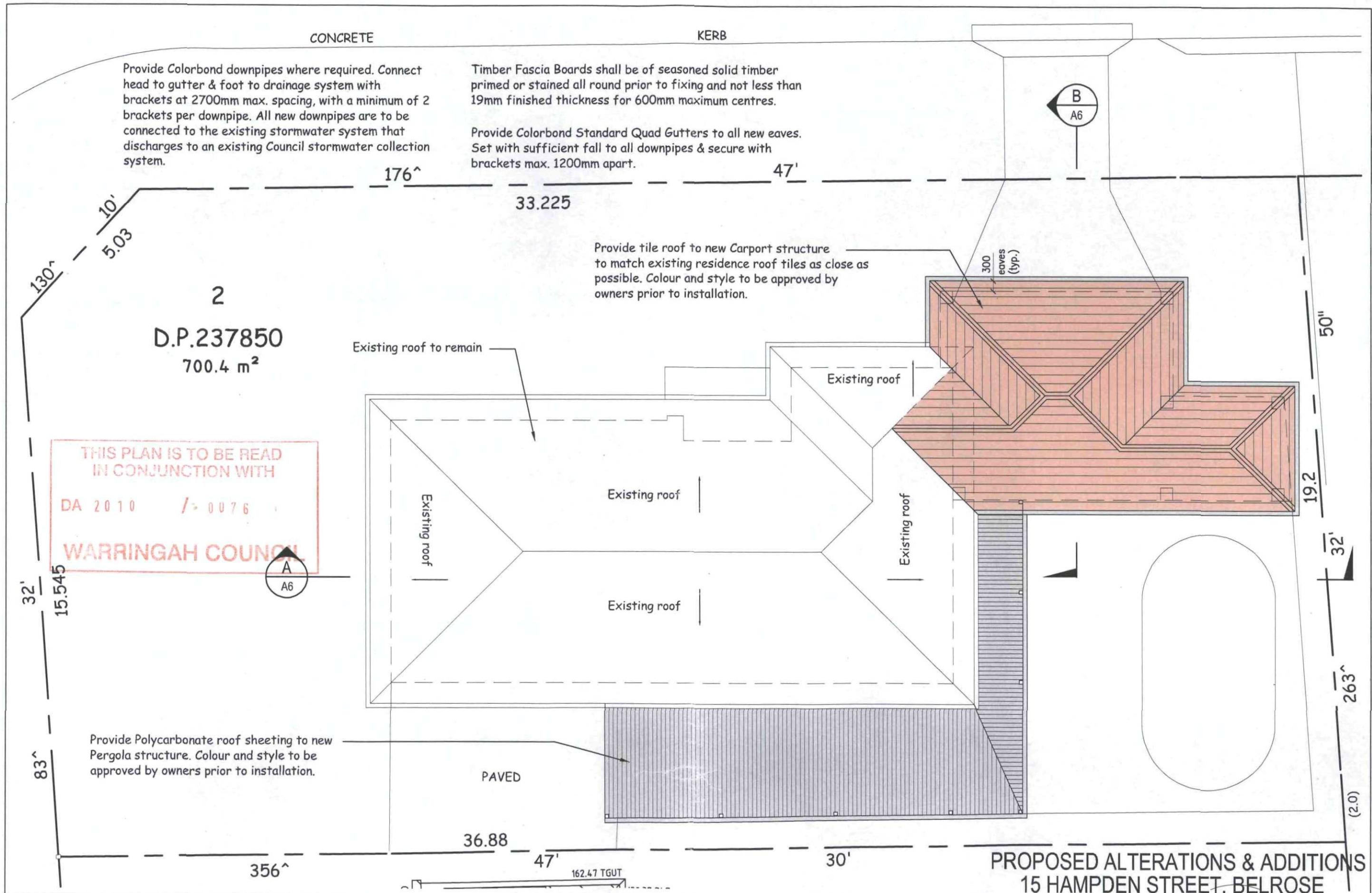




Amendments	Amendments	47 Towradgi Street, Narraweena NSW, 2099, Australia. ABN 33 099 834 153 Mobile : 0414 731 685 e-mail: sally@designanddraft.com.au	Client DANIEL & KIRSTY RYKEN	Drawing Title PROPOSED ROOF PLAN	North	Scale 1:100 @ A3 Date DEC. 2009	Job Number 10-109 Drawing Number A1 Rev. -
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Existing Ridge Level RL 164.74

Ceiling Level

Existing Residence Floor Level RL 160.48

Proposed Garage Floor Level RL 159.780

Provide tile roof to new Carport structure to match existing residence roof tiles as close as possible. Colour and style to be approved by owners prior to installation.

Boundary

New concrete slab to Engineer's requirements

New timber framed steps for access from carport to pool deck.

350 x 350 x 1200 high brick piers supporting 100 x 100 timber posts. (sizes to be confirmed by Engineer)

Natural Ground Line

EAST ELEVATION

THIS PLAN IS TO BE READ
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Building Envelope

Provide Polycarbonate roof sheeting to new Pergola structure. Colour and style to be approved by owners prior to installation and fixed to rafters in accordance with manufacturers specifications.

New 1.0m high balustrade as selected by owners to BCA requirements

New 1.2m high pool safety balustrade as selected by owners to BCA requirements

Existing Ridge Level RL 164.74

Ceiling Level

Existing Residence Floor Level RL 160.48

Proposed Garage Floor Level RL 159.780

Boundary

Natural Ground Line

Demolish existing timber steps and replace with new timber steps as shown.

Square timber posts to Engineers details.

Timber framed deck to BCA requirements.

Boundary

WEST ELEVATION

PROPOSED ALTERATIONS & ADDITIONS 15 HAMPDEN STREET, BELROSE

		 SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR COUNCIL APPROVAL	47 Towradgi Street, Narraweena NSW, 2099, Australia. ABN 33 099 834 153 Mobile: 0414 731 685 e-mail: sally@designanddraft.com.au	Client DANIEL & KIRSTY RYKEN	Drawing Title ELEVATIONS SHEET 1 OF 2	 North	Scale 1:100 @ A3	Job Number 10-109	Rev. -
Amendments	Amendments						Date DEC. 2009	Drawing Number A3	

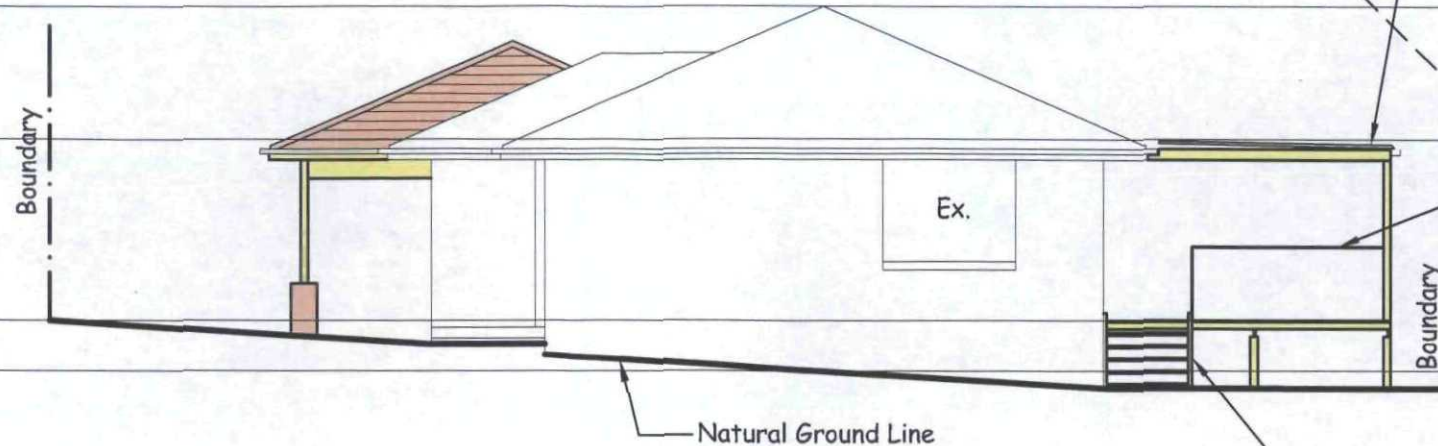
Existing Ridge Level RL 164.74

Ceiling Level

Existing Residence Floor Level RL 160.48

Proposed Garage Floor Level RL 159.780

Boundary



Provide Polycarbonate roof sheeting to new Pergola structure. Colour and style to be approved by owners prior to installation and fixed to rafters in accordance with manufacturers specifications.

New 1.0m high balustrade as selected by owners to BCA requirements

Demolish existing timber steps and replace with new timber steps as shown.

NORTH ELEVATION

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New 1.2m high pool safety balustrade as selected by owners to BCA requirements

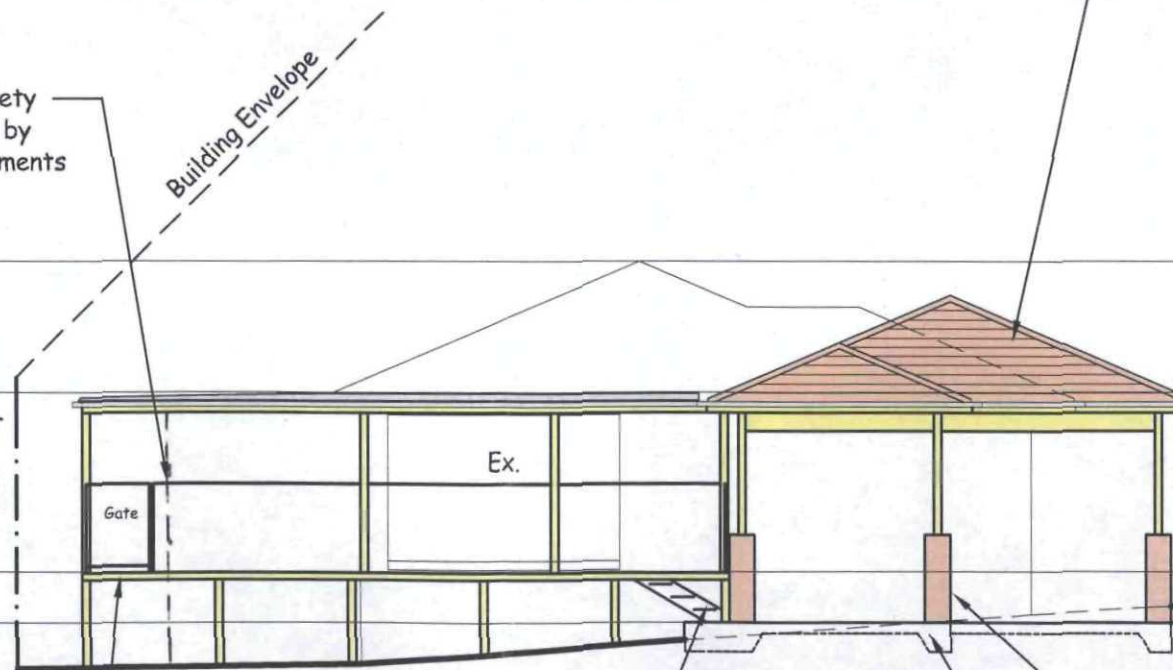
Existing Ridge Level RL 164.74

Ceiling Level

Existing Residence Floor Level RL 160.48

Proposed Garage Floor Level RL 159.780

Boundary

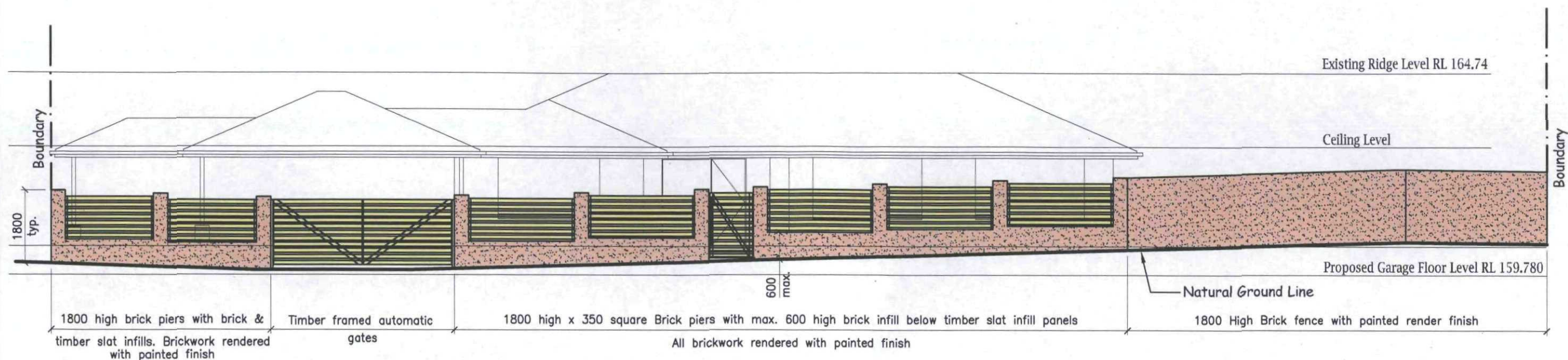


Provide tile roof to new Carport structure to match existing residence roof tiles as close as possible. Colour and style to be approved by owners prior to installation.

SOUTH ELEVATION

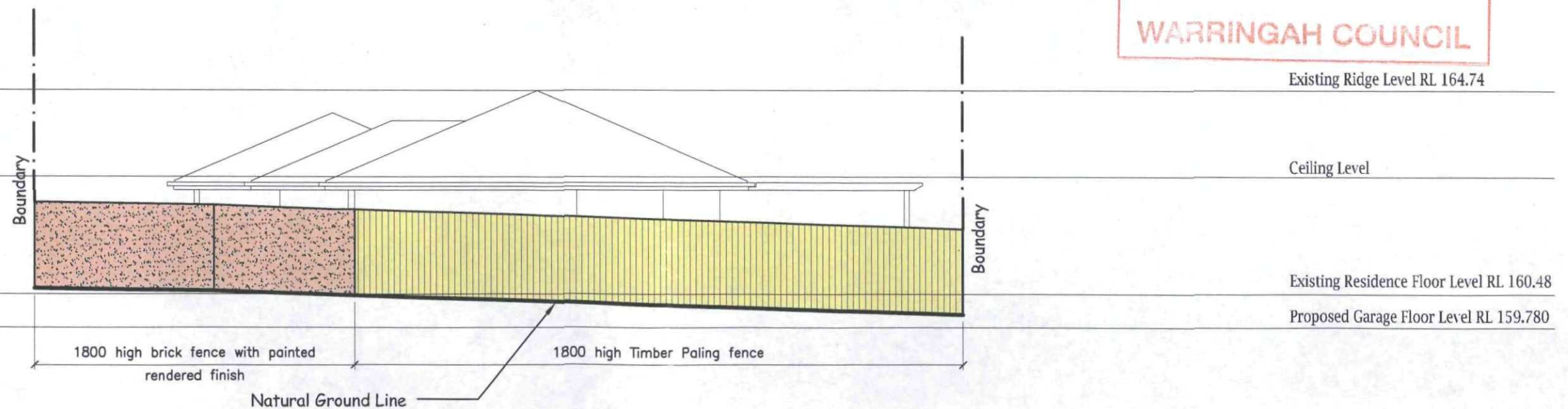
PROPOSED ALTERATIONS & ADDITIONS 15 HAMPDEN STREET, BELROSE

		 SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR COUNCIL APPROVAL	47 Towradgi Street, Narraweena NSW, 2099, Australia. ABN 33 099 834 153 Mobile : 0414 731 685 e-mail: sally@designanddraft.com.au	Client DANIEL & KIRSTY RYKEN	Drawing Title ELEVATIONS SHEET 2 of 2		Scale 1:100 @ A3	Job Number 10-109
Amendments	Amendments						Date DEC. 2009	Rev. A4 -



EAST ELEVATION - PROPOSED FENCE

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NORTH ELEVATION - PROPOSED FENCE

PROPOSED ALTERATIONS & ADDITIONS
15 HAMPDEN STREET, BELROSE

Amendments	Amendments	 SALLY GARDNER DESIGN AND DRAFT PLANS DRAWN FOR COUNCIL APPROVAL	47 Towradgi Street, Narraweena NSW, 2099, Australia. ABN 33 099 834 153 Mobile: 0414 731 685 e-mail: sally@designanddraft.com.au	Client DANIEL & KIRSTY RYKEN	Drawing Title PROPOSED FENCE ELEVATIONS	North 	Scale 1:100 @ A3 Date DEC. 2009	Job Number 10-109 Drawing Number A5	Rev. -
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SMOKE DETECTORS

Provide mains powered smoke & fire detection devices to comply with Australian Standards code requirements.

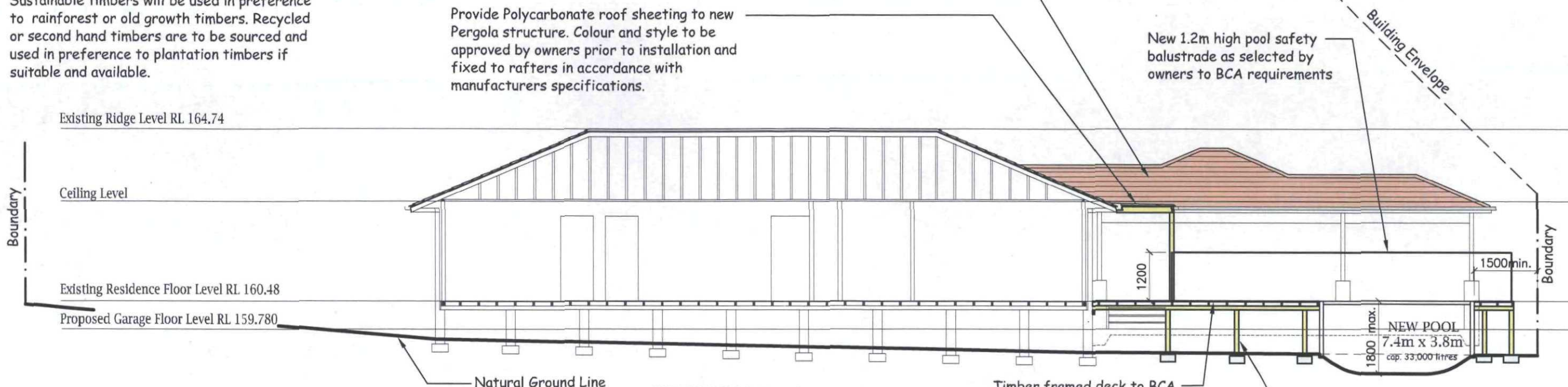
Sustainable timbers will be used in preference to rainforest or old growth timbers. Recycled or second hand timbers are to be sourced and used in preference to plantation timbers if suitable and available.

Provide tile roof to new Carport structure to match existing residence roof tiles as close as possible. Colour and style to be approved by owners prior to installation.

Provide Polycarbonate roof sheeting to new Pergola structure. Colour and style to be approved by owners prior to installation and fixed to rafters in accordance with manufacturers specifications.

TERMITE CONTROL

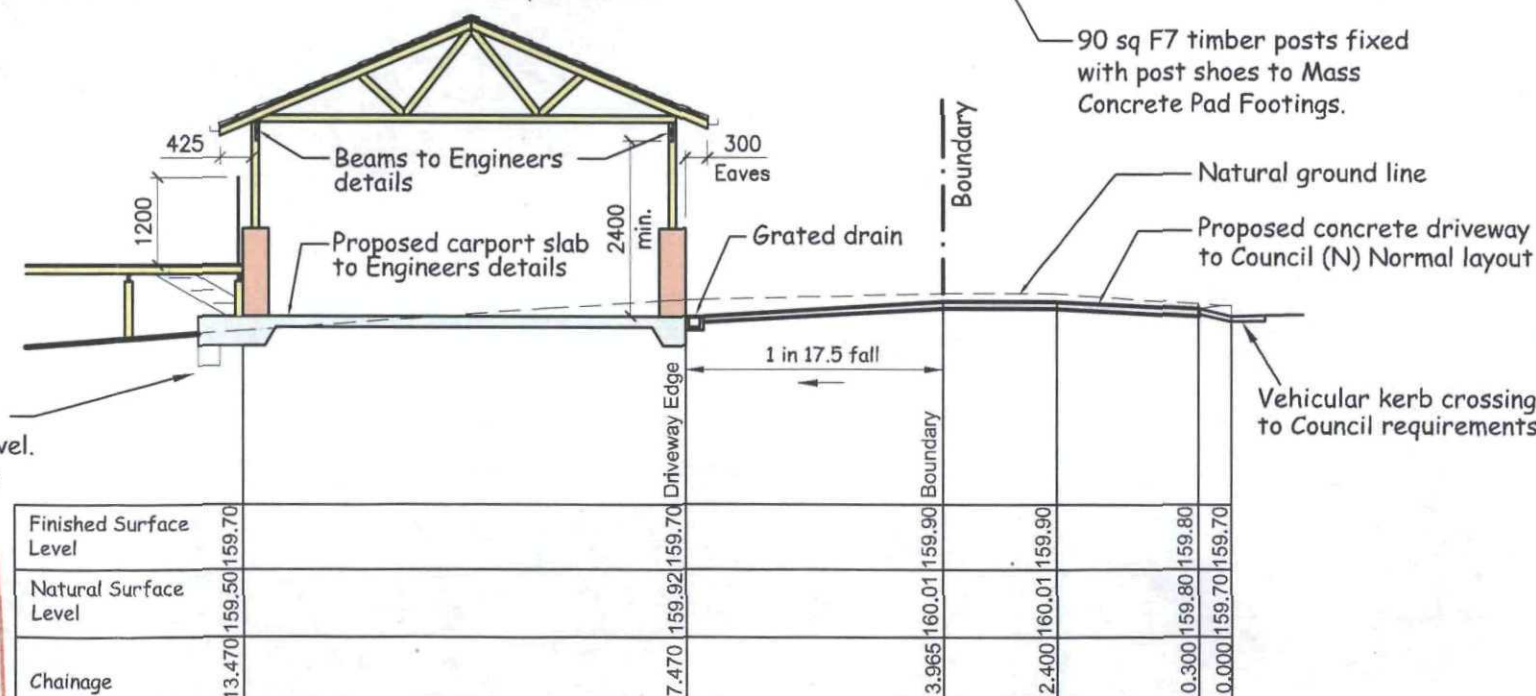
If a member which provides structural support to the work is subject to attack by subterranean termites, then provide protection to the new work by 1 or more of the means allowed for under AS 3660.1



SECTION A - A



SECTION C - C
SWIMMING POOL SECTION



SECTION B - B
CARPORT & DRIVEWAY CENTERLINE PROFILE
PROPOSED ALTERATIONS & ADDITIONS
15 HAMPDEN STREET, BELROSE

PAINTING

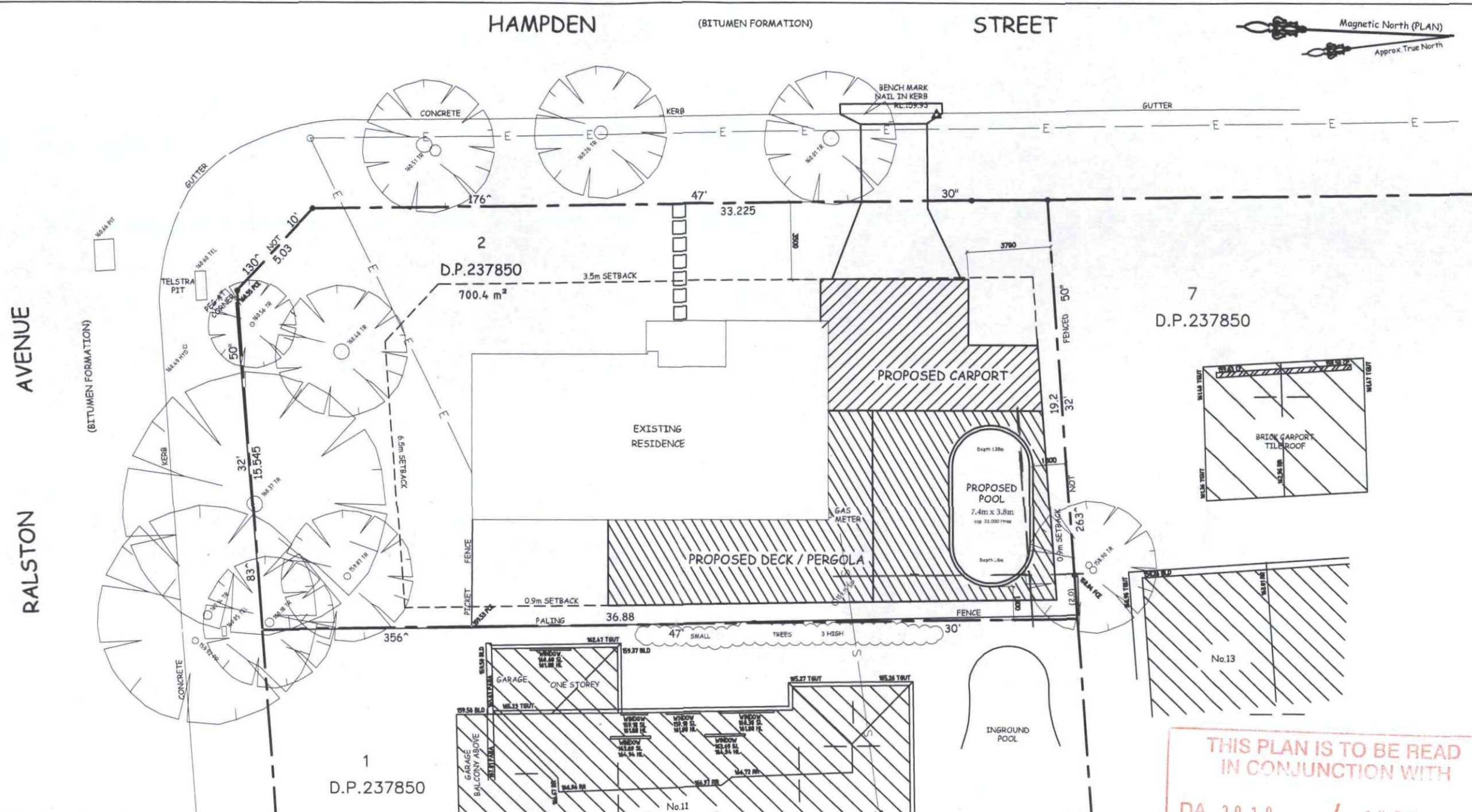
All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand and compatible to the finishing coats to be applied over them. External joinery intended to be painted, shall be primed on all faces at the place of assembly. Colours to be chosen by Owners. Where new or altered works adjoin existing painted surfaces, allow for repainting existing surfaces to provide uniform appearances. Only ZERO-VOC or LOW-VOC paints and primers are to be used.

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A	23/12/09	Pool section C added		DANIEL & KIRSTY RYKEN	SECTIONS		Drawing Number	A6	Rev.	A
	Date	Amendments								



SITE DEVELOPMENT CALCULATIONS

Site Area = Approx. 700.4m²
 Existing Residence Area = 127.42m²
 Existing Driveway Area = 28.37m²
 Existing Paved Area = 54.58m²
 Existing Garage Area = 26.23m²

 Existing Developed Area = 236.60m²
 Existing Developed Percentage = 33.78%
 Existing Landscaped Area = 420.0m²
 (Excludes areas of less than 2.0m wide)
 Existing Landscaped Percentage = 59.96%

Proposed Residence Area = 127.42m² (same)
 Proposed Driveway Area = 15.54m²
 Proposed Paved Area = 35.24m²
 Proposed Rear Deck Area = 100.60m²
 Proposed Carport Area = 48.40m²
 Proposed Swimming Pool Area = 22.09m²

 Total Proposed Developed Area = 327.20m²
 Total Proposed Developed Percentage = 46.72%
 Total Proposed Landscaped Area = 322.17m²
 (Excludes areas of less than 2.0m wide)
 Total Proposed Landscaped Percentage = 46.0%

The Proposal results in a total Increase to the Impervious Area = 34.20 m²

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PROPOSED ALTERATIONS & ADDITIONS 15 HAMPDEN STREET, BELROSE

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