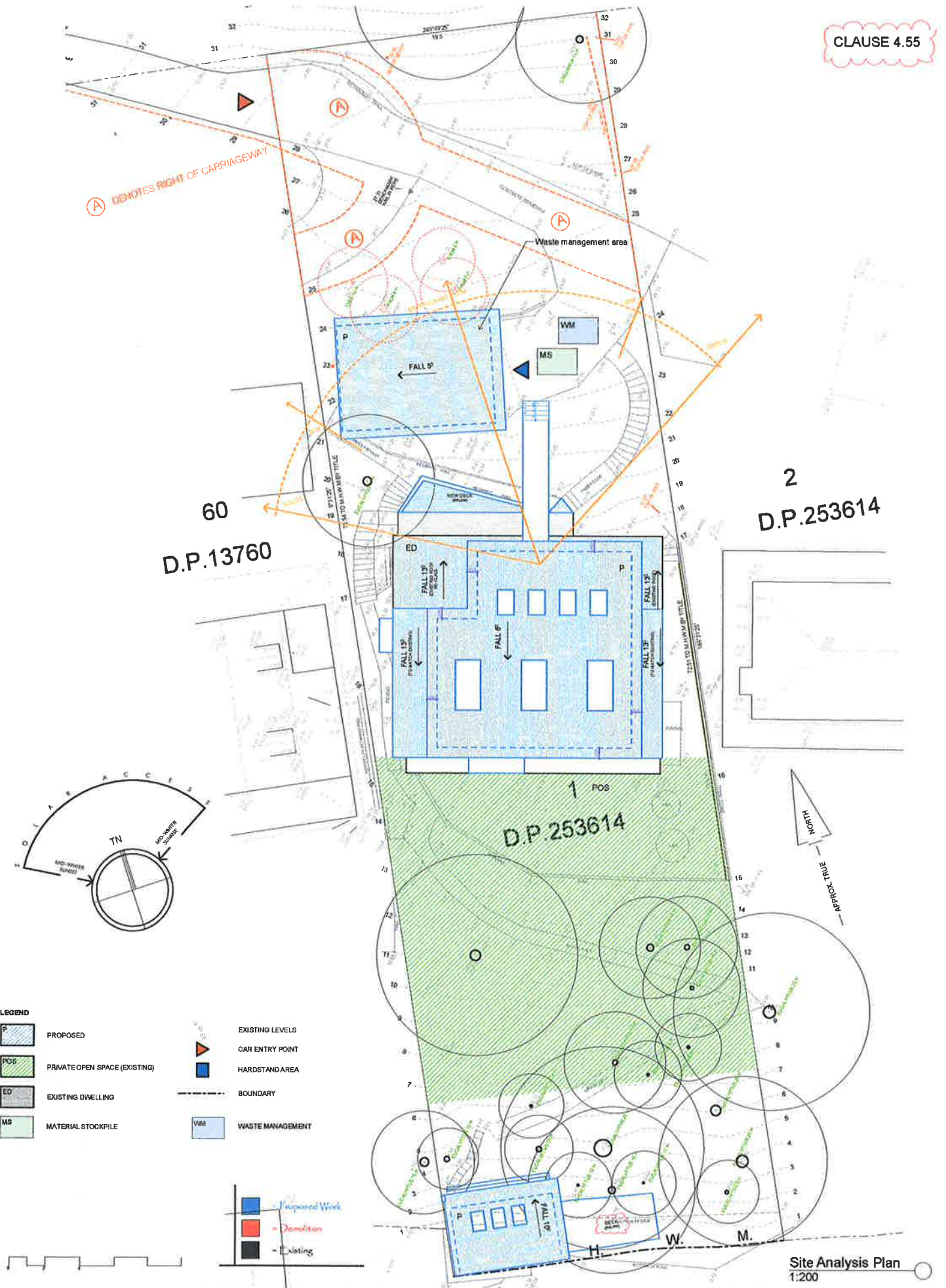




Date	Issue	Description

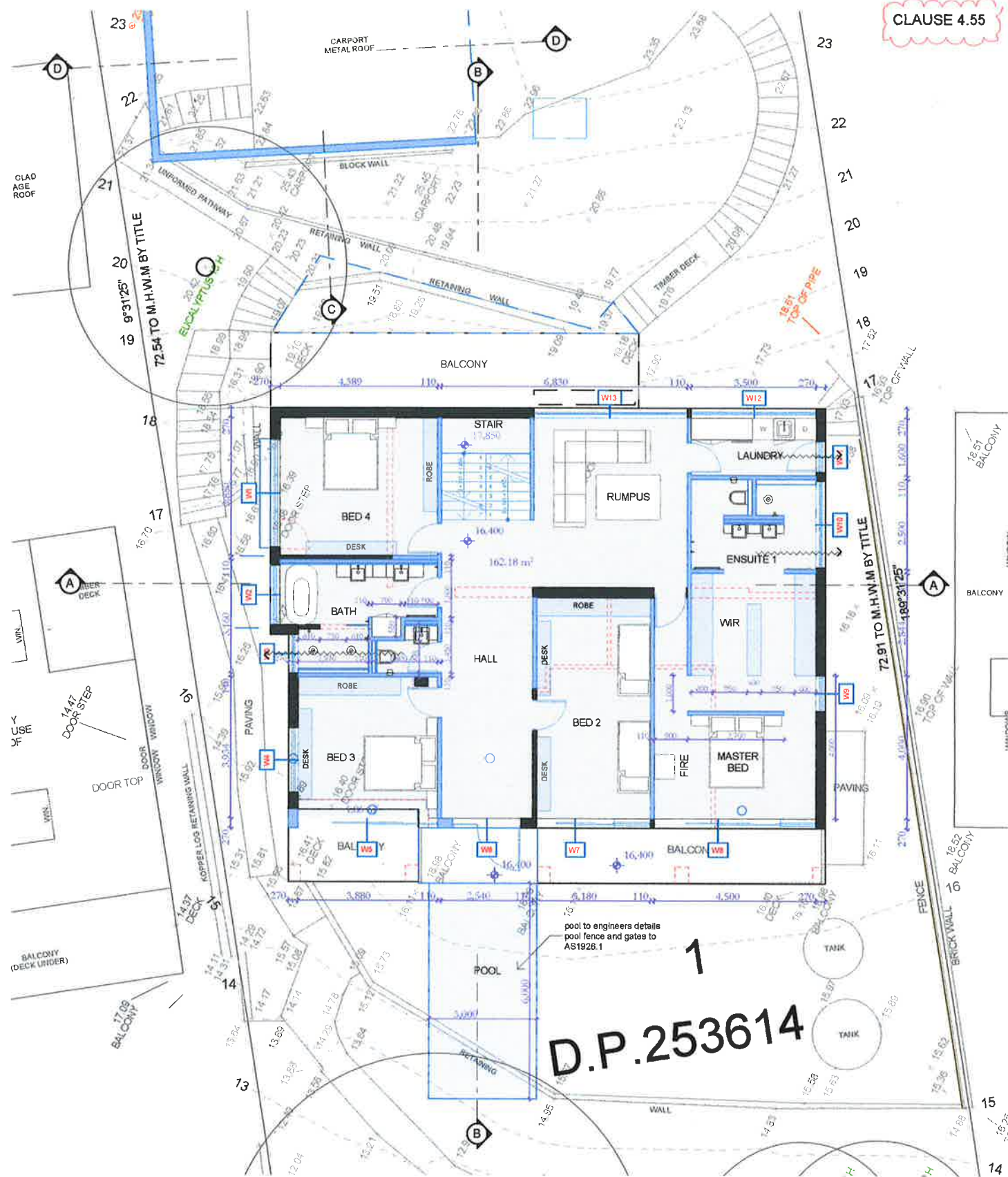
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

sketchArc
Po Box 377 Manly NSW 1655
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w: www.sketcharc.com.au <http://www.sketcharc.com.au>

Project: Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m²
Client: Private Residence
Drawing: Site Analysis Plan

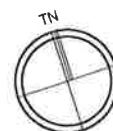
Drawn/Designed: PB / MP	Date: 250220
Project Number: 1530	Scale: 1:100 @ (A3)
Drawing: C4.55-3	Issue:

CLAUSE 4.55



Lower Floor Plan
1:100

- Proposed Work
- Demolition
- Existing



Date	Issue	Description

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

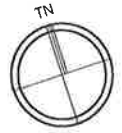
sketchArc
Po Box 377 Manly NSW 1655
m: 0422 521 871

e: power@sketcharc.com.au emailto:power@sketcharc.com.au
w: www.sketcharc.com.au http://www.sketcharc.com.au/

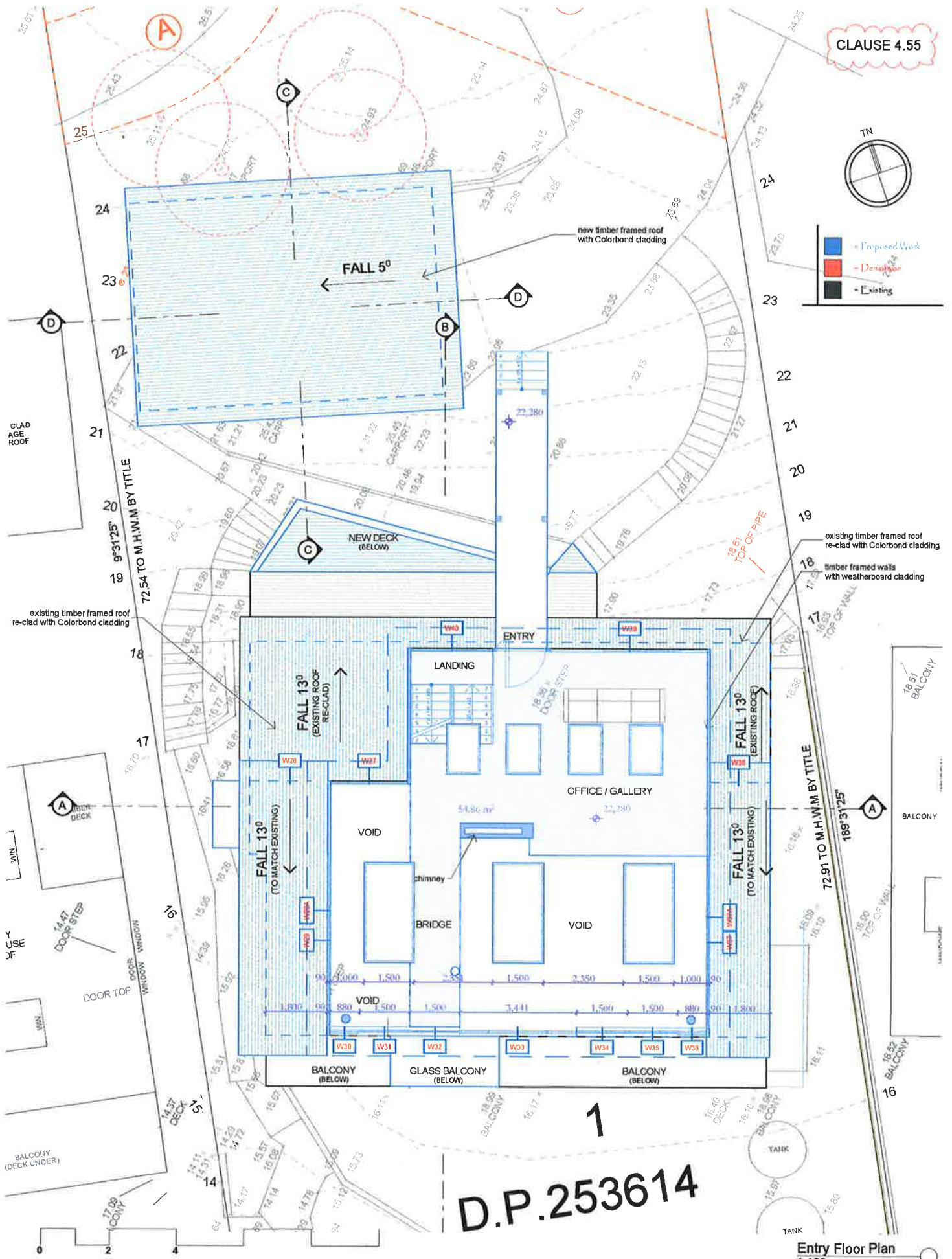
Project: Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client: Private Residence
Drawing: Lower Floor Plan

Drawn/Designed: PB / MP
Project Number: 1530
Date: 250220
Scale: 1:100 @ (A3)
Drawing: C4.55-4
Issue:

CLAUSE 4.55



- Proposed Work
- Demolition
- Existing



D.P.253614

Entry Floor Plan
1:100

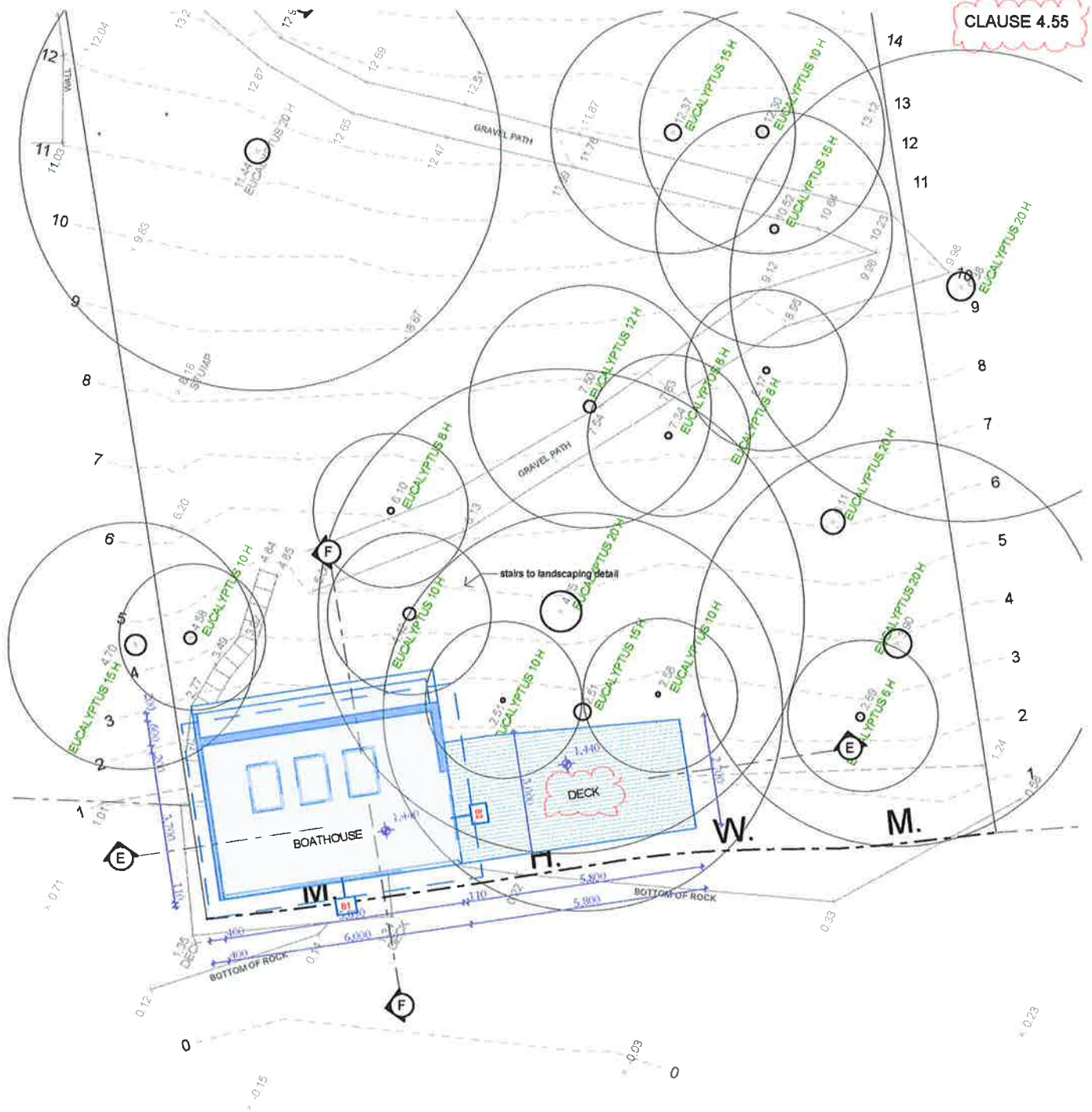
Date:	Issue:	Description:

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Project: Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client: Private Residence
Drawing: Entry Floor Plan

Drawn/Designed: PB / MP	Date: 250220
Project Number: 1530	Scale: 1:100 @ (A3)
Drawing: C4.55-6	Issue:



PITTWATER

Lower Floor Plan

1:100



- Proposed Work
- Demolition
- Existing



Date:	Issue:	Description:

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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Project : Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2

Client : Private Residence

Drawing : **Boat House Floor Plan**

Drawn/Designed : PB / MP

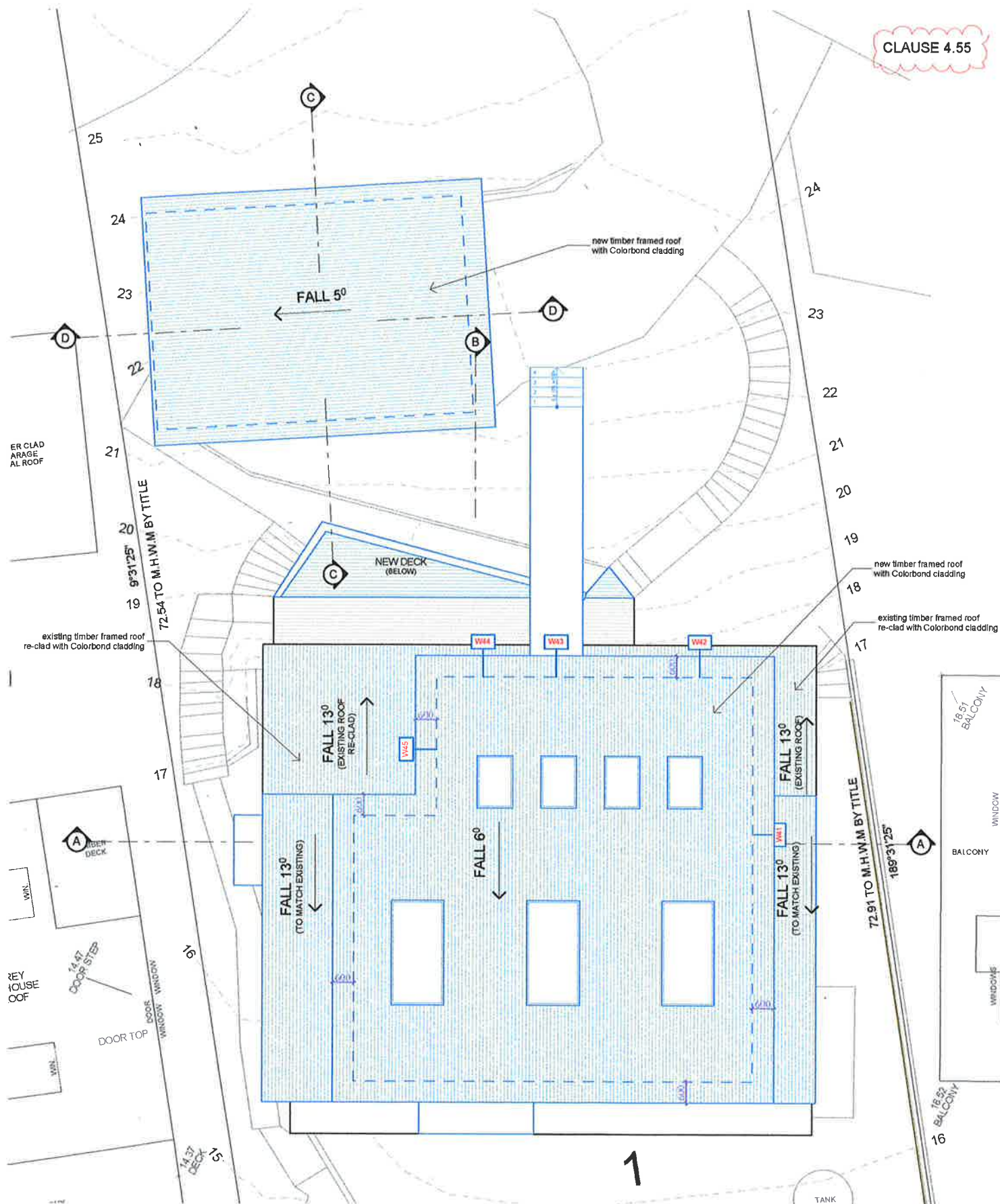
Date : 250220

Project Number : **1530**

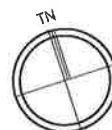
Scale : 1:100 @ (A3)

Drawing No: **C4.55-7**

Issue :



- = Proposed Work
- = Demolition
- = Existing



Roof Plan
1:100

Date	Issue	Description

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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Project : Alterations & Additions
C4.55

256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2

Client : Private Residence

Drawing : **Roof Plan**

Drawn/Designed : PB / MP

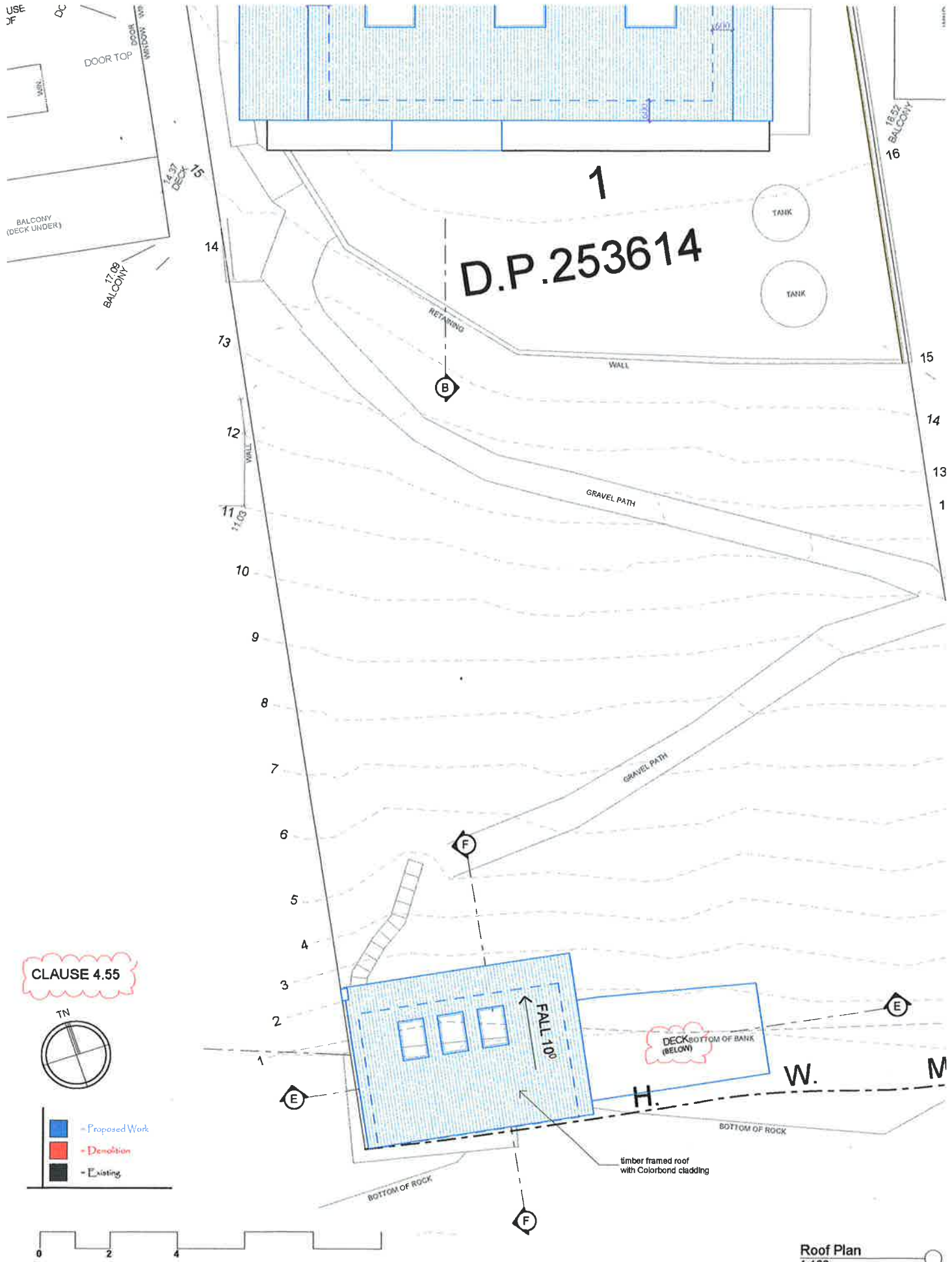
Date : 250220

Project Number : 1530

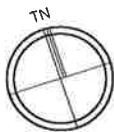
Scale : 1:100 @ (A3)

Drawing : **C4.55-8**

Issue :



CLAUSE 4.55



- = Proposed Work
- = Demolition
- = Existing



Roof Plan
1:100

Date:	Issue:	Description:

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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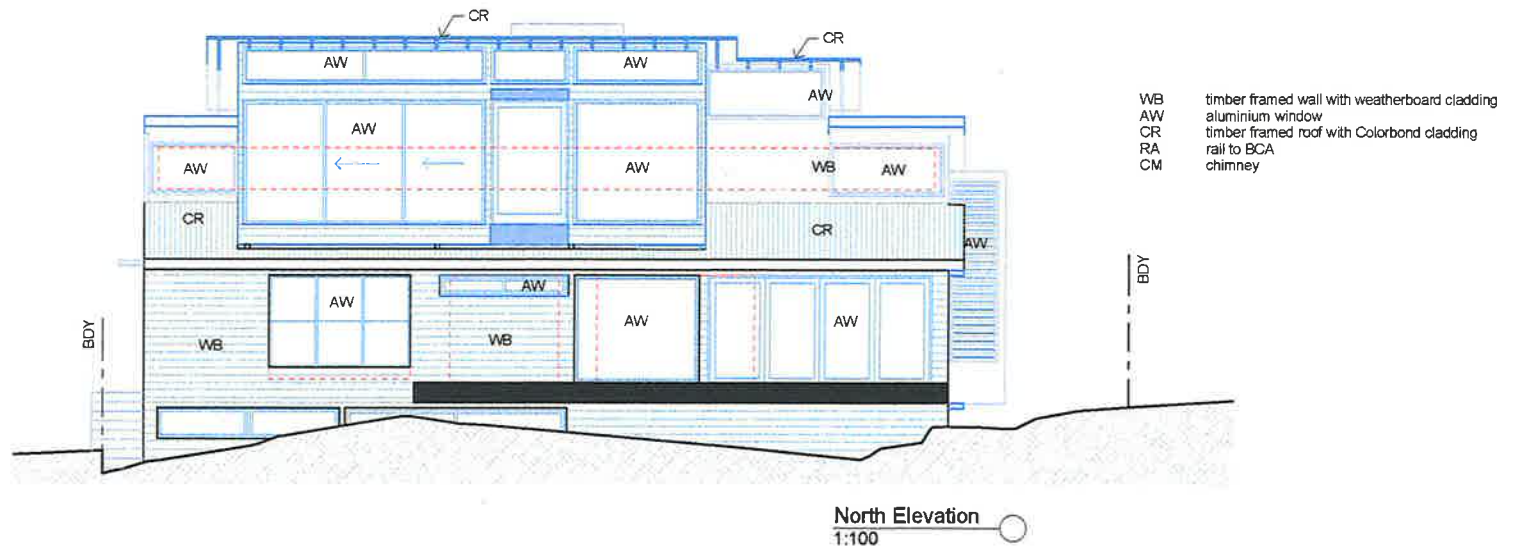
Project: Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client: Private Residence
Drawing: **Boathouse Roof Plan**

Drawn/Designed: PB / MP	Date : 250220
Project Number: 1530	Scale : 1:100 @ (A3)
Drawing: C4.55-9	Issue :

RL +26,150
House Ridge

RL +22,280
Entry Floor

RL +19,180
Ground Floor



RL +26,150
House Ridge

RL +22,280
Entry Floor

RL +19,180
Ground Floor

RL +16,400
Lower Floor



CLAUSE 4.55

Date :	Issue :	Description :

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w : www.sketcharc.com.au <<http://www.sketcharc.com.au>>

Project : Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : - Elevations, N, S

Drawn/Designed : PB / MP

Date : 250220

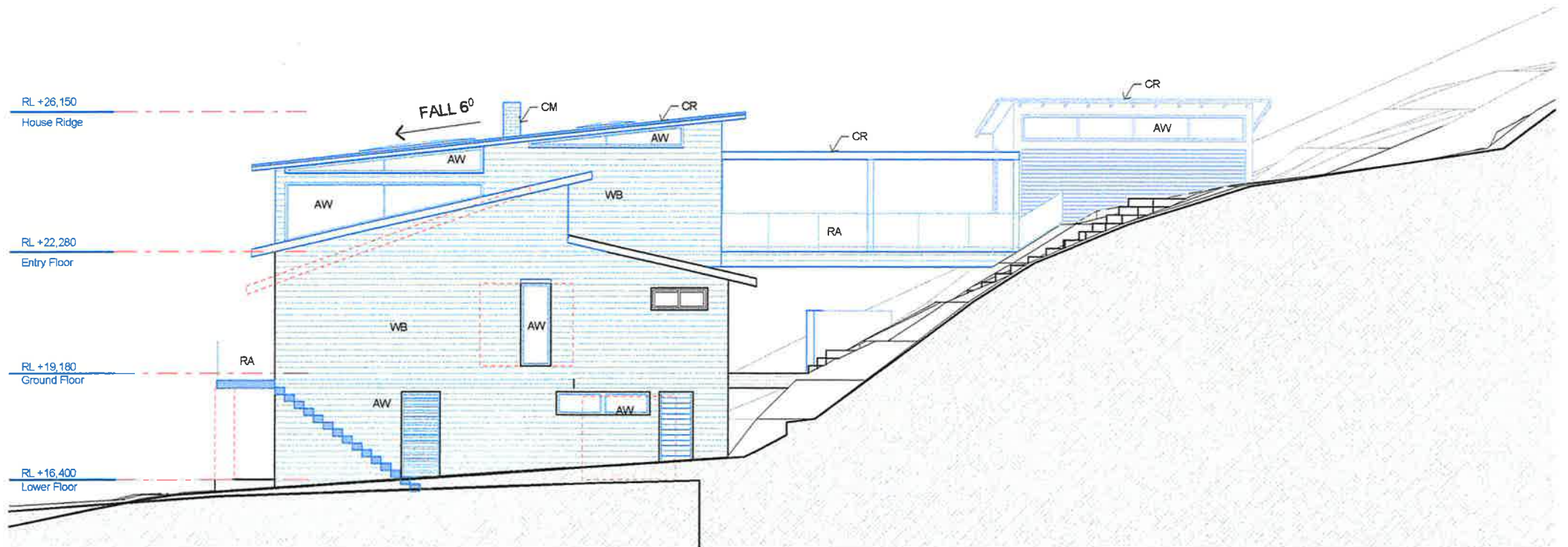
Project Number : 1530

Scale : 1:100 @ A3

Drawing No. **C4.55-10**

Issue :

WB timber framed wall with weatherboard cladding
 AW aluminium window
 CR timber framed roof with Colorbond cladding
 RA rail to BCA
 CM chimney



East Elevation
 1:100

CLAUSE 4.55



The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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 w : www.sketcharc.com.au c : <http://www.sketcharc.com.au>

Project : Alterations & Additions
 C4.55
 256 Hudson Pde, Clareville
 Lot 1 DP 253614 - 1415m2

Client : Private Residence

Drawing : Elevations, E

Proposed Work
 Demolition
 Existing

Drawn/Designed : PB / MP

Date : 250220

Project Number : 1530

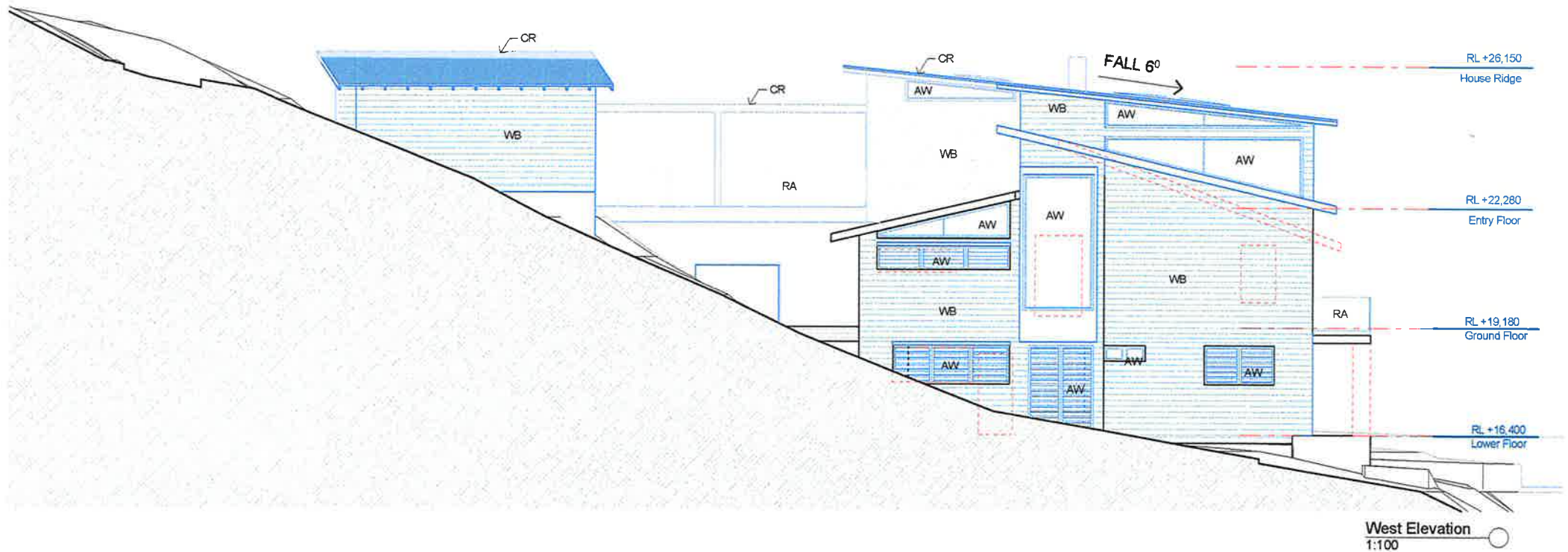
Scale : 1:100 @ A3

Drawing No. **C4.55-11**

Issue :

Date : Issue : Description :

WB timber framed wall with weatherboard cladding
 AW aluminium window
 CR timber framed roof with Colorbond cladding
 RA rill to BCA
 CM chimney



CLAUSE 4.55

Date :	Issue :	Description :

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Project : Alterations & Additions
 C4.55

256 Hudson Pde, Clareville
 Lot 1 DP 253614 - 1415m2

Client : Private Residence
 Drawing : Elevations W

■ = Proposed Work
 ■ = Demolition
 ■ = Existing

Drawn/Designed : PB / MP

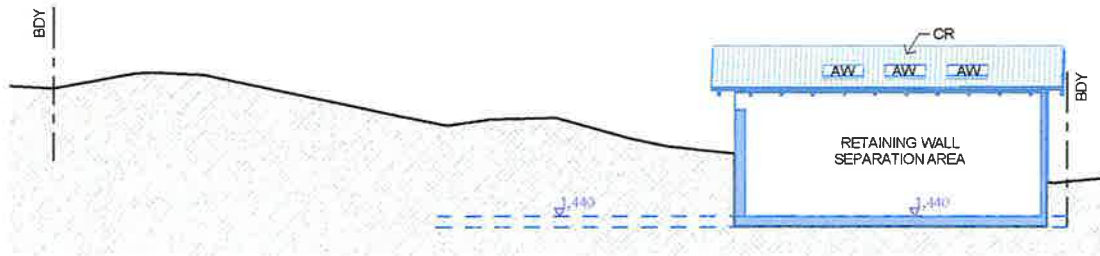
Date : 250220

Project Number : 1530

Scale : 1:100 @ A3

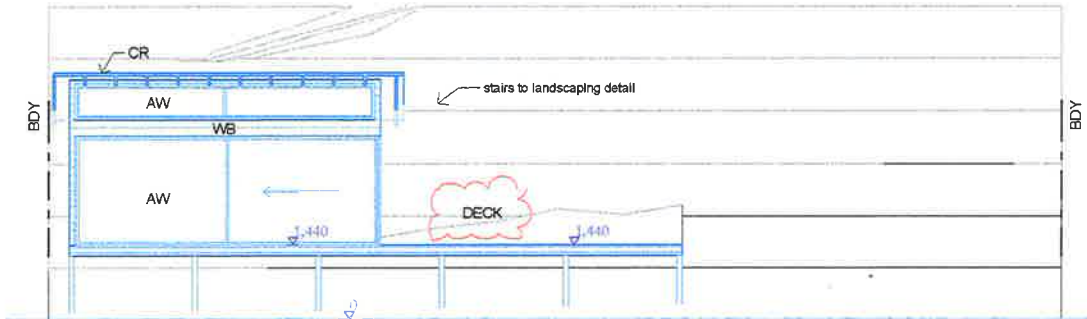
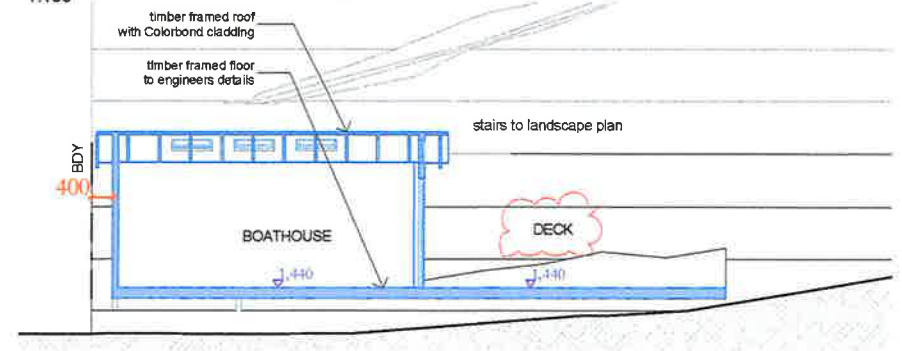
Drawing No. **C4.55-12**

Issue :



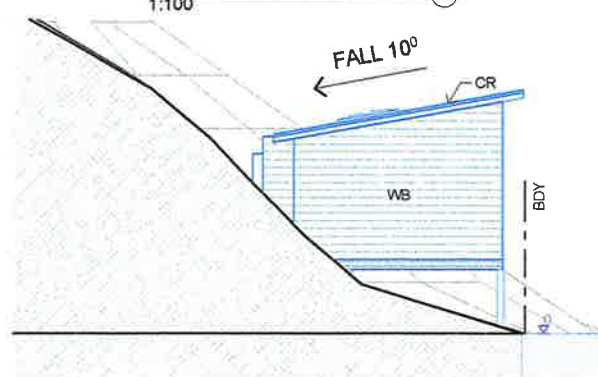
- WB timber framed wall with weatherboard cladding
- AW aluminium window
- CR timber framed roof with Colorbond cladding
- RA rail to BCA
- CM chimney

North Boathouse Elevation
1:100



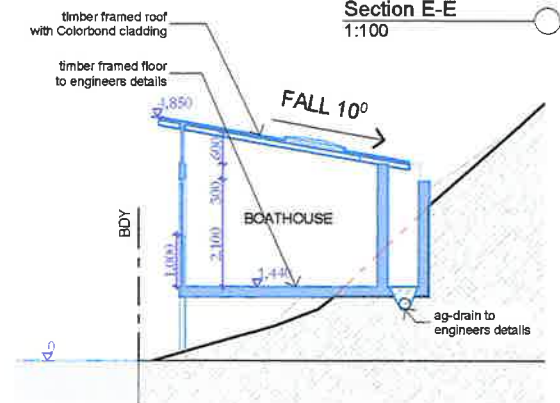
East Boathouse Elevation
1:100

South Boathouse Elevation
1:100



West Boathouse Elevation
1:100

Section E-E
1:100



Section F-F
1:100

CLAUSE 4.55

Date :	Issue :	Description :

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Project : Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : - Elevations, Sections Boathouse

- = Proposed Work
- = Demolition
- = Existing

Drawn/Designed : PB / MP
Project Number : 1530
C4.55-13

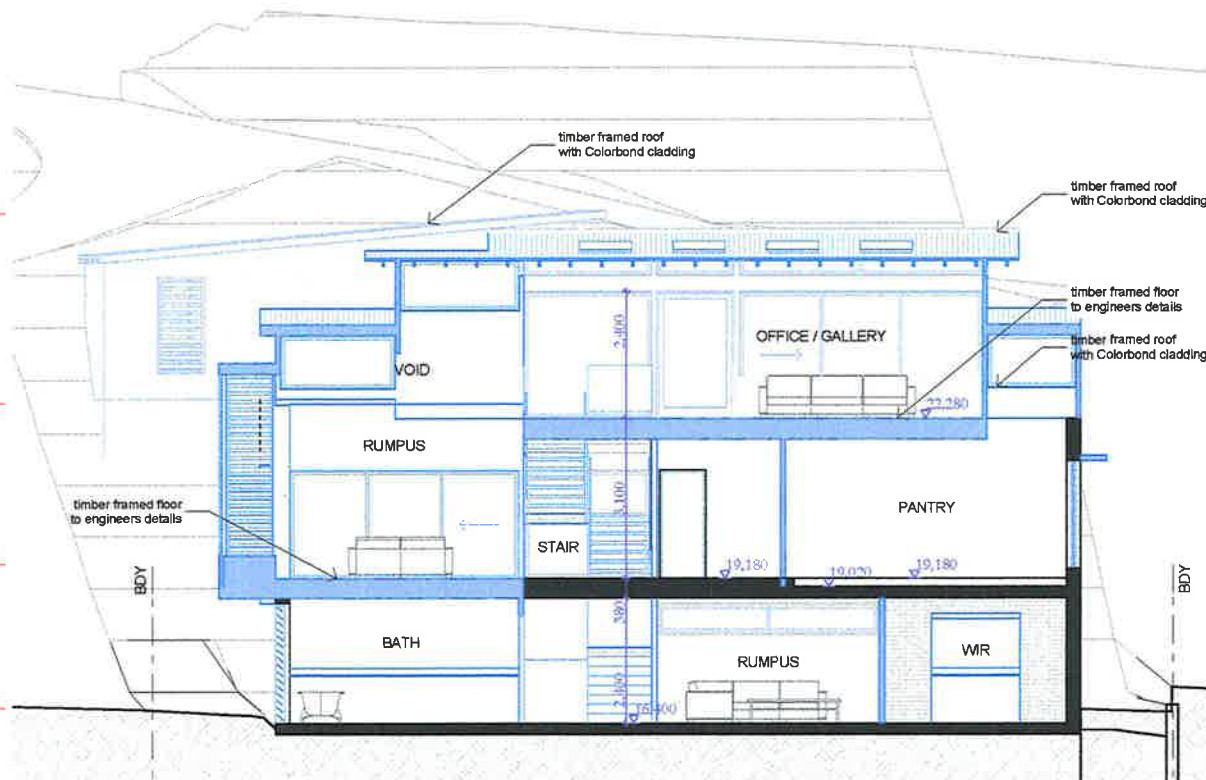
Date : 250220
Scale : 1:100 @ A3
Issue :

RL +26,150
House Ridge

RL +22,280
Entry Floor

RL +19,180
Ground Floor

RL +16,400
Lower Floor



Section A-A
1:100

CLAUSE 4.55

Date :	Issue :	Description :

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Project : Alterations & Additions
C4,55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : - Sections A-A

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB / MP

Date : 250220

Project Number : 1530

Scale : 1:100 @ A3

Drawing No. **C4.55-14**

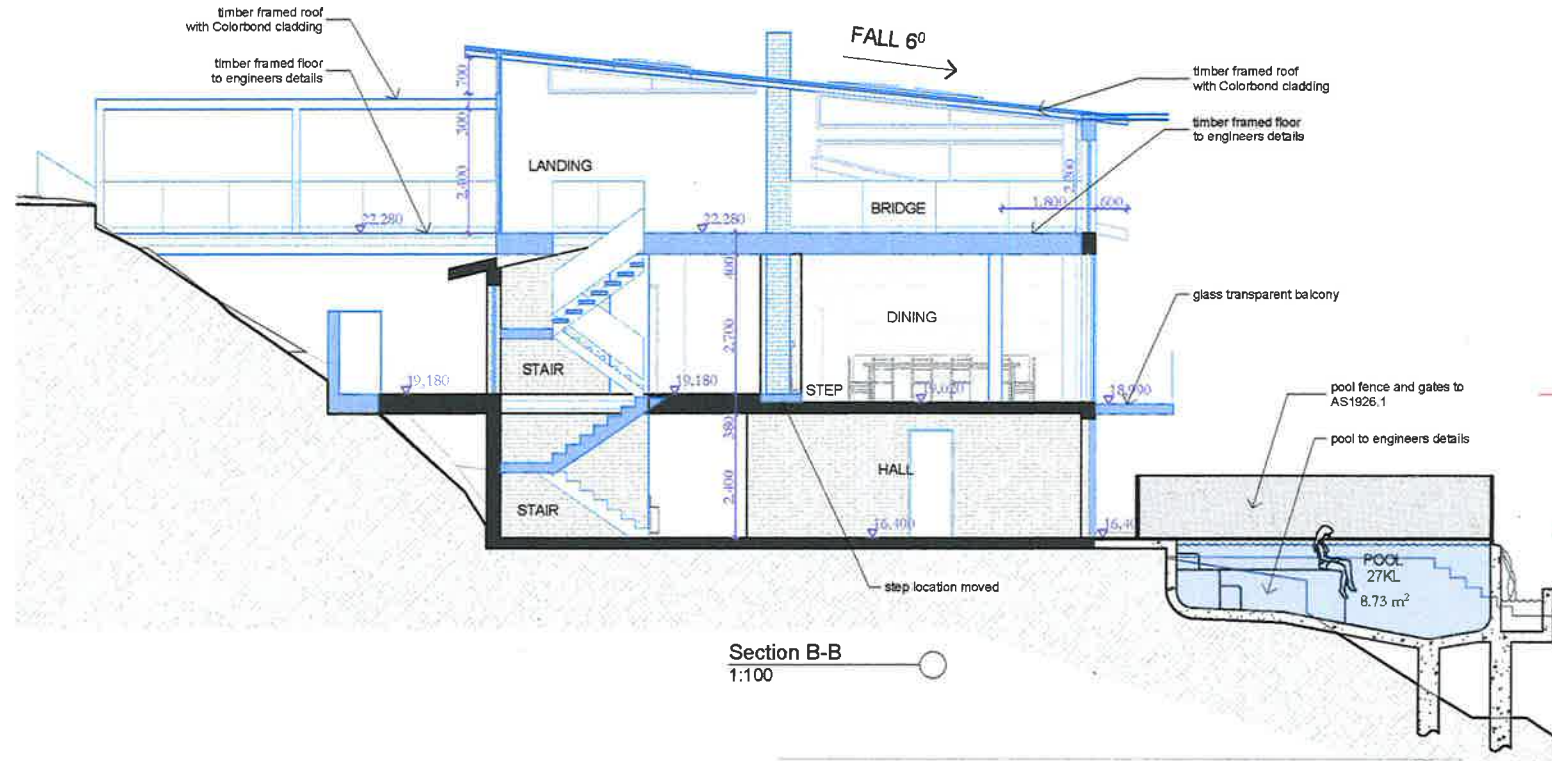
Issue :

RL +26,150
House Ridge

RL +22,280
Entry Floor

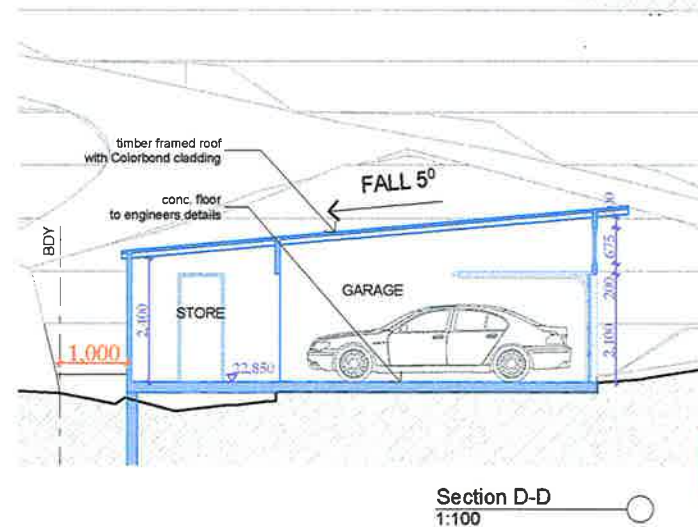
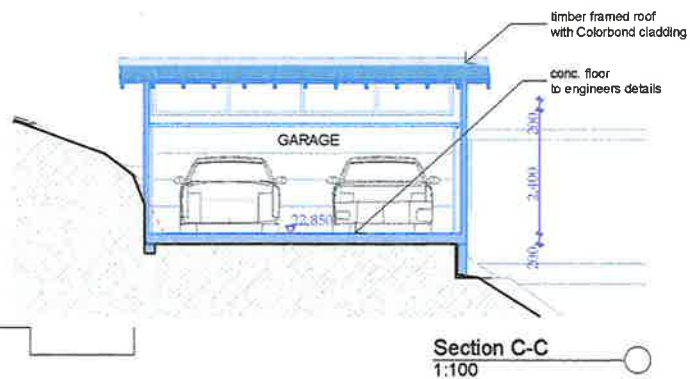
RL +19,180
Ground Floor

RL +16,400
Lower Floor



RL +26,400
Garage Ridge

RL +22,850
Garage Floor



CLAUSE 4.55

Date :	Issue :	Description :

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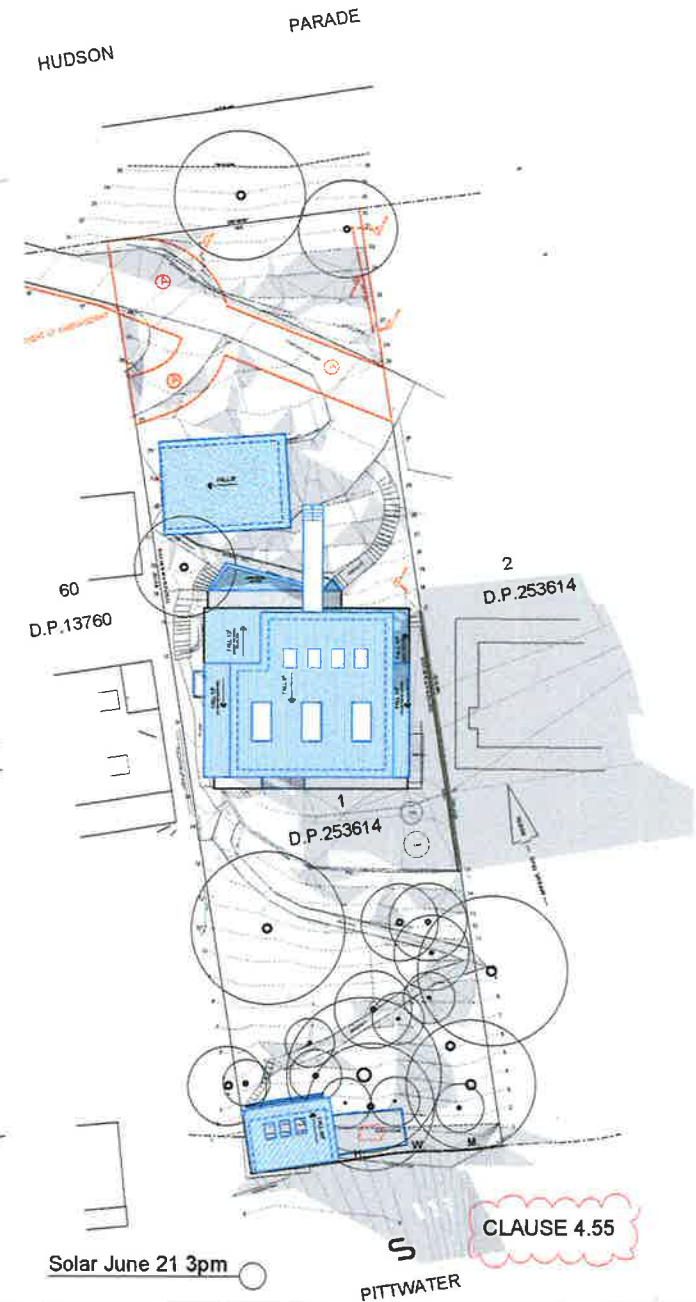
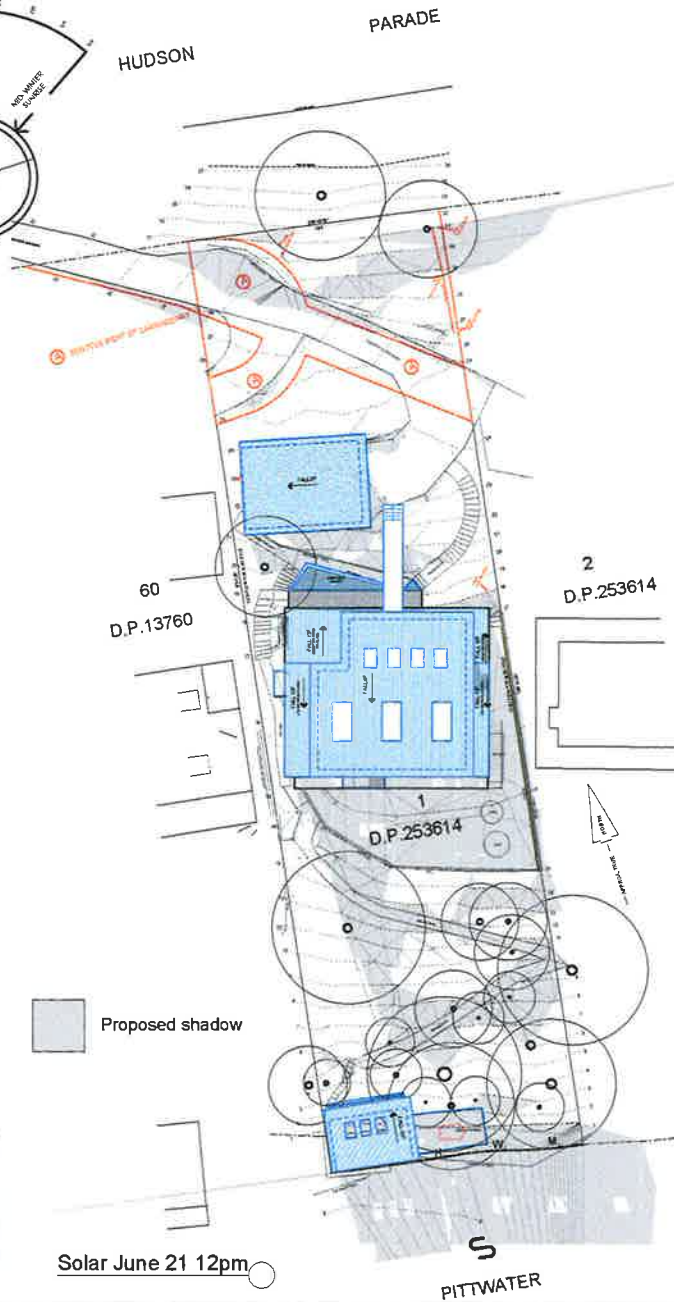
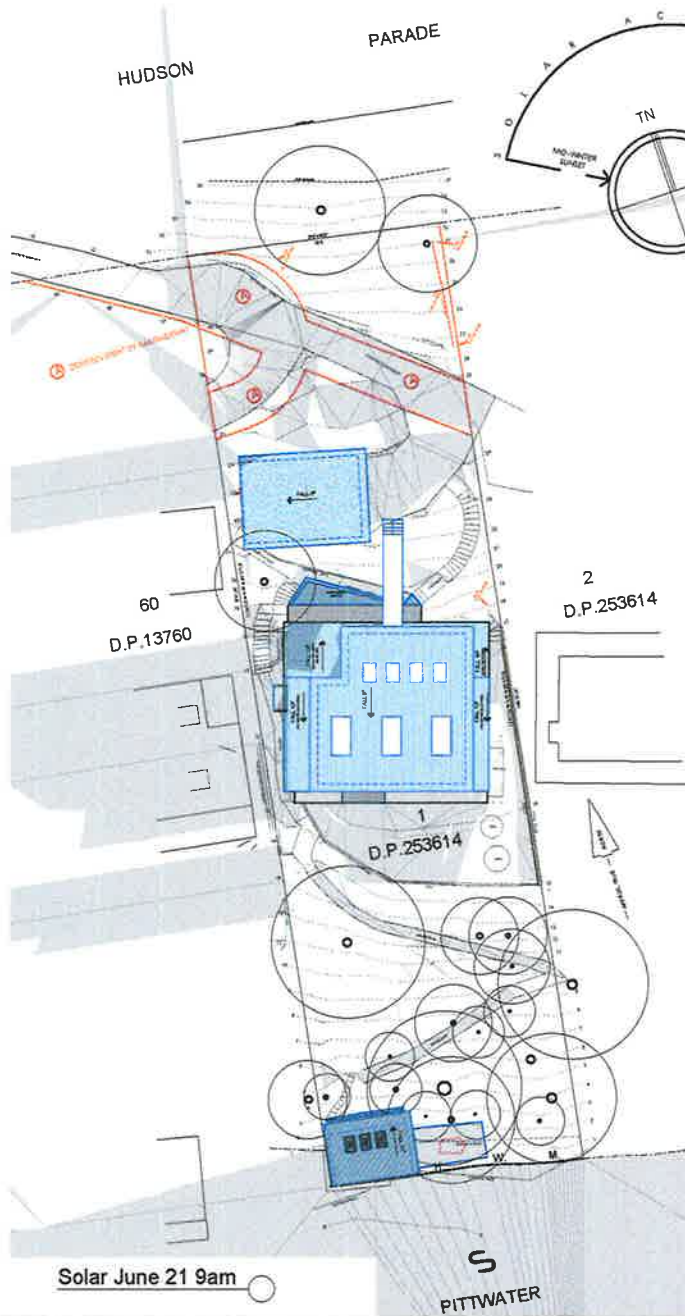
e : power@sketcharc.com.au small@power@sketcharc.com.au
w : www.sketcharc.com.au <http://www.sketcharc.com.au/>

Project : Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : - Sections B-B, C-C, D-D

■ = Proposed Work
■ = Demolition
■ = Existing

Drawn/Designed : PB / MP
Project Number : 1530
Drawing No. **C4.55-15**

Date : 250220
Scale : 1:100 @ A3
Issue :



Date :	Issue :	Description :

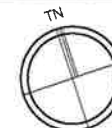
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Project : Alterations & Additions
C4,55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : - Solar June 21



Drawn/Designed : PB / MP
Project Number : 1530
Drawing : **C4.55-16**

Date : 250220
Scale : no scale
Issue :

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A252151_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 18/09/2014 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A252151 lodged with the consent authority or certifier on 04 Aug 2016 with application N0334/16.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Director-General
Date of issue: Saturday, 04 February 2017
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	256 Hudson DA_02
Street address	256 Hudson Parade Clareville 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 253614
Lot number	1
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Phil Brown Drafting

ABN (if applicable): 16164362569

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 27 kilolitres.	✓	✓	✓
The swimming pool must be shaded.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																		
Insulation requirements																						
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓																		
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>concrete slab on ground floor with in-slab heating system.</td><td>R1.00 (slab edge)</td><td>In-slab heating system</td></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td></td></tr><tr><td>external wall: brick veneer</td><td>R1.16 (or R1.70 including construction)</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, flat roof: framed</td><td>ceiling: R1.58 (up), roof: foil backed blanket (55 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>		Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor with in-slab heating system.	R1.00 (slab edge)	In-slab heating system	floor above existing dwelling or building.	nil		external wall: brick veneer	R1.16 (or R1.70 including construction)		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			
Construction	Additional insulation required (R-value)	Other specifications																				
concrete slab on ground floor with in-slab heating system.	R1.00 (slab edge)	In-slab heating system																				
floor above existing dwelling or building.	nil																					
external wall: brick veneer	R1.16 (or R1.70 including construction)																					
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)																					
flat ceiling, flat roof: framed	ceiling: R1.58 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)																				
Glazing requirements																						
Windows and glazed doors																						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓																		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓																		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			✓	✓																		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓																		
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.		✓	✓	✓																		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓																		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓																		
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.		✓	✓	✓																		
Windows and glazed doors glazing requirements																						
Window / door no	Orientation	Area of glass inc. frame (m ²)	Overhanging Height (m)	Distance (m)	Shading device	Frame and glass type																
W1	W	3	0	0	projection/height above sill ratio >=0.29	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)																
W2	W	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	Improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)																
W3	W	0.4	0	0	none	Improved aluminium, single clear, (U-value:																

CLAUSE 4.55

Date:	Issue:	Description:	The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.	sketchArc Po Box 377 Manly NSW 1655 m: 0422 521 871 e: power@sketcharc.com.au, consult@power@sketcharc.com.au w: www.sketcharc.com.au, http://www.sketcharc.com.au/	Project: Alterations & Additions C4.55 256 Hudson Pde, Clareville Lot 1 DP 253614 - 1415m ² Client: Private Residence Drawing: - BASIX	Drawn/Designed: PB / MP Project Number: 1530 Drawing No: C4.55-17	Date: 250220 Scale: Issue:
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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
W4	W	1.8	3.3	3.2	none	6.44, SHGC: 0.75)		
W5	S	8.9	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W6	S	4.3	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W7	S	7.3	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W8	S	10.3	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W9	E	2.3	4.1	3.1	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W10	E	1.4	4.1	3.1	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W11	E	2	4.1	3.1	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W12	N	2.1	2	1.3	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W13	N	2.5	0	0	eave/verandah/ pergola/ balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W14, W14A	W	4	0	0	projection/height above sill ratio ≥0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W15	N	3.1	0	0	projection/height above sill ratio ≥0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W16	W	6.3	0	0	projection/height above sill ratio	improved aluminium, single pyrolytic low-e,		
W17	S	3.1	0	0	none	(U-value: 4.48, SHGC: 0.46)		
W18	S	4.6	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W19	S	14.3	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W20	S	14.3	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W21	S	4.6	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W22	E	1.6	1.46	3.1	projection/height above sill ratio ≥0.23	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W23	N	4.8	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W24	N	1	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W25	N	5	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W26	N	9	0	0	eave/verandah/ pergola/ balcony ≥750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W27	N	2.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W28	W	2.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W29, 29A	W	10.6	0	0	eave/verandah/ pergola/ balcony	improved aluminium, single pyrolytic low-e,		

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Date :	Issue :	Description :

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

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Project : Alterations & Additions
C4.55
256 Hudson Pde, Clareville
Lot 1 DP 253614 - 1415m2
Client : Private Residence
Drawing : BASIX

Drawn/Designed : PB / MP
Project Number : 1530
Issue : 250220
Scale :
Drawing No. C4.55-18
Issue :

CLAUSE 4.55

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type		
					≥600 mm	(U-value: 4.48, SHGC: 0.46)		
W30,31,32	S	7	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W33	S	6.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W34,35,36	S	7	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W37,37A	E	10.6	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W38	N	1.7	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W39	N	11.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W40	N	5.9	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W41	E	1.4	0	0	eave/verandah/ pergola/ balcony ≥450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W42	N	3.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W43,44	N	2.7	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W45	W	1.2	0	0	eave/verandah/ pergola/ balcony ≥600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		

Skylights

Glazing requirements				Show on DA Plans	Show on CDC/DC Plans & Specs	Certifier Check
The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:					✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.					✓	✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type			
S1	4.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	4.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	4.4	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
Glazed roofs						
The applicant must install the glazed roofs described in the table below, in accordance with the specifications listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each glazed roof:					✓	✓
Glazed roofs glazing requirements						
Glazed roof number	Area of glazing (m ²)	Shading device	Glass type			
G1	2.2	no shading	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			