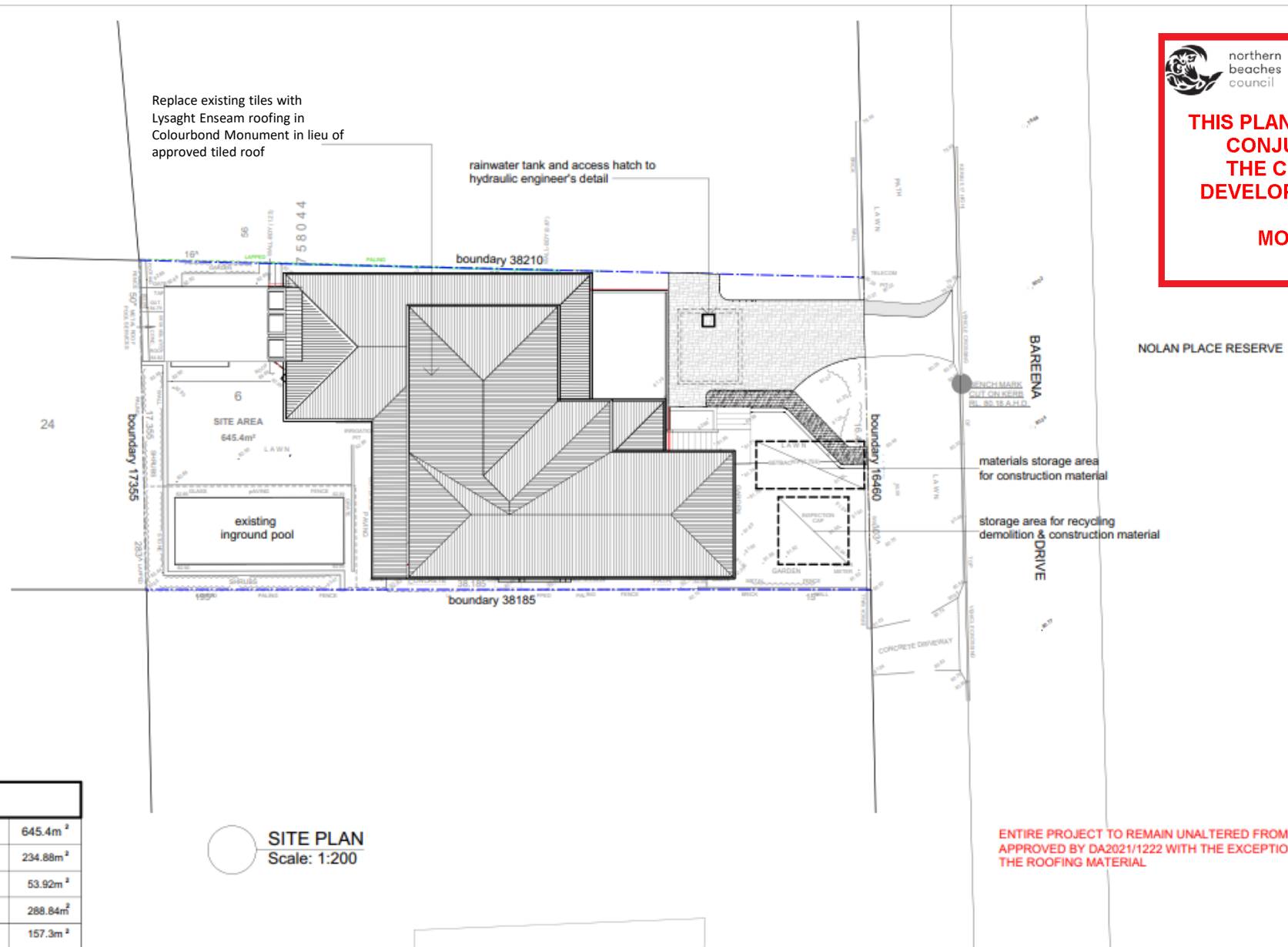


**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF
DEVELOPMENT CONSENT**

MOD2022/0276



AREA CALCULATIONS

SITE AREA:	645.4m ²
Existing Floor Area	234.88m ²
Additional Floor Area	53.92m ²
Total proposed Floor Area	288.84m ²
Proposed soft landscaping Area	157.3m ²

 **SITE PLAN**
Scale: 1:200

This is the Sheet No. _____ of _____
Builder
Drawings referred to
in the Contract dated _____
Proprietor
J.&M. Baxter

Confirm all dimensions on site prior to commencement of works. Do not scale from drawings. Use figured dimensions only, and report any discrepancies to Finesline before proceeding.

Copyright remains the property of Finesline. Reproduction of the whole or part of the document constitutes infringement of copyright.
Information, ideas and concepts contained in this document are confidential.

ISSUE:	DATE:	NOTES:
B	12.05.22	ISSUED FOR S4.55 MODIFICATION
A	30.06.21	DEVELOPMENT APPLICATION ISSUE

project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
Lot 6 Section 56 DP 758044
client: **Joanna and Michael Baxter**

drawing: **SITE PLAN/SITE ANALYSIS**

architect: **Michal Korecky** Ph.0438 148 944
consultant: **Kyle Hill** Ph.0412 221 962
structural: **Brent Guest** Ph.0414 825 022
landscape: **Ph. 9966 8630**

Draw No. **DA01**
Project No. **19.002**

finesline
building design professionals
abn: 17612552 870
57 Tennyson Road, CROMER
Email: paul@thefinesline.com.au
Web: www.thefinesline.com.au Ph: 0410 132 241

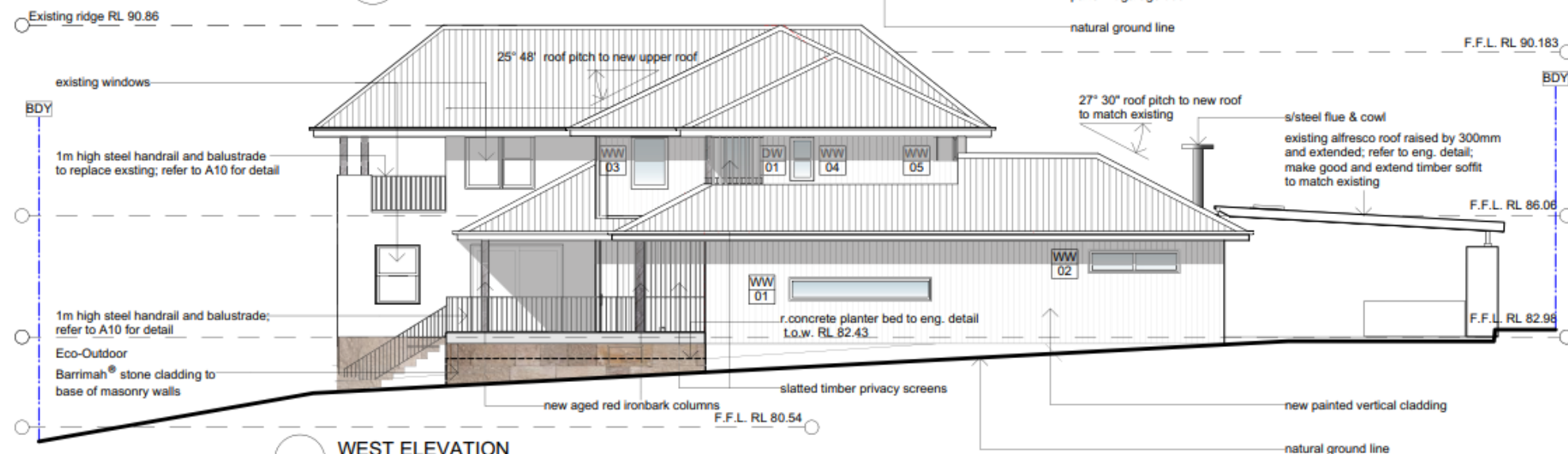


**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF
DEVELOPMENT CONSENT**

MOD2022/0276



NORTH ELEVATION
Scale: 1:100



WEST ELEVATION
Scale: 1:100

This is the Sheet No. _____ of _____
Builder
Drawings referred to in the Contract dated _____
Proprietor
J.&M. Baxter
Confirm all dimensions on site prior to commencement of works. Do not scale from drawings, use figured dimensions only, and report any discrepancies to Fineline before proceeding.
Copyright remains the property of Fineline. Reproduction of the whole or part of the document constitutes infringement of copyright.
Information, ideas and concepts contained in this document are confidential.

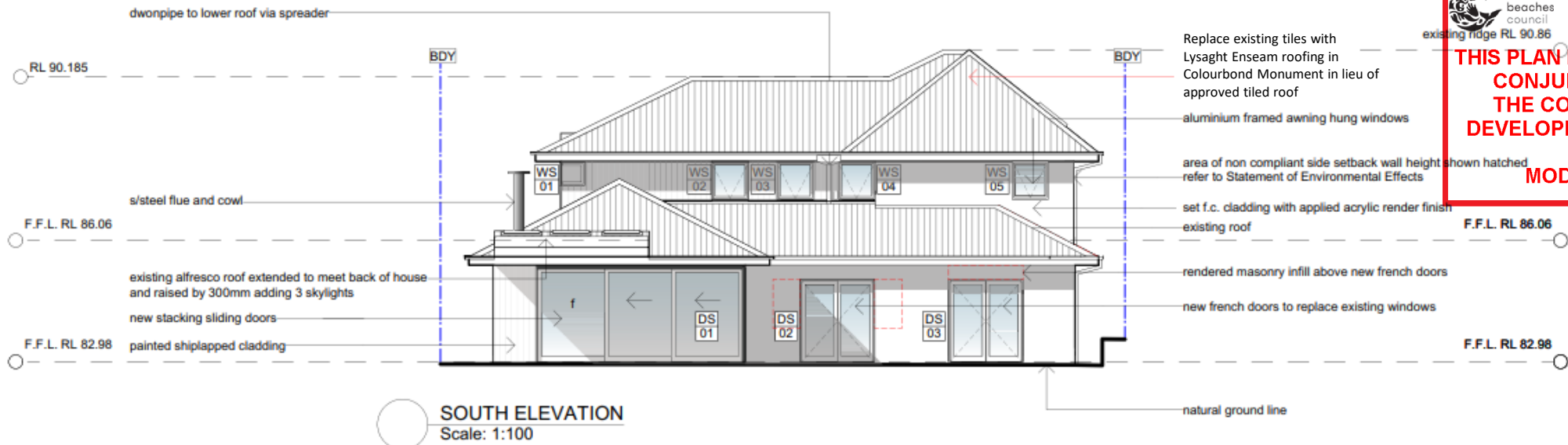
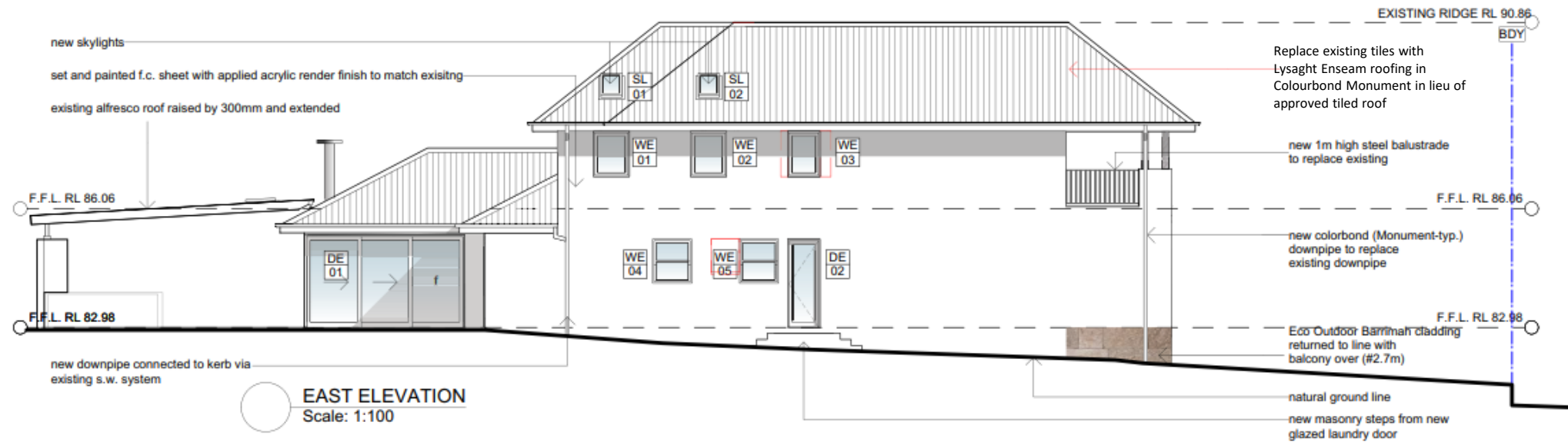
ISSUE:	DATE:	NOTES:
F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION
B	23.04.21	ISSUE FOR DISCUSSION; finish resolution
A	26.03.21	PRELIMINARY ISSUE FOR DISCUSSION

Project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
Lot 6 Section 56 DP 758044
Client: **Joanna and Michael Baxter**
Drawing: **NORTH & WEST ELEVATIONS**

Architect: **Fineline**
Architect: **Michael Korecky** Ph.0438 148 944
Consultant: **Kyle Hill** Ph.0412 221 962
Structural Engineer: **Brent Guest** Ph.0414 825 022
Quantity Surveyor: **Ph. 9966 8630**

Reg. No. **DA05**
Project No. **19.002**

fineline
building design professionals
401 1761 2652 870
57 Tennyson Road, CROMER
Email: paul@fineline.com.au
Web: www.thefineline.com.au
Ph: 0410 132 241



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2022/0276

This is the Sheet No. _____ of _____
 Drawings referred to in the Contract dated _____
 Confirm all dimensions on site prior to commencement of works. Do not scale from drawings, use figured dimensions only, and report any discrepancies to Fineline before proceeding.
 Copyright remains the property of Fineline. Reproduction of the whole or part of the document constitutes infringement of copyright. Information, ideas and concepts contained in this document are confidential.

F	12.05.22	ROOFING MATERIAL CHANGED TO STEEL
E	11.10.21	ENTOURAGE REMOVED FOR CO-ORDINATION
D	07.07.21	DEVELOPMENT APPLICATION ISSUE
C	08.06.21	CLADDING OPTION & ADDITIONAL WINDOWS
B	03.05.21	ISSUE FOR SIGN OFF
A	23.04.21	ISSUE FOR DISCUSSION; finish resolution
ISSUE:	DATE:	NOTES:

project address: **12 Bareena Drive, BALGOWLAH HEIGHTS**
 Lot 6 Section 56 DP 758044
 Clients: **Joanna and Michael Baxter**
 Drawing: **SOUTH & EAST ELEVATIONS**

Architect: **Fineline**
 Consultant Architect: **"LIVING WITH WATER"**
 Building Engineer: **Brent Guest**
 outdoor establishments: **Ph. 9966 8630**

Michal Korecky Ph.0438 148 944
 Kyle Hill Ph.0412 221 962
 Ph. 0414 825 022
 Ph. 9966 8630

fineline
 building design professionals
 57 Tennyson Road, CROMER
 Email: info@fineline.com.au Web: www.fineline.com.au Ph: 0410 132 241



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2022/0276



COLOUR AND FINISHES

Scale: 1:100

This is the Sheet No. _____ of _____	Builder
Drawings referred to in the Contract dated _____	Proprietor
Confirm all dimensions on site prior to commencement of works. Do not scale from drawings, use figured dimensions only, and report any discrepancies to Fineline before proceeding.	
Copyright remains the property of Fineline. Reproduction of the whole or part of the document constitutes infringement of copyright. Information, ideas and concepts contained in this document are confidential.	

B	19.07.22	ROOFING MATERIAL CHANGED
A	30.06.21	DEVELOPMENT APPLICATION ISSUE
ISSUE:	DATE:	NOTES:

project address:	12 Bareena Drive, BALGOWLAH HEIGHTS Lot 6 Section 56 DP 758044
clients:	Joanna and Michael Baxter
drawing:	COLOUR AND FINISHES SCHEDULE

Landscape Architect outdoor establishments	Ph. 9966 8630

Dwg.No. DA08	Project No: 19.002

fineline

building design professionals

abn 1761 2952 870

57 Tennyson Road, CROMER

Email: paul@thefineline.com.au

Web: www.thefineline.com.au

Ph: 0410 132 241