

- LEGEND**
- +26.23 Denotes spot height.
 - +25.37 TK Denotes height on top of kerb.
 - Denotes tree-diameter/spread/height.
 - Denotes overhead power wires.
 - Denotes Sydney Water Sewer.
 - Plotted approx vide DBYD Sequence No.211407308 Dated 16/05/2022
 - Denotes flow direction of roof waters.
 - Denotes ridge and levels.
 - Denotes gutter and levels.
 - Denotes level on top of wall.
 - All walls Stone, unless noted otherwise.
 - Denotes window and levels.

TREE NOTE
The spread and height of each tree is indicative only and cannot be shown accurately without further survey
The shape and size of the spread of the canopy may vary due to lack of uniformity of the branches and trunk.
All tree trunks are measured at DBH, (Diameter at Breast Height) approximately 1.3 metres above ground level.

ENCUMBRANCES NOTED ON TITLE FOLIO 47/236457
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS
2. APPURTENANT EASEMENTS FOR DRAINAGE (H360980, J883644, K47477 & K226461)
4. APPURTENANT EASEMENTS TO DRAIN WATER (DP514057, DP233078)
5. EASEMENT TO DRAIN WATER 1.22 & 1.83 WIDE (DP236457)
6. COVENANT (L358139)



STORMWATER NOTE:
(See Hydraulics Plan)
Stormwater is to be connected to the existing rainwater tank with overflow connected to the existing drainage system which drains to the drainage easement at the rear of the property

Sediment and Erosion control fences:
The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

SEDIMENT FENCE:
F1 Provide sediment fence on down slope boundary as shown on plan.
F2 Geotextile fabric to be buried 200 mm below ground at the lower edge.

Overlap
Drive post a minimum of 600 into the ground
Runoff
Stakes driven 600 mm 600 into the ground with the first stake angle towards the previously laid bale
Geotextile filter fabric, fasten on top edge
Disturbed Area
Runoff
Undisturbed Area
F3 Drainage area is 0.5 HA with a maximum slope gradient 1:2 maximum and a maximum slope length of 50 m.

SITE RATIO'S - EXISTING:

SITE AREA	708.2m²
BUILDING FOOTPRINT (including Garage)	154m ²
VERANDAH	16m ²
COVERED DECK	169m ²
OPEN DECK	12m ²
DRIVEWAY	47m ²
PAVED AREAS	85m ²
AREAS UNDER 2m WIDE	41m ²
SUM TOTAL	359m²
EXISTING LANDSCAPED OPEN SPACE AREA	349.2m²
(Minimum Landscape Open space required 40% =283.28m ²)	49%

SITE RATIO'S - PROPOSED:

SITE AREA	708.2m²
BUILDING FOOTPRINT	154m ²
CAR STAND FOOTPRINT	36m ²
VERANDAH	8m ²
COVERED DECK	33m ²
OPEN DECK	19m ²
DRIVEWAY & BIN STORE	17.5m ²
PAVED AREAS	83.5m ²
POOL SURROUNDS	14m ²
AREAS UNDER 2m WIDE	27m ²
SUM TOTAL	392m²
PROPOSED LANDSCAPED OPEN SPACE AREA	316.2m²
(Minimum Landscape Open space required 40% =283.28m ²)	44.6%

Project North

LIFESTYLE HOME DESIGNS

LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

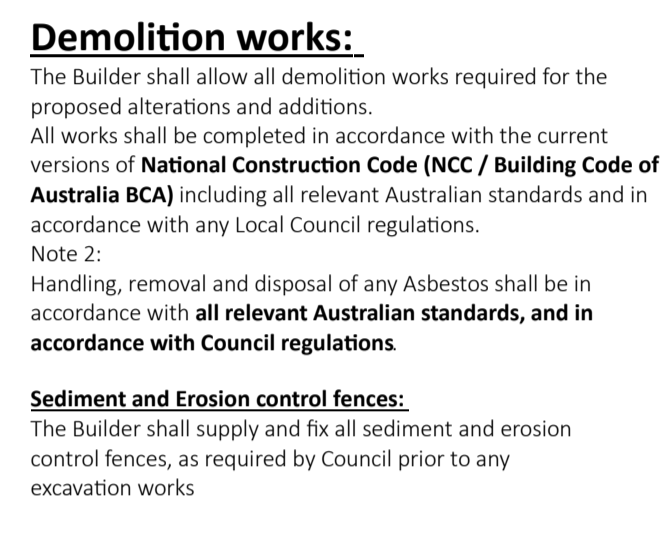
Client
MS. MATTHEWS

Project Name
ALTERATIONS & ADDITIONS
LOT 47 DP 236457
11 COUTTS CRESCENT
COLLAROY NSW 2097

Drawing Title:
SITE PLAN

Scale : 1:100 (A1)	Date : SEPTEMBER 2022
Council : NORTHERN BEACHES	Checked By : J. ADAMS
Project No : 2202	Drawing # : [v2] DA 01
ANNEXURE "A" Plot Date: 4/01/2023	

SITE AREA	708.2m²
EXISTING GARAGE FLOOR AREA	28m ²
EXISTING GROUND FLOOR AREA	109m ²
EXISTING FIRST FLOOR AREA	122m ²
SUM TOTAL	259m²
FLOOR SPACE RATIO	0.37:1
(max. permissible: NA)	



2 EXISTING FIRST FLOOR PLAN 1:100



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LIGHTING:
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

WATER COMMITMENTS:
New or altered fixture requirements
Showers must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

SWIMMING POOL: Maximum size pool must not be greater than 45 kilolitres. It must have a pool pump timer, pool cover and will be Solar heated.

You are required to install a rainwater tank- Minimum rainwater tank size: 1389 Litres.

Any new Hot water system shall be a Solar (electric boosted) system in accordance with the Basix certificate

External walls: The external walls shall meet minimum R1.16 (or R1.70 including construction)

All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.

You have selected one or more standard windows or glazed doors [i.e. standard aluminium or timber frames and single clear or toned glazing]. Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors [i.e. improved frames, pyrolytic low-e glass or clear/air/gas/clear glazing, or toned/air/gas/clear glazing]. You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for how eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed door. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed

All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate. Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate.



Client
MS. MATTHEWS
Project Name
ALTERATIONS & ADDITIONS
LOT 47 DP 236457
11 COURTS CRESCENT
COLLAROY NSW 2097

Scale: 1:100 (A1)	Date: SEPTEMBER 2022
Council: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 2202	Drawing #: (V2) DA 02
ANNEXURE "A"	Plot Date: 4/01/2023

FLOOR AREA CALCULATIONS-

PROPOSED:

SITE AREA	708.2m ²
PROPOSED GROUND FLOOR AREA	139m ²
PROPOSED FIRST FLOOR AREA	121m ²
SUM TOTAL FLOOR SPACE RATIO	0.37:1
(Max. permissible: NA)	

Swimming Pool

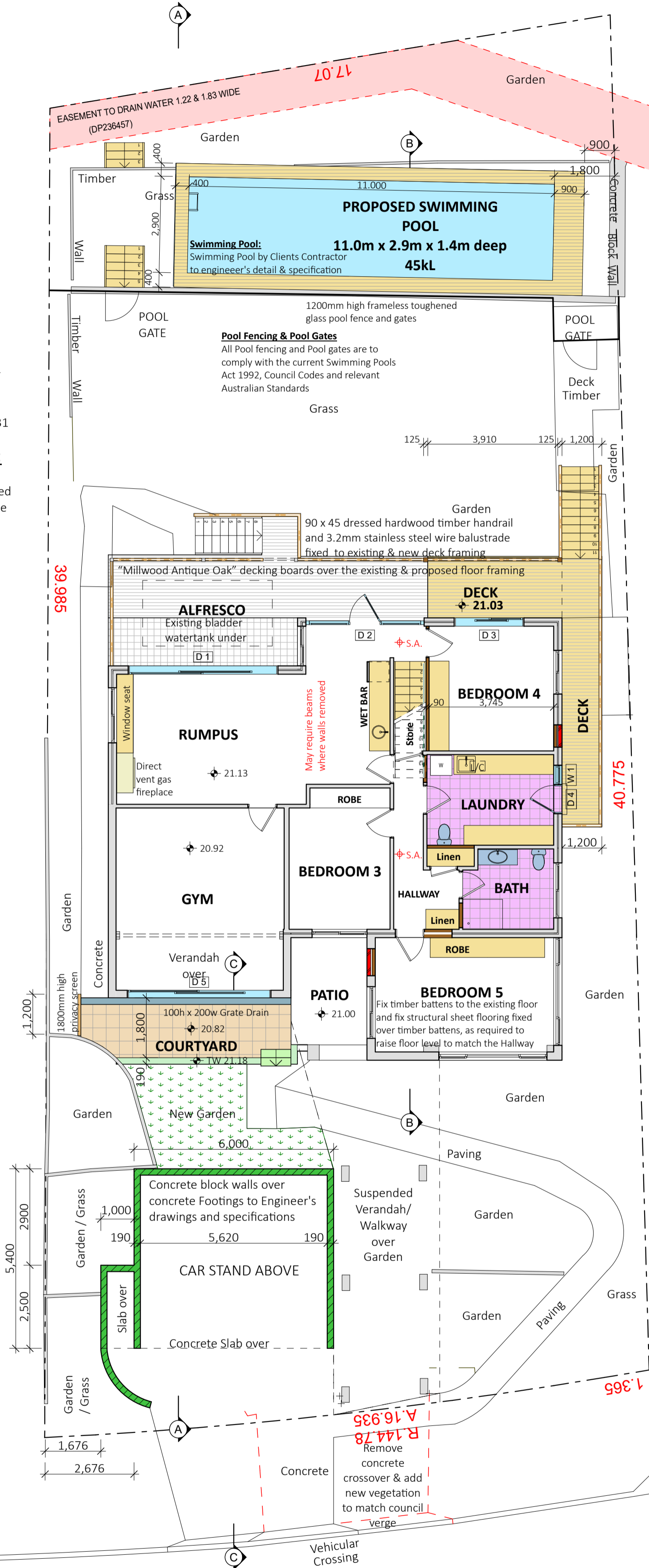
The Swimming Pool and all work related to fitting the swimming pool is to be by the Client's Contractor. Swimming Pool is to be to engineer's details and specification.

NOTE: Pool backwash to be connected into sewer complying with SEPP clause 3C.31

NOTE: Pool equipment is to be located in soundproof box to comply with SEPP clause 3C.231

Temporary Fencing- Proposed Pool:

The Builder / Clients contractor shall supply temporary fencing around the area of the proposed swimming pool for the duration of the work on the swimming pool, pool deck & pool fence.



1

PROPOSED GROUND FLOOR PLAN

1:100

2

PROPOSED FIRST FLOOR PLAN

1:100

WINDOW / DOOR SCHEDULE

NOTE: The Builder shall source all windows and doors from Client's selected supplier

NOTE: All new windows and new external doors are to comply with the Basix Certificate

NOTE: The Builder shall check measure all windows and doors on site prior to order

Note: All opening bedroom windows located 2m or greater above ground level, shall have fall prevention screens. Restrictive opening devices being affixed to all windows, as required, to comply with BCA Part 3.9.2.6 & 3.9.2.7

W 1	1180h x 580w uPVC Framed Casement Window
W 2	1180h x 1800w uPVC Framed Gas Strut Window
W 3	2100h x 920w uPVC Framed Louvre Window
W 4	600h x 2100w uPVC Framed Sliding Window
W 5	1050h x 1500w uPVC Framed Tilt & Turn Window with Obscure Glass
W 6	1050h x 750w uPVC Framed Tilt & Turn Window with Obscure Glass

D 1	2100h x 4500w uPVC Framed Glass Panel Sliding Door
D 2	2100h x 3555w uPVC Framed Glass Panel 920mm Hinged Door with Double Hung Sidelights
D 3	2100h x 2100w uPVC Framed Glass Panel Sliding Door
D 4	2100h x 900w uPVC Framed Glass Panel Hinged Door
D 5	Special Approx. 2430h x 4320w uPVC Framed Glass Panel Sliding Door to fit the existing opening
D 6	2100h x 4500w uPVC Framed Glass Panel Sliding Door
D 7	2100h x 2700w uPVC Framed Glass Panel Stacker Door
D 8	Special Approx. 2100h x 1130w uPVC Framed Select Entry Door and Sidelight to fit the existing opening

S 1	"Velux" Skylight 780 x 980 mm (M06)- F5 over the Walk in Robe
S 2	"Velux" Skylight 780 x 980mm (M04)- V55 over the Ensuite

✚ S.A.

Smoke-alarm - indicates a hard-wired smoke alarm installed in accordance with clause 3.7.5 of NCC and complying with the requirements of AS3786-(2014)

General Note:

The Builder shall allow for removing and replacing all existing internal doors. The Builder shall supply and fix "Hume" internal solid core doors to fit existing openings, unless otherwise specified. Door furniture including hinges shall be supplied by the Client and fixed by the Builder.

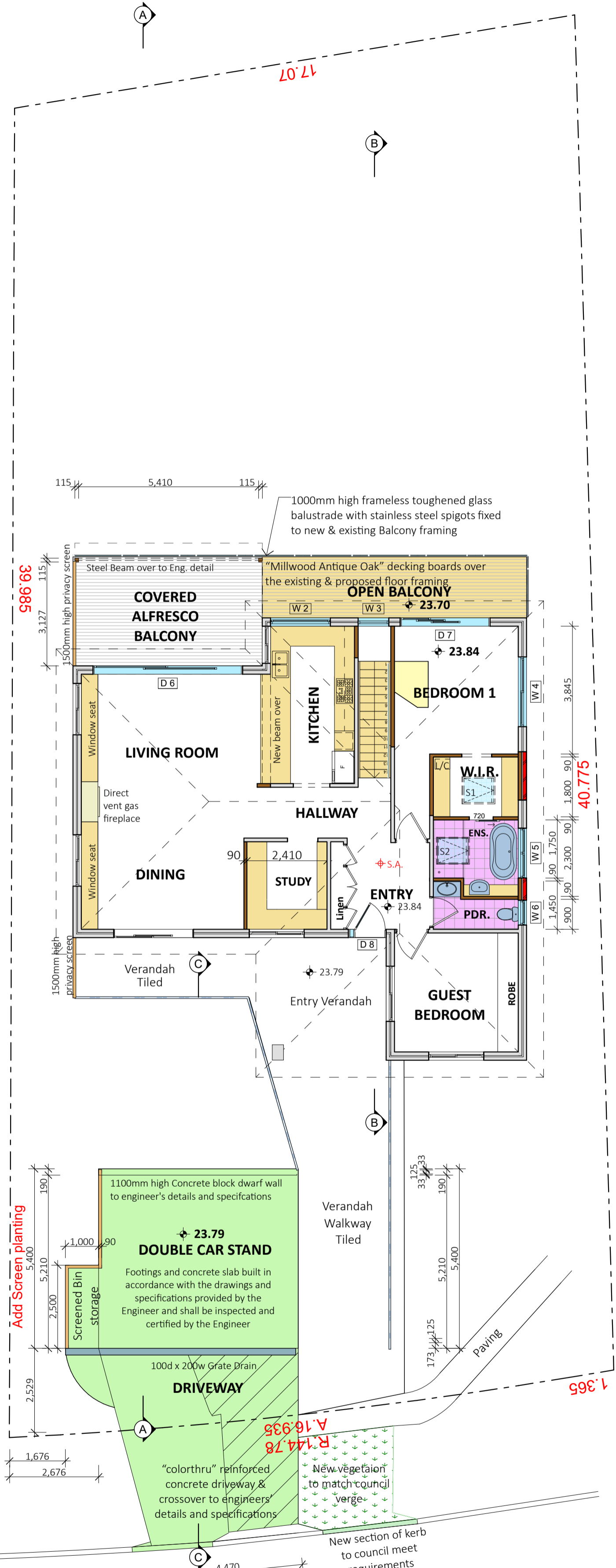
Note: Where doors are to be replaced the Builder shall check measure on site prior to order.

STAIRCASE NOTES:

Note: The Builder shall check measure on site prior to ordering the stair.

Note: The stair and Balustrade shall comply with the current versions of **National Construction Code** (NCC / Building Code of Australia BCA) and **all relevant Australian standards**.

Note: A Handrail is to be provided on one side of the stairs to comply with BCA 3.9.2.4



NOTES:

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WATER COMMITMENTS:

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HOT WATER SYSTEM:

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INSULATION REQUIREMENTS:

floor above existing dwelling or building: nil
External walls: The external walls shall meet minimum R1.16 (or R1.70 including construction)

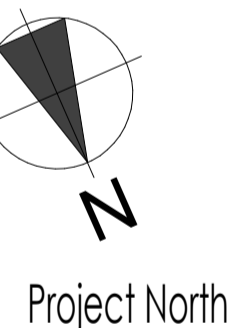
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PH. (02)9986 1311 FAX (02)9986 1322

Client
MS. MATTHEWS
Project Name
ALTERATIONS & ADDITIONS
LOT 47 DP 236457
11 COUTTS CRESCENT
COLLAROY NSW 2097

Drawing Title:

PROPOSED FLOOR PLANS

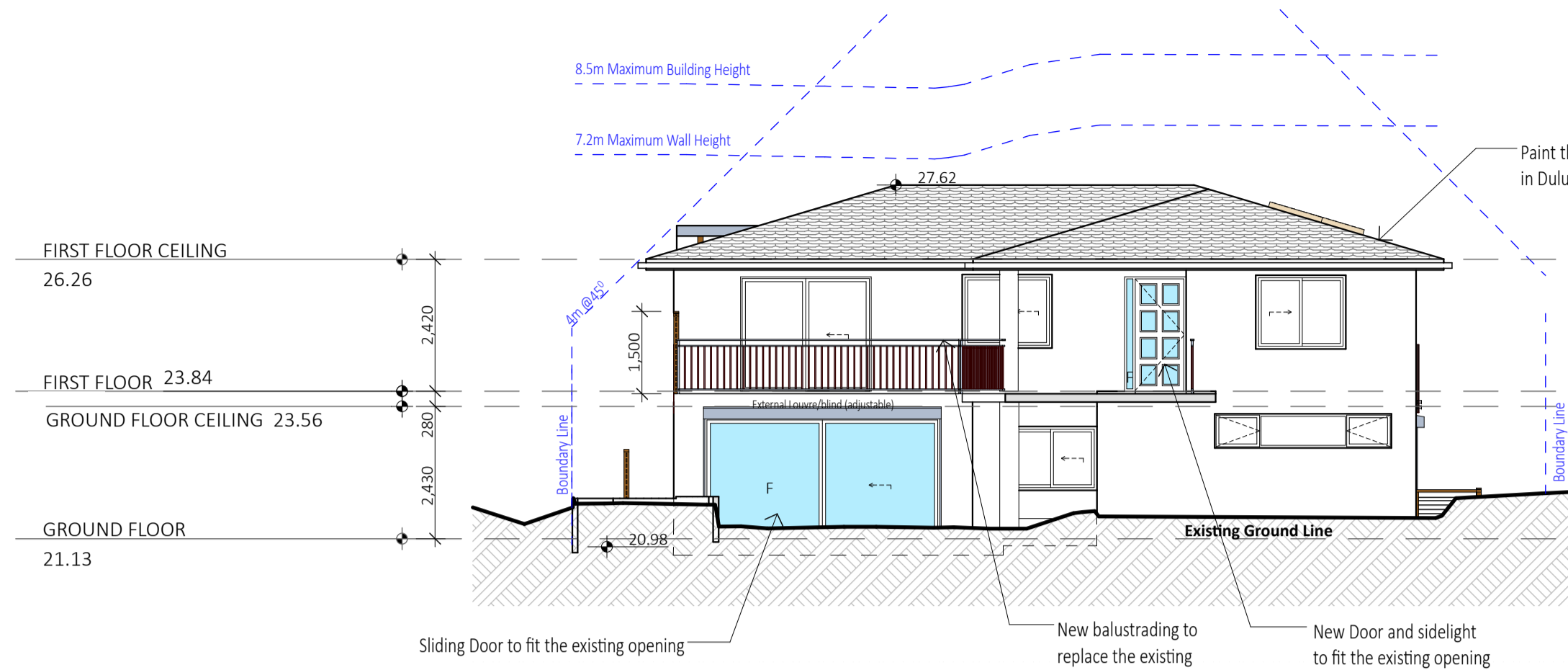
Scale : 1:100 (A1) Date : SEPTEMBER 2022

Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : Drawing # : [V2]

2202 **DA 03**

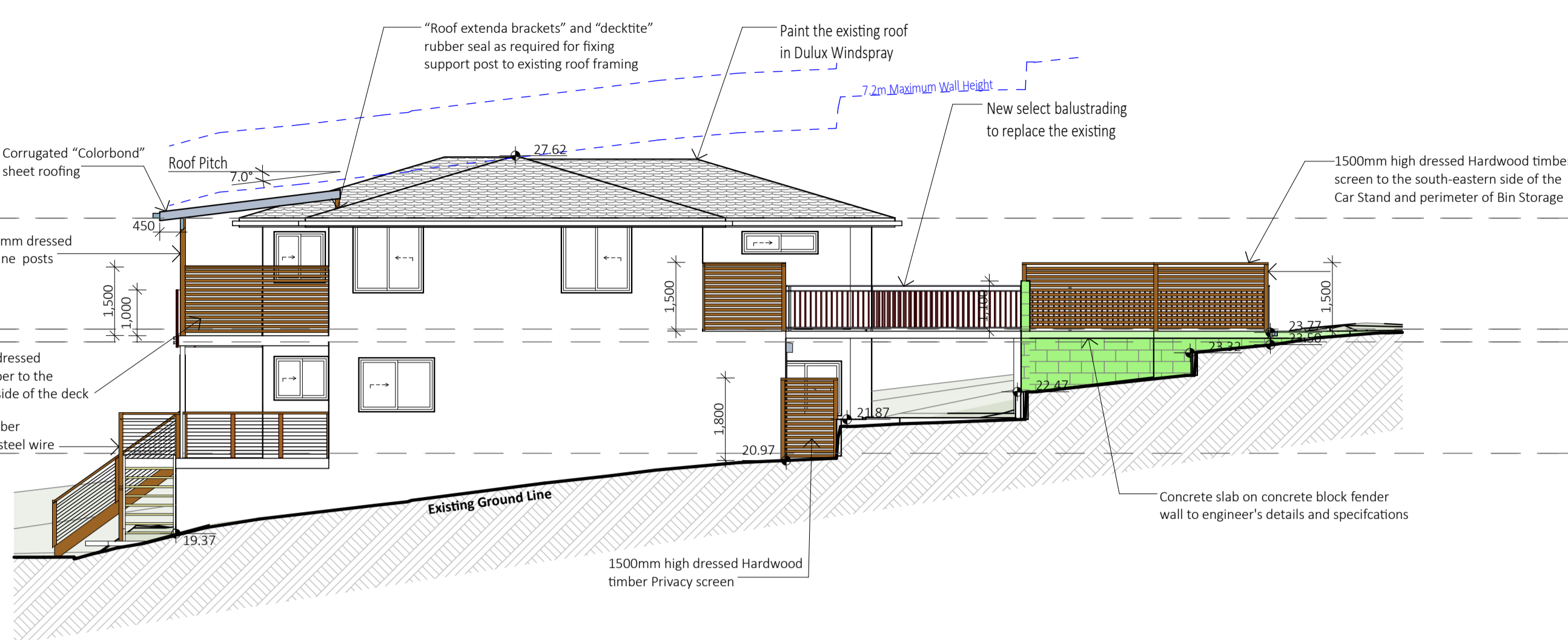
ANNEXURE "A" Plot Date: 4/01/2023



1

NORTH EAST ELEVATION

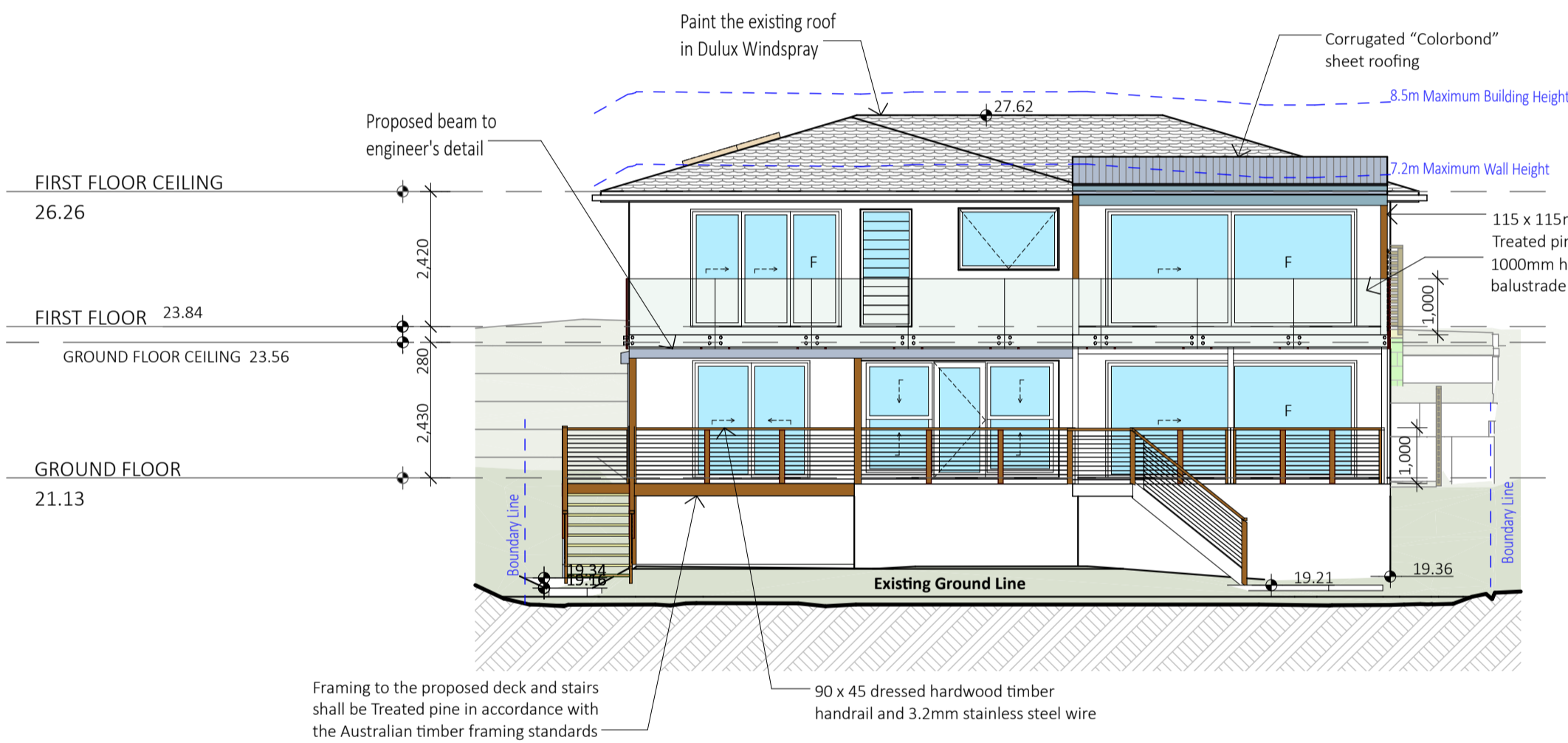
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2

SOUTH EAST ELEVATION

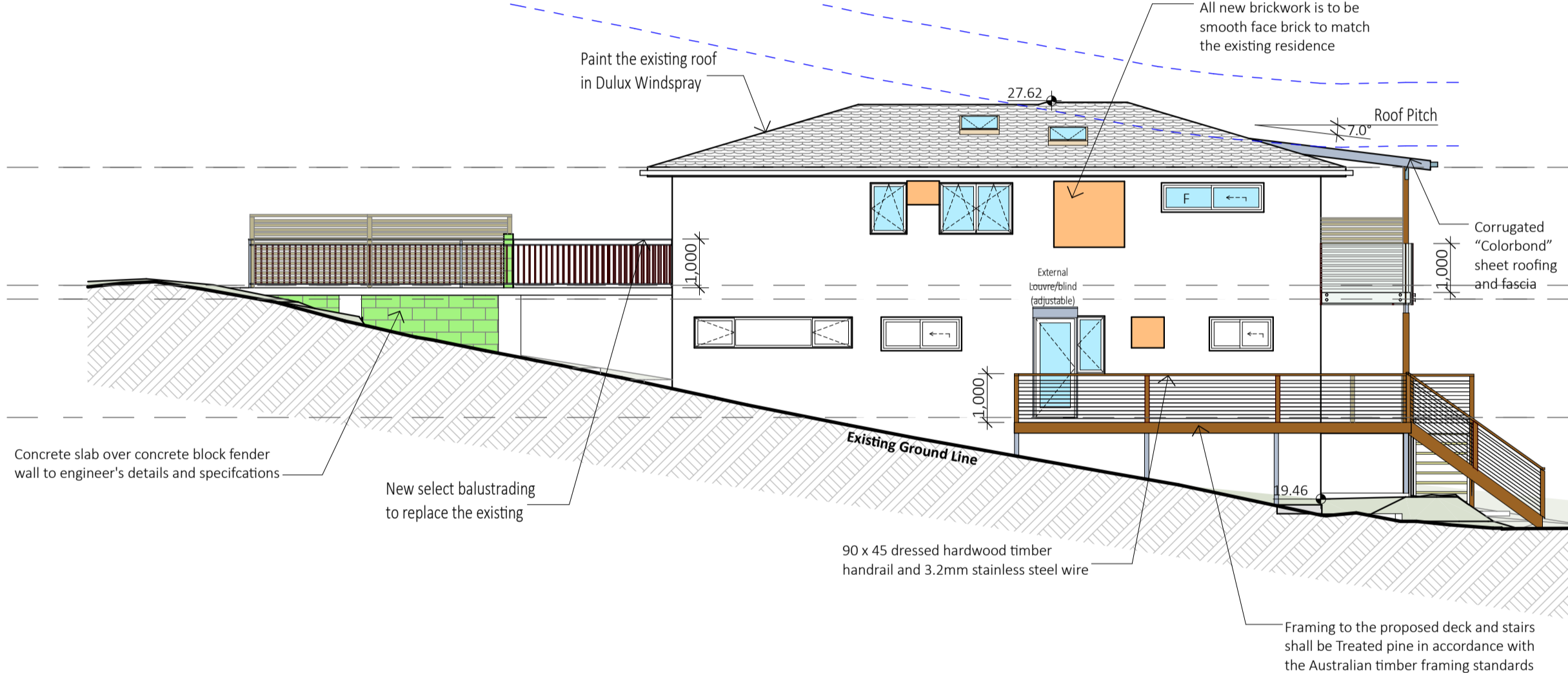
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3

SOUTH WEST ELEVATION

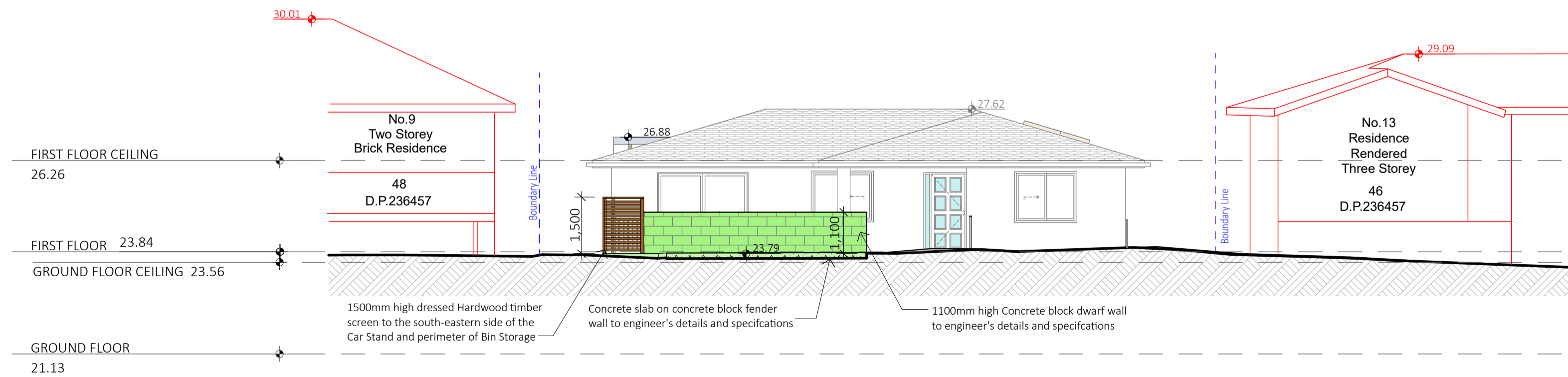
1:100



4

NORTH WEST ELEVATION

1:100



5

NORTH EAST ELEVATION- CAR STAND & STREET VIEW

1:100

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LIFESTYLE
HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MS. MATTHEWS
Project Name
ALTERATIONS & ADDITIONS
LOT 47 DP 236457
11 COUTTS CRESCENT
COLLAROY NSW 2097

Drawing Title:

ELEVATIONS

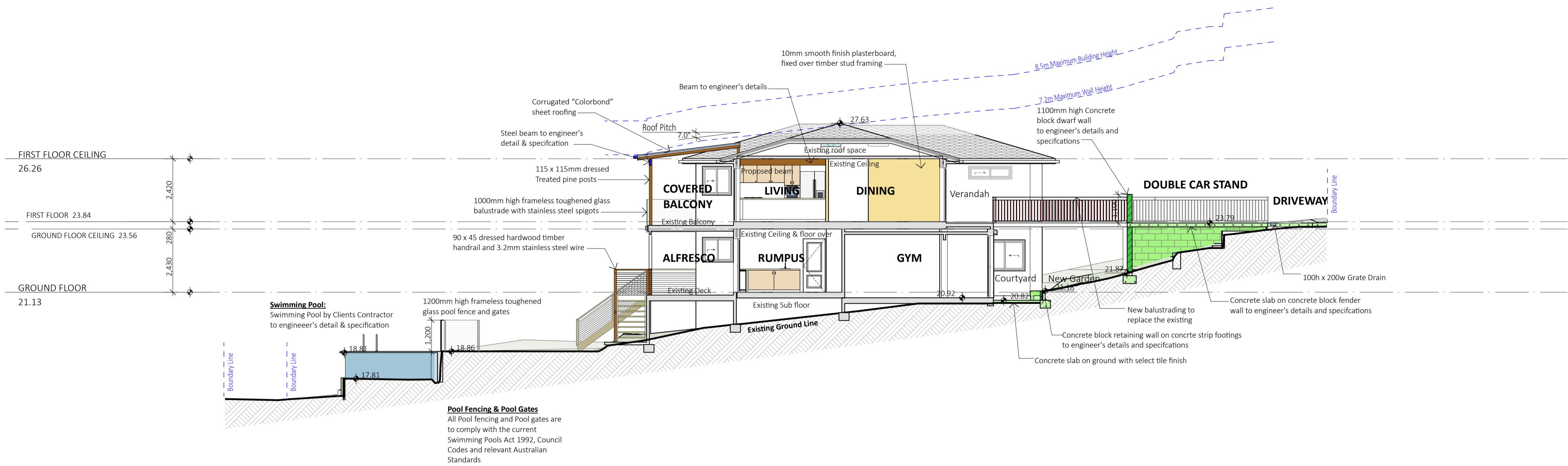
Scale : 1:100 (A1) Date : SEPTEMBER 2022

Council : NORTHERN BEACHES Checked By : J. ADAMS

Project No : Drawing # : [V2]

2202 **DA 04**

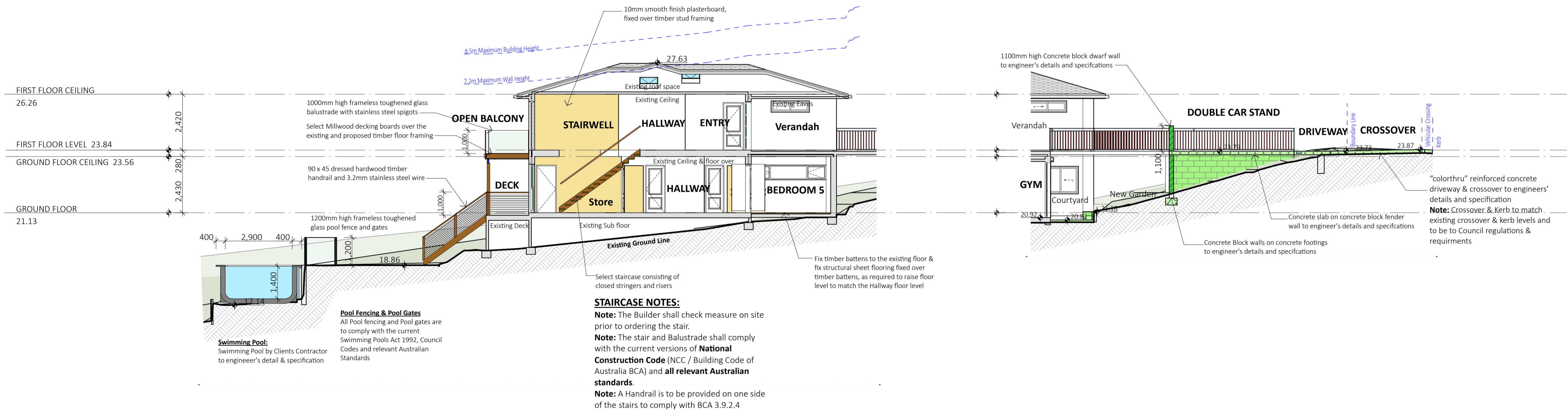
ANNEXURE "A" Plot Date: 4/01/2023



1

SECTION A - A

1:100



2

SECTION B - B

1:100

3

SECTION C - C

1:100

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LOT 47 DP 236457
11 COUTTS CRESCENT
COLLAROY NSW 2097

Drawing Title:

SECTIONS

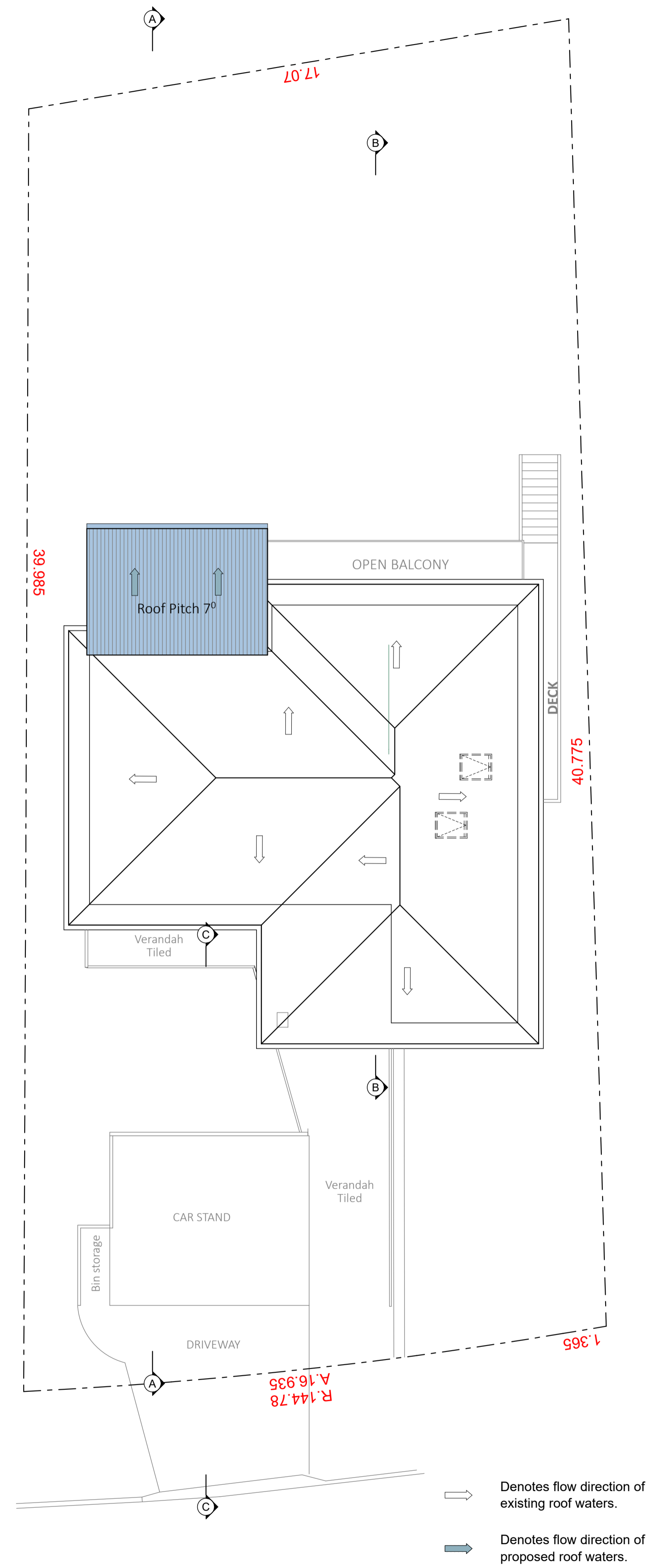
Scale : 1:100 (A1) Date : SEPTEMBER 2022

Council : NORTHERN BEACHES Checked By : J. ADAMS

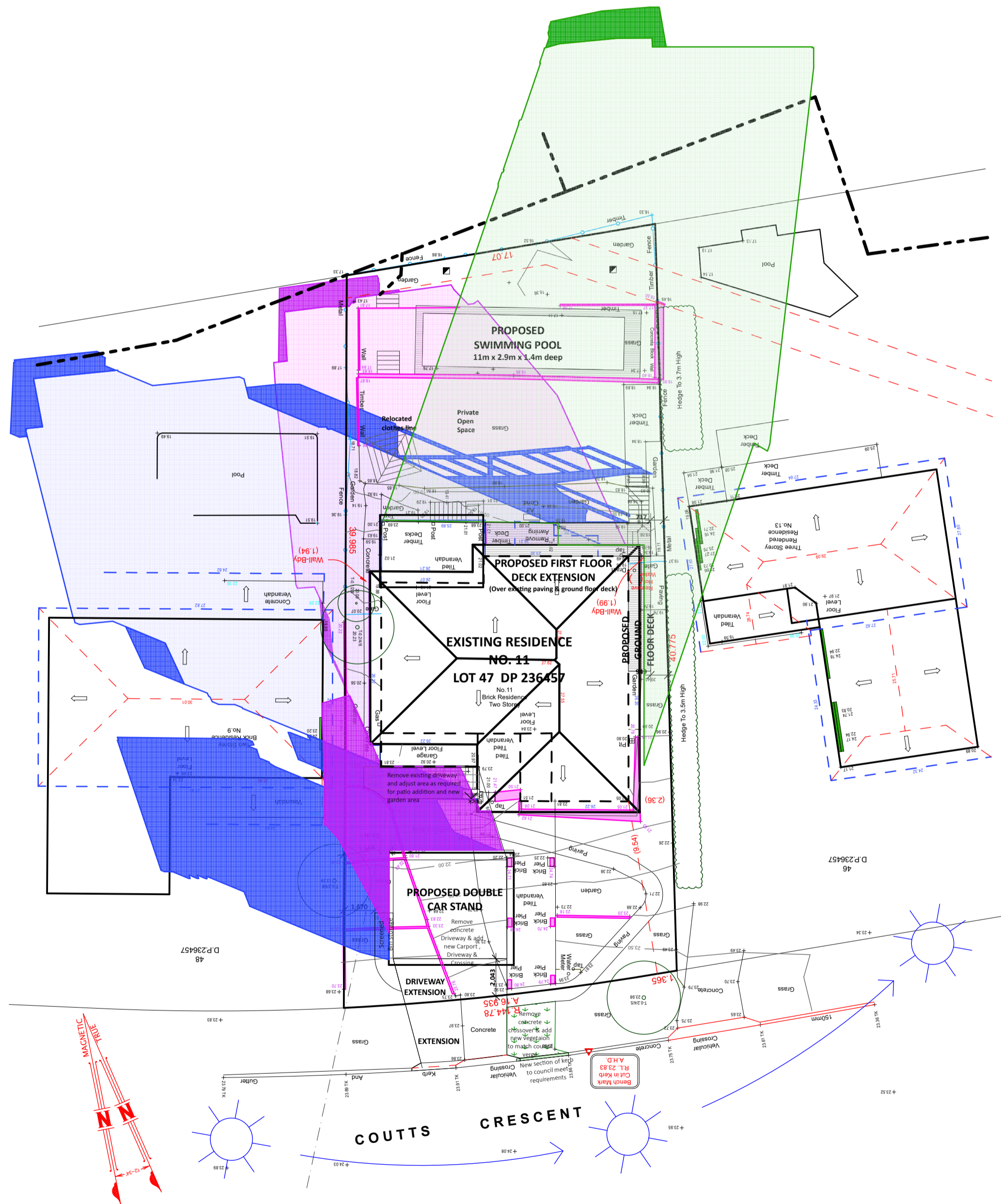
Project No : Drawing # : [V2]

2202 **DA 05**

ANNEXURE "A" Plot Date: 4/01/2023



1 ROOF PLAN 1:100



2 SHADOW DIAGRAM- JUNE 21- EXISTING & PROPOSED 1:200
Existing & Proposed Shadows at 9am, 12 noon & 3pm

LEGEND

- EXISTING SHADOWS- 9AM 21 JUNE
- ADDITIONAL SHADOWS- 9AM 21 JUNE
- EXISTING SHADOWS- 12PM 21 JUNE
- ADDITIONAL SHADOWS- 12PM 21 JUNE
- EXISTING SHADOWS- 3PM 21 JUNE
- ADDITIONAL SHADOWS- 3PM 21 JUNE

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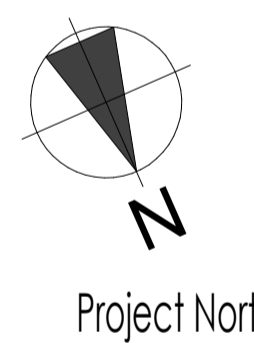
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Project Name
ALTERATIONS & ADDITIONS
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11 COUTTS CRESCENT
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Drawing Title: ROOF PLAN & SHADOW DIAGRAM			
Scale : 1:100, 1:200 (A1)	Date : SEPTEMBER 2022		
Council : NORTHERN BEACHES	Checked By : J. ADAMS		
Project No : 2202	Drawing # : [V2]	DA 06	
ANNEXURE "A"		Plot Date: 4/01/2023	