

2 December 2011
P 11-33

The General Manager

Maitland City Council
Cessnock City Council
Port Stephens Shire Council
Wyong Council
Gosford City Council
Mid Western Regional Council

Lake Macquarie City Council
Newcastle City Council
Singleton Council
Great Lakes Council
Muswellbrook Council
Pitt Water Council

**Re Carport, Driveway Crossover & Retaining Wall at
Lot 7 DP221637 - 277 Lower Plateau Road BILGOLA PLATEAU
Development Application No 337/05**

Please find attached certified documents for archiving by Council Would you please forward a receipt to AcroCert Pty Ltd

The applicant for this lodgement is as follows -

**AcroCert Pty Ltd
PO Box 398
MAITLAND NSW 2320**

Should you require any further information or assistance, please contact the undersigned on 02 4933 5626 during normal working hours

Yours sincerely

**JODIE EAGAR
ADMINISTRATION ASSISTANT
ACROCERT PTY LTD**

Office Use Only

Posted/Delivered to Council	2 December 2011
Cheque No	002440
Certificate Lodged	Construction Certificate

MAITLAND - AcroCert Pty Ltd ABN 52 109 795 137
308 High St (PO Box 398) Maitland NSW 2320
T 02 4933 5626 F 02 4933 5609 E maitland@acrocert.com.au

FORSTER AcroCert Pty Ltd ABN 52 109 795 137
Shop 1 The Marina Cnr Little & Wallis St Forster NSW 2428
T 02 6554 7648 F 02 6554 7688 E forster@acrocert.com.au



OCCUPATION CERTIFICATE

Environmental Planning & Assessment Act 1979 as amended

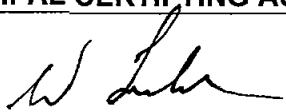
APPROVED

Construction Certificate No	194/2005	Issued On	13 October 2005
Development Approval No	337/05	Issued On	30 September, 2005

APPLICANT NAME	Cerian Griffiths-Brondum
POSTAL ADDRESS	277 Lower Plateau Road BILGOLA PLATEAU NSW 2107
LAND	Lot 7 DP221637 277 Lower Plateau Road BILGOLA PLATEAU
DEVELOPMENT	Carport, Driveway Crossover & Retaining Wall
CERTIFYING AUTHORITY	Wayne Treble
BCA CLASS	10a
TYPE OF CERTIFICATE	Final
PORTION OF BUILDING	Carport, Driveway Crossover & Retaining Wall

The Principal Certifying Authority certifies that -

- The health and safety of the occupants of the building have been taken into consideration where an Interim Occupation is issued
- A current Development Consent or Complying Development Certificate is in force for the building
- If any building work has been carried out, a current Construction Certificate has been issued with respect to the plans and specifications for the building
- The building is suitable for occupation or use in accordance with its classification under the Building Codes of Australia
- Where applicable, a Fire Safety Certificate has been issued for the building and a report from the Fire Commissioner has been considered

WAYNE TREBLE – BPB0413 PRINCIPAL CERTIFYING AUTHORITY	Certificate Issued On
	1 December 2011

MAITLAND AcroCert Pty Ltd ABN 52 109 795 137
308 High St (PO Box 398) Maitland NSW 2320
T 02 4933 5626 F 02 4933 5609 E maitland@acrocert.com.au

FORSTER AcroCert Pty Ltd ABN 52 109 795 137
Shop 1 The Marina Cnr Little & Wallis St Forster NSW 2428
T 02 6554 7648 F 02 6554 7688 E forster@acrocert.com.au



10 November 2011

To whom it may concern

Re 277 Lower Plateau Road Bilgola Plateau

I hereby certify that the support members for the carport were installed in accordance with the approved architectural and structural drawings supplied. All timber sections in contact with the ground were treated with copper nitrate and encased in concrete to prevent invasion by termites and the like. All footing pier tops were battered to prevent ponding.

Yours faithfully

Steve Robbie



☐ MAITLAND OFFICE
308 High Street (PO Box 398)
MAITLAND NSW 2320
Phone 4933 5626 or Fax 4933 5609

☐ FORSTER OFFICE
Shop 1 The Marina Cnr Little & Wallis Street (PO Box 440)
FORSTER NSW 2428
Phone 6554 7648 or Fax 6554 7688

APPLICATION FOR (please tick)

☐ Construction
Certificate

☐ Complying
Development

☒ Occupation
Certificate

APPLICATION NO	DATE RECEIVED
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PROPERTY DETAILS *What property does this application relate to?*

Street Address	277 Lower Plateau Rd		
Suburb	Bilgola Plateau	Postcode	2107
Title Particulars (Lot & DP)	Lot 7, DP 221637		
Zoning	2a Residential A	Site Area	708 m ²

Development Consent No	No 1337/05	Dated	30/09/05
Issued by	Pittwater Council		
BCA Classification		Est Cost	\$26 000

Description of works to be undertaken

Carport, driveway crossover & retaining wall

APPLICANT DETAILS *All correspondence shall be forwarded to this address*

Name	Cerian Griffiths-Brondum		
Company Contact Person			
Postal Address	277 Lower Plateau Rd Bilgola Plateau NSW, 2170		
Phone		Fax	
Mobile	0403084942	Email	Mail@ceriangriffiths.net

APPLICANT DECLARATION I apply for consent to carry out the works described in this application. I declare that all the information provided is true and correct. I acknowledge that if incomplete this application may be delayed or refused or additional information may be requested.

Signed	Date
	21/11/11

This application may only be made by a person who is eligible to appoint a Principal Certifying Authority, i.e. the owner or the person having the benefit of the Development Consent – the builder may not make this application unless the builder is the owner of the land.

COMPLYING DEVELOPMENT (if applicable)

If the application can be assessed as Complying Development I / we elect to have the application assessed under –

- ☐ The NSW Statewide Housing Code
- ☐ The local Council Complying Development DCP or relevant policy

*Council DCP or
whichever's better!
+ appropriate*

OWNERS CONSENT

Name	<i>Cerian Griffiths</i>		
Postal Address	<i>As Over</i>		
Phone		Email	

OWNER STATEMENT As the owner/s of the land to which this application relates, I/we consent to the making of this application and for employees of AcroCert Pty Ltd to enter upon the land for the purpose of conducting any inspections related to this application

Signed 	Date <i>21/11/11</i>
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Please note that all owners of the property must provide written consent If you are signing on the owner's behalf as the owner's legal representative, please attached documentary evidence as to the nature of your legal authority, e.g Power of Attorney, Company Director, Executor, Trustee

Documents accompanying this application shall be as prescribed by the Environmental Planning & Assessment Act, 1979, as amended, and Schedule 1 of the Environmental Planning & Assessment Regulation 2000, as amended

INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS

Please complete this table indicating the types of building materials to be used in association with this application

Wagye has all this

✓ Where Applicable	Building Material Used	✓ Where Applicable	Building Material Used	✓ Where Applicable	Building Material Used
	FRAME -		WALLS -		ROOF
	Timber ✓				
	Steel ✓		Double Brick		Tiles
	Aluminium		Brick Veneer		Concrete or Slate
	Other		Concrete or Stone		Fibre Cement
	Not specified		Fibre Cement		Steel ✓ <i>Tin</i>
			Timber		Aluminium
	FLOOR		Curtain Glass		Other
	Concrete or Slate		Steel		Not specified
	Timber ✓		Aluminium		
	Other		Other		
	Not specified		Not specified		

Gross Floor Area of Proposed Development (m²)	
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Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

VQ 22696C

19th December, 2005

Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

277 LOWER PLATEAU ROAD, BILGOLA PLATEAU
Development Application No N0337/05

On the 23rd November, 2005 we inspected the reinforcement for the retaining walls and the final carport footing at the subject address. At the time of inspection the reinforcement was in accordance with our Drawing No 22696-S1A which was submitted to Council and AS 3600. The footing excavation had been taken to material of adequate bearing capacity and stability for the loads likely to be imposed on it.

On the 2nd December, 2005 we inspected the reinforcement for the block wall supports for the proposed driveway at the subject address. At the time of our inspection the reinforcement was in accordance with our Drawing No 22696-S1A & 22696-S2B and AS 3600.

On the 20th December, 2005 we inspected the reinforcement for the proposed driveway at the subject address. At the time of our inspection the reinforcement was in accordance with our Drawing No 22696-S2B and AS 3600.

JACK HODGSON CONSULTANTS PTY LIMITED

J D Hodgson M Eng Sc ,
F I E Aust , CP ENG
Civil & Structural Engineer
Nper3, Struct Civil No 149788
Director

DIRECTOR J D HODGSON M Eng Sc F I E Aust Nper3 Struc Civil 149788

67 Darley Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9970 6926



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

VQ 22696E

18th November, 2011

Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

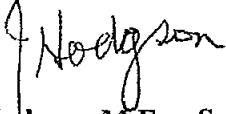
Dear Sir,

277 LOWER PLATEAU ROAD, BILGOLA PLATEAU

Development Application No N0337/05

On the 17th November, 2011 we inspected the completed driveway for the proposed carport and driveway at the subject address. We also examined the survey levels prepared by DP Surveying dated the 7th November, 2011. In our opinion the levels as built generally comply with Council's requirements and our Drawing No 22696-C1. In our opinion the work that has been carried out in Council's road reserve generally complies with Council's requirements.

JACK HODGSON CONSULTANTS PTY LIMITED


J D Hodgson M Eng Sc,
F I E Aust, CP ENG
Civil & Structural Engineer
Nper3, Struct Civil No 149788
Director

DIRECTOR J D HODGSON M Eng Sc F I E Aust Nper3 Struc Civil 149788

67 Darley Street Mona Vale NSW 2103

PO Box 389 Mona Vale NSW 1660

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VQ 22696F

18th November, 2011

Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

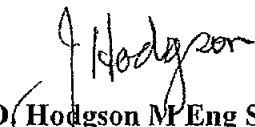
Dear Sir,

277 LOWER PLATEAU ROAD, BILGOLA PLATEAU

Development Application No N0337/05

On the 17th November, 2011 we inspected the completed steel and timber frame for the proposed carport at the subject address. At the time of our inspection the steel and timber frame were in accordance with our Drawing No 22696-S1A and S2A, AS4100, AS1720, AS1684 and our on site instructions. Some timber member sizes were changed and increased in size.

JACK HODGSON CONSULTANTS PTY LIMITED


**J. D. Hodgson M Eng Sc,
F I E Aust, CP ENG
Civil & Structural Engineer
Nper3, Struct Civil No 149788
Director**

DIRECTOR J D HODGSON M Eng Sc F I E Aust Nper3 Struc Civil 149788

67 Darley Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6926



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

VQ 22696D

18th November, 2011

Page 1

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

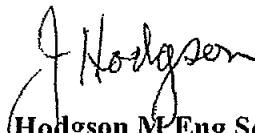
Dear Sir

277 LOWER PLATEAU ROAD, BILGOLA PLATEAU

Development Application No N0337/05

On the 17th November, 2011 we inspected the completed stormwater system for the proposed carport and driveway at the subject address. At the time of our inspection the completed stormwater system was in accordance with our Drawing No 22696-H1A, AS 3500 and on site instructions.

JACK HODGSON CONSULTANTS PTY LIMITED


**J. D. Hodgson M Eng Sc ,
F I E Aust , CP ENG
Civil & Structural Engineer
Nper3, Struct Civil No 149788
Director**

DIRECTOR J D HODGSON M Eng Sc F I E Aust Nper3 Struc Civil 149788

67 Darley Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6926

✓

Wayne Treble

From Cerian <mail@ceriagriffiths.net>
Sent Friday, 11 November 2011 12:44 PM
To Wayne Treble
Subject Trees

We actually planted the two grevilleas and a native conifer (the last two pictures) - but we don't think they are on the list - so have now planted 3 Water Gums as well - that are on the Pittwater Council List for our area and landscape situation type - as shown below

✓





✓







DSC05061



DSC05062



GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 3 – Post Construction Geotechnical Certificate

Development Application for _____

Name of Applicant _____

Address of site 277 LOWER PLATEAU ROAD, BILGOLA PLATEAU

Declaration made by geotechnical engineer on completion of the Development

I, JACK HODGSON on behalf of JACK HODGSON CONSULTANTS P/L
(Insert Name) (Trading or Company Name)

on this the 5-6-06

certify that I am a geotechnical engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I prepared and/or verified the Geotechnical Report as per Form 1 dated 26-5-2005 referred to below

Geotechnical Report Details.

Report Title RISK MANAGEMENT FOR PROPOSED ALTERATIONS AT 277
Report Date 26-5-05 LOWER PLATEAU ROAD, BILGOLA PLATEAU
Author: JACK HODGSON

I reviewed the original structural design, and where applicable the subsequently amended structural details (below listed) which have been incorporated into the completed project.

I have inspected and/or am satisfied that the foundation materials, upon which the structural elements (as detailed in the original and amended structural documents) of the development have been erected, comply with the requirements specified in the Geotechnical Report.

I have inspected the site during construction and to the best of my knowledge, I am satisfied that the development referred to in the development consent D.A. NO337/05 dated _____

(D.A.No) (Date consent given)

has been constructed in accordance with the intent of the Geotechnical Report, and the requirements of the conditions of Development Consent relating to the geotechnical issues (including any treatment and/or maintenance plan that may be required to remove risk where reasonable and practical).

I am aware that Pittwater Council require this certificate prior to issuing an occupancy certificate for the development identified above and will rely on this certificate in regard to the development having achieved the "Acceptable Risk Management" criterion defined in the Policy and that reasonable and practical measures have been taken to remove foreseeable risk.

List of all work as executed drawings and Ongoing Maintenance plans relevant to geotechnical risk management.

10.8.1 The property is to be maintained in good order and in accordance with the guidelines set out in CSIRO Sheet No. BTF 18 and the Australian Geomechanics Article "Landslide Risk Management Concepts and Guidelines" May 2002.

10.8.2 All subsurface drains are to be flushed out at intervals not exceeding 15 years.

10.8.3 All retaining walls are to be inspected at not more than 10 yearly intervals.

Signature _____

Name JACK HODGSON

Chartered Professional Status M.ENG. SC. FIE. AUST

Membership No. 149788



Ross Engineers

ABN: 22 568 304 726
127 Wigram Road GLEBE NSW 2037
Email: info@rossengineers.com.au

Tel: 1300 255 250
Mobile: 040706 8838
Web: www.rossengineers.com.au

27th November 2011

Cerian Griffiths
277 Lower Plateau Road
Bilgola

#11-0224

Dear Madam,

Re: STRUCTURAL ADEQUACY CERTIFICATE BALUSTRADE

Location: 277 Lower Plateau Road, Bilgola

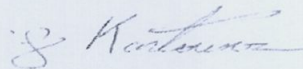
Structure: Balustrade at carport and driveway

Ross Engineers have inspected the above mentioned existing Balustrade and I am able to certify that the structural components are structurally adequate and comply with the relevant Australian Standards 1170 and the BCA, such that I am able to issue this 'Certificate of Structural Adequacy' for The Balustrade.

It should be noted that the existing crash barrier is not certified in this certificate and that this barrier provides a ledge along the south facing balustrade which could be a safety issue.

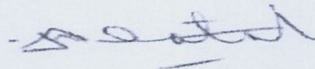
Yours faithfully,

Associate



John Kantouros O.M.I.E.Aust - 768626

Approver



J. Natoli M.I.E.Aust. CPE - NPER 239126

Wayne Treble

From: Cerian <mail@ceriangriffiths.net>
Sent: Friday, 11 November 2011 11:59 AM
To: Wayne Treble
Subject: Street scape photos showing no damage



DSC05043



DSC05044



DSC05046

✓



DSC05047

DSC05047



DSC05048



10 November, 2011

To whom it may concern:

Re: 277 Lower Plateau Road, Bilgola Plateau

I hereby certify that the support members for the carpot were installed in accordance with the approved architectural and structural drawings supplied. All timber sections in contact with the ground were treated with copper nitrate and encased in concrete to prevent invasion by termites and the like. All footing pier tops were battered to prevent ponding.

Yours faithfully,

Steve Robbie

