

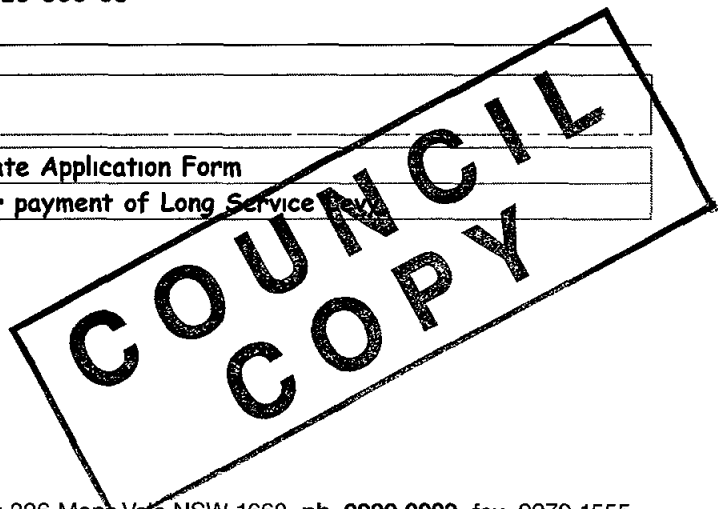
Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Modified Certificate No 2008/2694A

Council	Pittwater
Determination date of issue	Approved 19 August 2008
Subject land Address Lot No DP No	209 Riverview Road, Avalon Lot 2 DP 18667
Applicant Name Address Contact No (phone)	Mr Dennis Cowell Unit 16 60-62 Old Pittwater Road Brookvale NSW 2100 9905 5686
Owner Name Address Contact No (phone)	Mr Graeme Dufty 209 Riverview Road, Avalon NSW 2107 9918 3531
Description of Development Type of Work	Alterations & Additions to an Existing Dwelling including New Lift & Garage
Builder or Owner/Builder Name Contractor Licence No/Permit	L B Dellit Pty Ltd 26591C
Value of Work Building	\$120 000 00
SCANNED 19 AUG 2008 PITTWATER COUNCIL	
Attachments • Copy of completed Construction Certificate Application Form • Pittwater Council receipt no 236835 for payment of Long Service Lev	

R# 243692



Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- **Architectural Plans & Construction Specifications** reference nos **CC-01A & CC-02A** prepared by **Gartner Trovato Architects** dated **17 December 2007** *modified by Architectural Drawings DA-01 & DA-02 (Issue B), prepared by Gartner Trovato Architects dated April 2008*
- **Structural Details** reference nos **7072-S0 00A, S1 00A, S1 01A, S1 02A, S2 00A, S2 01A, S2 02A S3 00A S3 01A S3 02A, S4 00A & S4 01A**, dated **21 February 2008** & **S0 01A**, dated **January 2008** prepared and endorsed by **Simon Waddington Structural Engineer** and endorsed by **Jeffery and Katauskas Pty Ltd** dated **12 March 2008** *revised Structural Details reference nos 7072-S2 00(B) S3 00(B) S3 02(B) S4 00(B) & S4 01(B), prepared & endorsed by Simon Waddington Structural Engineer, dated 11 March 2008 and accompanied by a Geotechnical Statement (facsimile) dated 16 May 2008, prepared by Jeffery & Katauskas Pty Ltd Consulting Geotechnical Engineers*
- **Completed Form 2 of the Geotechnical Risk Management Policy for Pittwater**, dated **20 February 2008**
- **Council-issued Street Levels**, reference no **235132** dated **4 March 2008** (Note Existing to Council Standards)
- **Schedule of Finishes** prepared by **Dennis Cowell**, dated **27 March 2008**

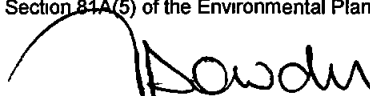
Certificate

I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 84A(5) of the Environmental Planning & Assessment Act 1979

Signed



Date of endorsement
Certificate No

19 AUG 2008

2008/2694A

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

Land & Environment Court No 1015 of 2007
26 September 2007 (modified 7 August 2008)

BCA Classification

1a

3001674

13 AUG 2009

APPLICATION FOR A CONSTRUCTION CERTIFICATE

BY

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much detail as possible.

Mr ☒ Mrs ☐ Ms ☐ Dr ☐ Other

Given Names (or ACN)

Family Name (or Company)

DENNIS

COWELL

Postal Address (we will post all mail to this address)

61A LADY PENRHYN DRIVE

BEACON HILL

Post Code 2100

Daytime telephone

Alternate no.

Mobile no.

(02) 9453 1006

0414 494386

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

GRAEME + TRACEY DUFFY

Address

209 RIVERVIEW RD.

AVALON

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

Street name

209

RIVERVIEW RD

Suburb

Post code

AVALON

2107

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

DP no.

2

18667

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved

Modification to driveway and stairs
New windows to North + west elevation
+ modification to front entry.

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work:

\$25,000

6. Development Consent

Council Consent no.

N0186/06

Date of Determination

Modified 07/08/08

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

8. Builder's details

If known, to be completed in the case of residential building work

Name

LB DEWIT Pty Ltd

License no.

26591C

Owner/builder permit no.



9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is to the best of my knowledge, true and correct.

Signature



Date

12/08/08

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non-profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

AS BEFORE

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed
What are the current uses of all or parts of the building(s)/land?	Location Use
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land?	Number of pre-existing dwellings
Number of dwellings to be demolished	How many dwellings proposed?
How many storeys will the building consist of?	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	☒	Concrete	☒	Aluminium	☐	Timber	☒
Full brick	☐	Timber	☐	Concrete		Steel	☐
Single brick	☐	Other	☐	Concrete tile	☐	Other	☐
Concrete block	☒	Unknown	☐	Fibrous cement	☐	Unknown	☐
Concrete/masonry	☐			Fibreglass	☐		
Concrete	☐			Masonry/terracotta shingle	☐		
Steel	☐			Tiles	☐		
Fibrous cement	☐			Slate	☐		
Hardiplank	☐			Steel	☒		
Timber/weatherboard	☐			Terracotta tile	☐		
Cladding-aluminium	☐			Other	☐		
Curtain glass	☐			Unknown	☐		
Other	☐						
Unknown	☐						

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes [checked] No []

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes [checked] No []

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Not			In the case of an application for a Construction Certificate for building work
Yes	No	Applicable	
[checked]	[]	[]	Three (3) copies of detailed architectural plans and specifications
[checked]	[]	[]	The plan for the building must consist of a general plan drawn to a scale not less than 1 100 and a site plan drawn to a scale not less than 1 200 The general plan of the building is to a) show a plan of each floor section b) show a plan of each elevation of the building c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground d) indicate the height design and full construction details e) indicate the provision for fire safety and fire resistance (if any)
[checked]	[]	[]	Where the proposed building work involves any alteration or addition to or rebuilding of an existing building all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration addition or rebuilding with a separate letter listing the proposed changes being submitted
[]	[]	[checked]	3 copies of a specification a) to describe the construction and materials of which the building is to be built and the method of drainage sewerage and water supply b) state whether the materials proposed to be used are new or second hand and give particular
[checked]	[]	[]	Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification
[]	[checked]	[]	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent has the original Development Consent been modified by Council?
[]	[]	[checked]	Except in the case of an application for or in respect of domestic building work a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated and b) if the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated This list must specify the standard of design of each of those fire safety measures to which they were originally installed c) This list must describe the extent capability and basis of design of each of the measures concerned
[]	[]	[checked]	Copy of BASIX Certificate & Report
[checked]	[]	[]	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12 000 require insurance as specified in the Home Building Act 1989

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5 000 In addition to this permit all projects valued in excess of \$12 000 may also require a contract of insurance under the provisions of the Home Building At 1989 as amended This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21 Astra House 227 Elizabeth Street Sydney (ph 133220)

Pittwater Council
ABN 61340837871

TAX INVOICE
OFFICIAL RECEIPT

10/04/2008 Receipt No 236835

To DENNIS COWELL

16/60-62 OLD PITTWATER RD
BROOKVALE

Qty/ Applic	Reference	Amount
	QLSL-Builders	\$1 225 00
GL Receipt	N0186/06 209 RIVERVIEW RD AVALON	
1	CCGST CCard +G	\$11 14
GL Receipt	1	
	GST	\$1 11
GL Receipt		
To GL Receipt		

Total Amount. \$1,237 25
Includes GST of \$1 11

Amounts Tendered	
Db/Cr Card	\$1 237 25
Total	\$1 237 25
Rounding	\$0 00
Change	\$0 00
Nett	\$1 237 25

Printed 10/04/2008 2 01 11 PM
Cashier GH111

COMMONWEALTH BANK
EFTPOS
PITTWATER COUNCIL
MONA VALE NSW 1
TERMINAL 22195700

CUSTOMER COPY

CARD NO	535316-986
EXPIRY DATE	09/09
CREDIT	006063
PURCHASE	1237 25
TOTAL	AUD1237 25
10 APR 2008	14 01
CBA MASTERCARD	

APPROVED 08

Jeffery and Katauskas Pty Ltd

CONSULTING GEOTECHNICAL AND ENVIRONMENTAL ENGINEERS
ABN 17 003 650 801



PO BOX 976, NORTH RYDE BC NSW 1670

Tel 02 9888 5000

Fax 02 9888 5003

Fax

To.	Dennis Cowell	Of	
Fax	9905 5686	Pages	1 of 3
Ref No	17993VT3Fax3	Date	16 May 2008
From	Tony Walker		
cc			
Re	GEOTECHNICAL REVIEW OF AMENDED ARCHITECTURAL DRAWINGS PROPOSED ADDITIONS TO HOUSE, 208 RIVERVIEW ROAD, CLAREVILLE		
☐ Urgent	☐ Please Reply	☐ Please Comment	☐ Quote ☐ Preliminary Report

As requested, we have reviewed the architectural drawings as detailed below in relation to our geotechnical assessment report dated 30 August 2005 (Ref 17993VT3Let1) The following drawings were reviewed

- Gartner Trovato Architects, Drawing No DA-01 Issue B, dated 18 April 2008 – Site and Floor Plans
- Gartner Trovato Architects, Drawing No DA-02 Issue B, dated 18 April 2008 – Elevations & Driveway Section.

Review of Revised Architectural Drawings

At the time of preparation of our geotechnical assessment report (August 2005) the supplied architectural drawings showed that it is proposed to construct a new garage at street level and to link all five levels of the house with an internal elevator. Much of the garage will be above the existing house, however, its eastern end and the connecting new driveway ramp to Riverview Road will be partly suspended on the existing driveway ramp. A new stairway and landing is also to be provided to the front entry on Level 4. Stepped access will also be provided from the landing along the northern portion of the site down to Level 3 at the front of the house. The new lift will require 5m of excavation for the lift shaft and about 3m for the lobby and passageway at the lowest (Level 1) of the house.

The current architectural drawings now show the addition of a garden store with a floor level at RL -25.35m below the existing elevated driveway ramp and a new stairway from Riverview Road down to the existing path at the south-east corner of



SYDNEY OFFICE. 115 WICKS ROAD, MACQUARIE PARK, NSW 2112
CENTRAL COAST OFFICE. 22 PERCY JOSEPH AVENUE, KARIONG, NSW 2250
Mob 0418 233 243 • Fax 02 4340 0350
SOUTH-WESTERN SYDNEY OFFICE. PO BOX 528, MOOREBANK, NSW 1875
Mob 0414 610 690 • Fax 02 9734 0323





the house. It is considered that the recommendations provided within our August 2005 geotechnical assessment are still valid for the revised development. The most critical aspect of the proposed works is the excavations below the existing driveway ramp. These excavations will be about 3m in depth. The eastern end of the ramp is supported on reinforced concrete piers, whilst the western end is structurally engaged to the house. The old (April 1988) Tierney and Partners drawing indicates that the piers were to be 600mm in diameter and were to be socketted at least 2m in the continuous sandstone bedrock profile. A safe bearing pressure of 800kPa was specified for the rock. Other details of the piers are less certain, however, the Charles Yates 1988 architectural drawings appear to indicate the piers are about 3.5m to 4m long but this has not been confirmed.

Given these factors, we infer that the proposed excavation for the store may possibly encounter soils and poor quality (extremely low strength) sandstone to about 1.5m to 2m depth, then sandstone of at least very low strength. Note adverse defects may be present within the sandstone. It would appear that there is insufficient space available for temporary cut batters as there are surcharge loadings within the 2H zone of influence of the excavation (refer to letter, Ref 17993VT3Let1). Therefore excavation and construction of the proposed retaining wall must be carefully planned so that the integrity of the existing piers supporting the ramp and the steep batter below the driveway are not compromised. Provided the temporary and permanent works are engineered for site conditions, the assessed risk to property and to life would be no greater than that for Hazard D (refer to Tables C and D attached to the above letter).

We recommend that at least some subsurface exploration be carried out prior to bulk excavation, either using a light drill rig at ramp level or a hand excavated test pit to confirm the depth and preferably the quality of the underlying sandstone. Subsurface conditions should be viewed and logged by a geotechnical engineer.

We previously outlined retaining wall design parameters in pages 7 and 8 of our letter, Ref 17993VT3Let1, issued on 30 August 2005. Note that the proposed wall should, at this stage, be designed to support soils for the full retained wall height and the lateral earth pressures adjusted to allow for the additional surcharge imposed by the steeply sloping batter above the wall as well as any other surcharge loadings and hydrostatic pressures. It may well also be necessary to provide lateral restraint in the form of props or anchors if the ground in front of the pier footings is removed; the strength and stability of the existing piers, the need for anchors/props and other works must be checked by the structural engineer.

An excavation/retention methodology must be prepared prior to bulk excavation commencing. The methodology must include but not be limited to proposed excavation and retention techniques, batter profiles, the proposed excavation equipment, excavation sequencing, geotechnical inspection intervals or hold points, vibration monitoring procedures, monitor locations, monitor types, and contingency.



on the drawings, reviewed and approved by the geotechnical engineer prior to bulk excavation.

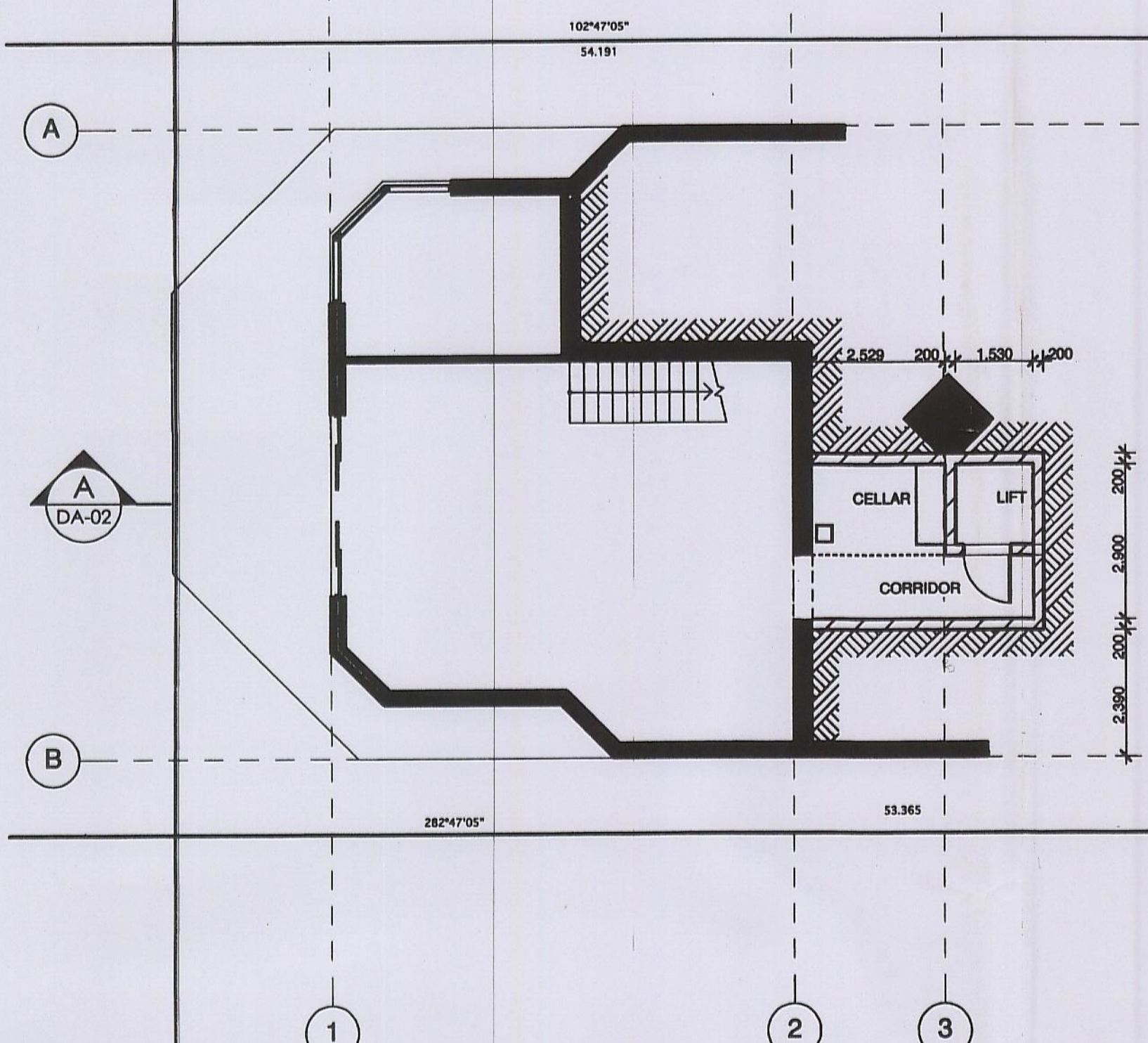
The geotechnical inspections will need to be completed in order for the geotechnical engineer to complete Council Form 3 or a compliance letter at the end of construction. If all geotechnical inspections are not completed during construction, then only the issue of a qualified Form 3/compliance letter would be able to be provided. We recommend that the builder be made aware of the geotechnical inspections are required during construction.

Should you require further information please do not hesitate to contact the undersigned.

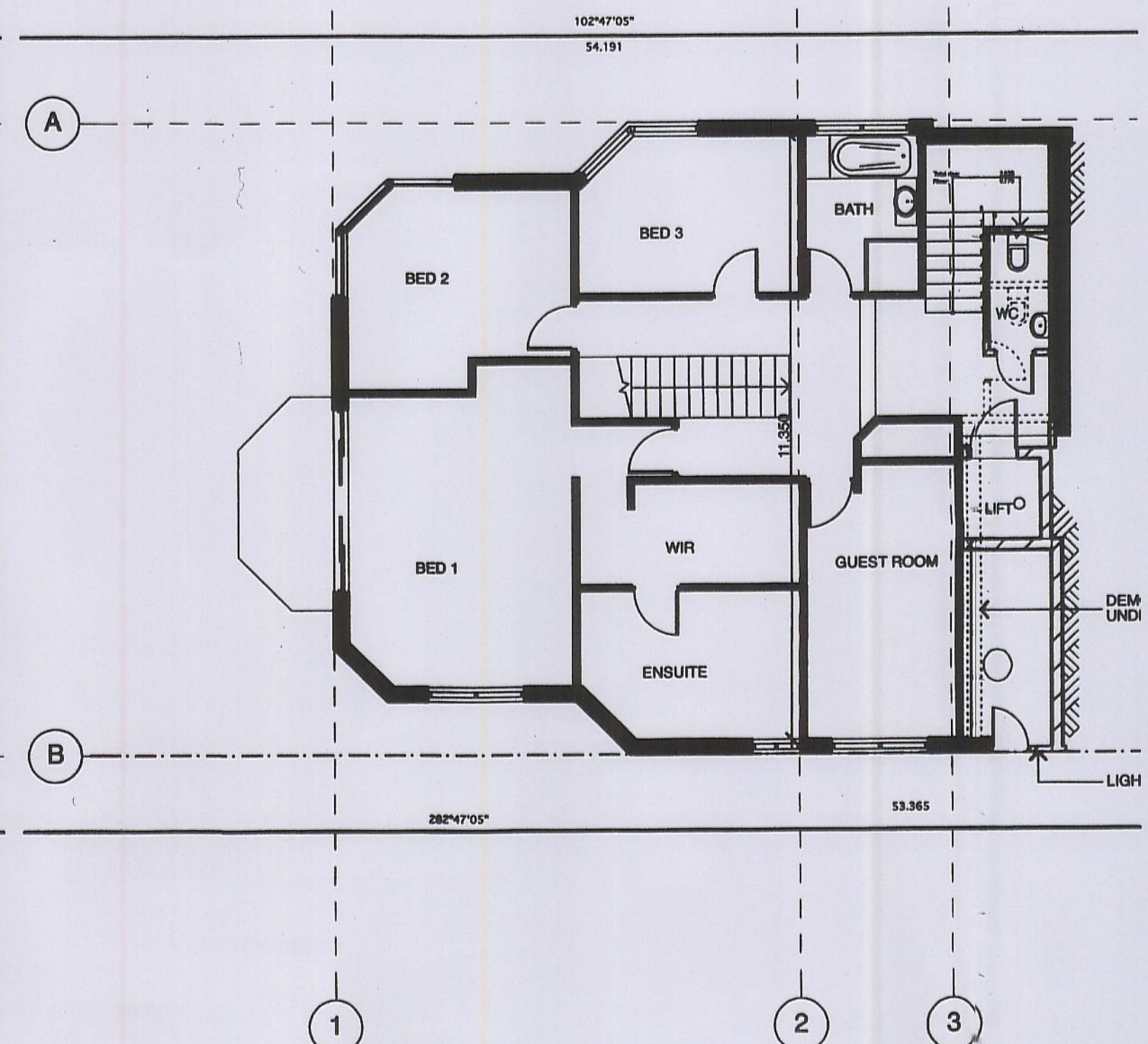
Regards,
For and on behalf of
JEFFERY & KATAUSKAS PTY LTD

Tony Walker
Associate

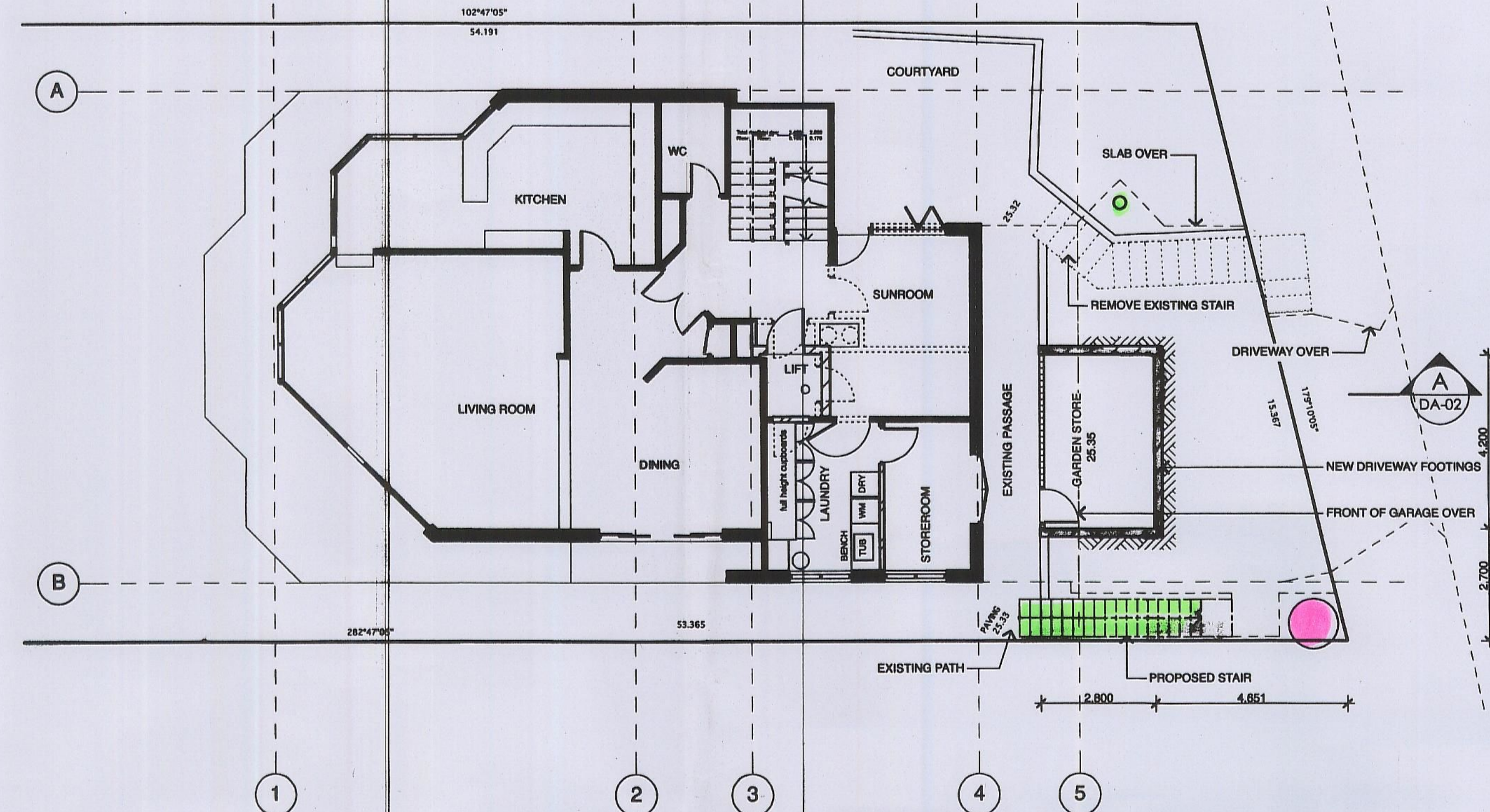
NOTE IF MESSAGE NOT CORRECTLY RECEIVED PLEASE TELEPHONE



1 Level 1 19.41
Scale: 1:100

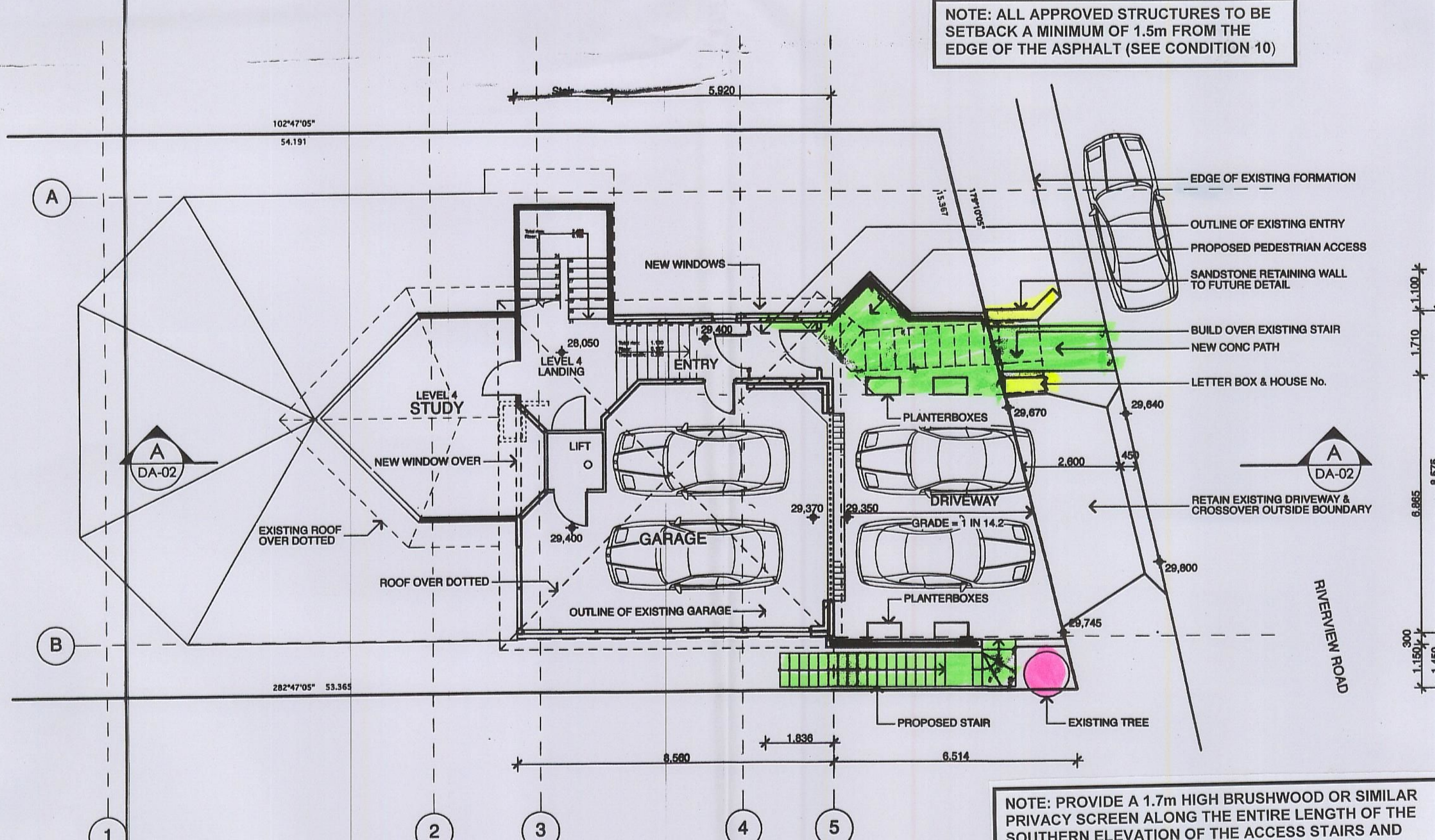


2 Level 2 22.41
Scale: 1:100



3 Level 3 25.40
Scale: 1:100

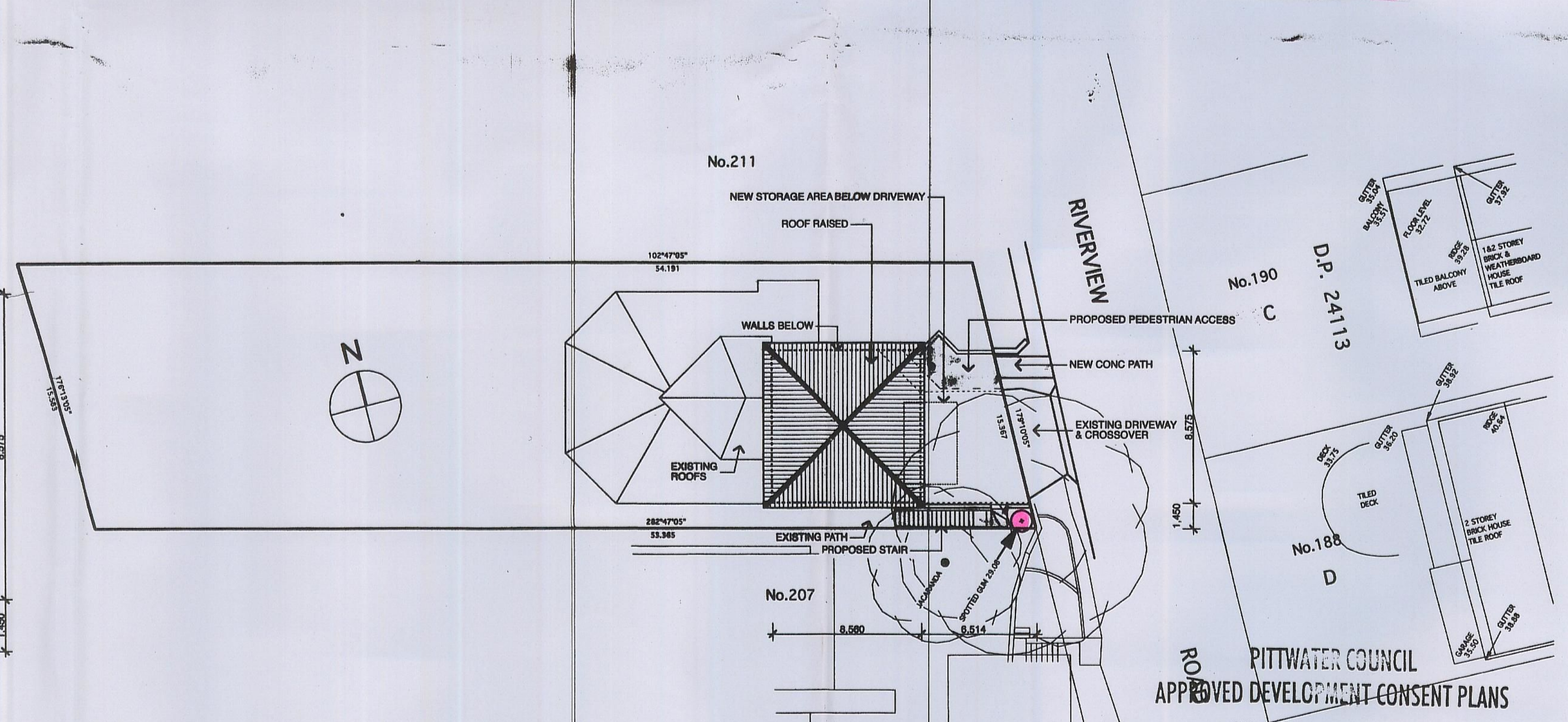
NOTE: THE SPOTTED GUM LOCATED ADJACENT TO THE PROPOSED WORKS IS TO BE PROTECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TREE MANAGEMENT REPORT PREPARED BY GROWING MY WAY DATED JULY 2008. ALL TREE PROTECTION MEASURES ARE TO BE CERTIFIED BY A CONSULTING ARBORIST PRIOR TO ANY EARTH WORKS COMMENCING.



4 Level 4 & 5 New Garage 28.05 & 29.40
Scale: 1:100

NOTE: ALL APPROVED STRUCTURES TO BE SETBACK A MINIMUM OF 1.5m FROM THE EDGE OF THE ASPHALT (SEE CONDITION 10)

NOTE: PROVIDE A 1.7m HIGH BRUSHWOOD OR SIMILAR PRIVACY SCREEN ALONG THE ENTIRE LENGTH OF THE SOUTHERN ELEVATION OF THE ACCESS STAIRS AND LANDING (SEE CONDITION 12)



WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve the applicant of their responsibility to obtain approval from the relevant authority for the proposed works.
The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamp details are consistent with the issued Construction Certificate Architectural Details.

Insight (Mod. 7/18/08)
Laec 10/5/07
CONSENT NO. DATE 26/9/07
CONSTRUCTION CERT NO. 200812694A
CONSTRUCTION CERTIFICATE PLANS
Bowden 19 AUG 2008
T. Bowden Accreditation No. BPB0042

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

COUNCIL COPY

Date	Issue	Description
19 April 2008	1	ISSUED FOR SECTION 96

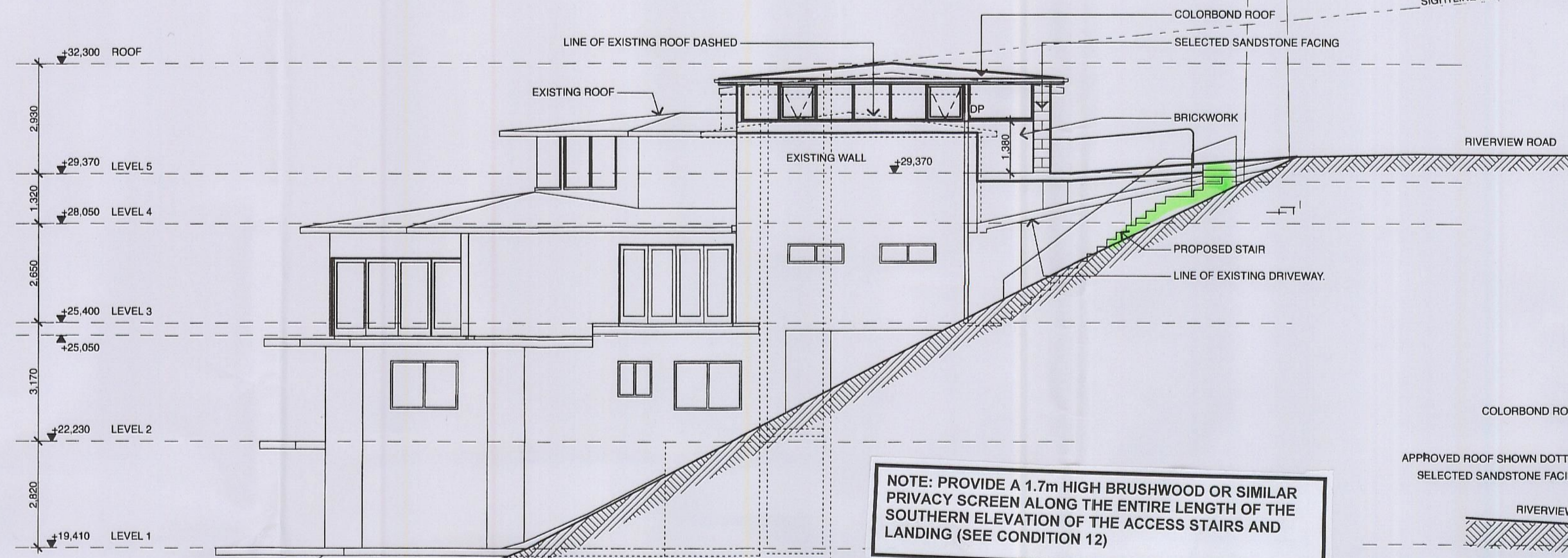
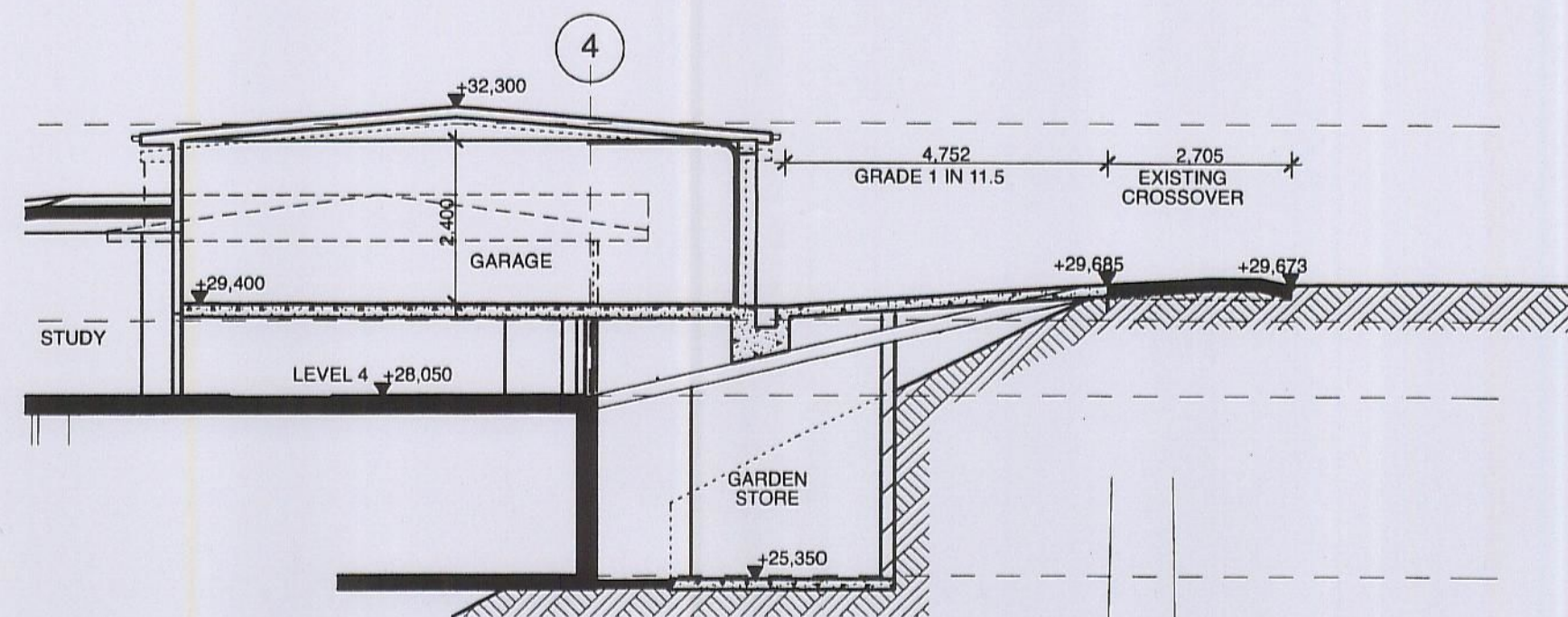
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

GARTNER TROVATO
ARCHITECTS
10/19 RIVERVIEW ROAD
AVALON, NSW 2141
02 9555 5511
02 9555 5512
02 9555 5513
02 9555 5514

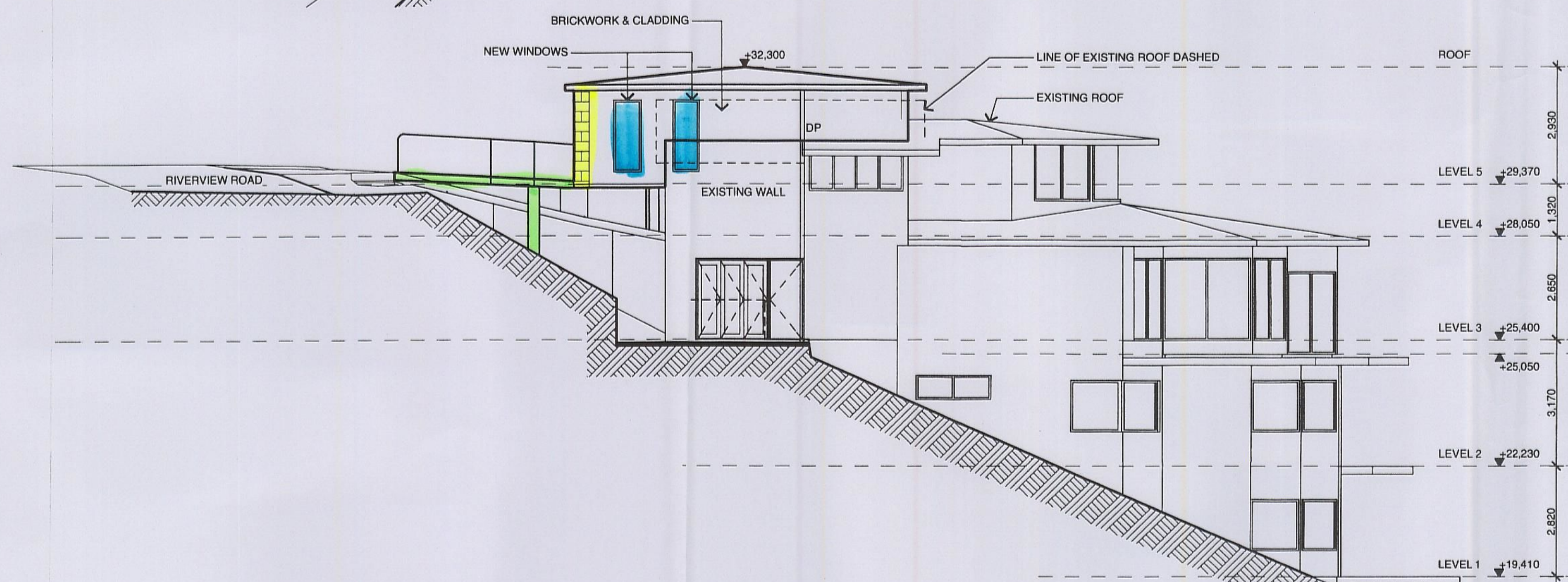
Project: Alterations & Additions
209 Riverview Road, AVALON
Client: G & T Duffy
Drawing: Site & Floor Plans

Drawn/Checked: LT Date: April 2008
Project Number: 0728 Scale: As Shown © (A1)
Drawing No.: DA-01 Issue: B

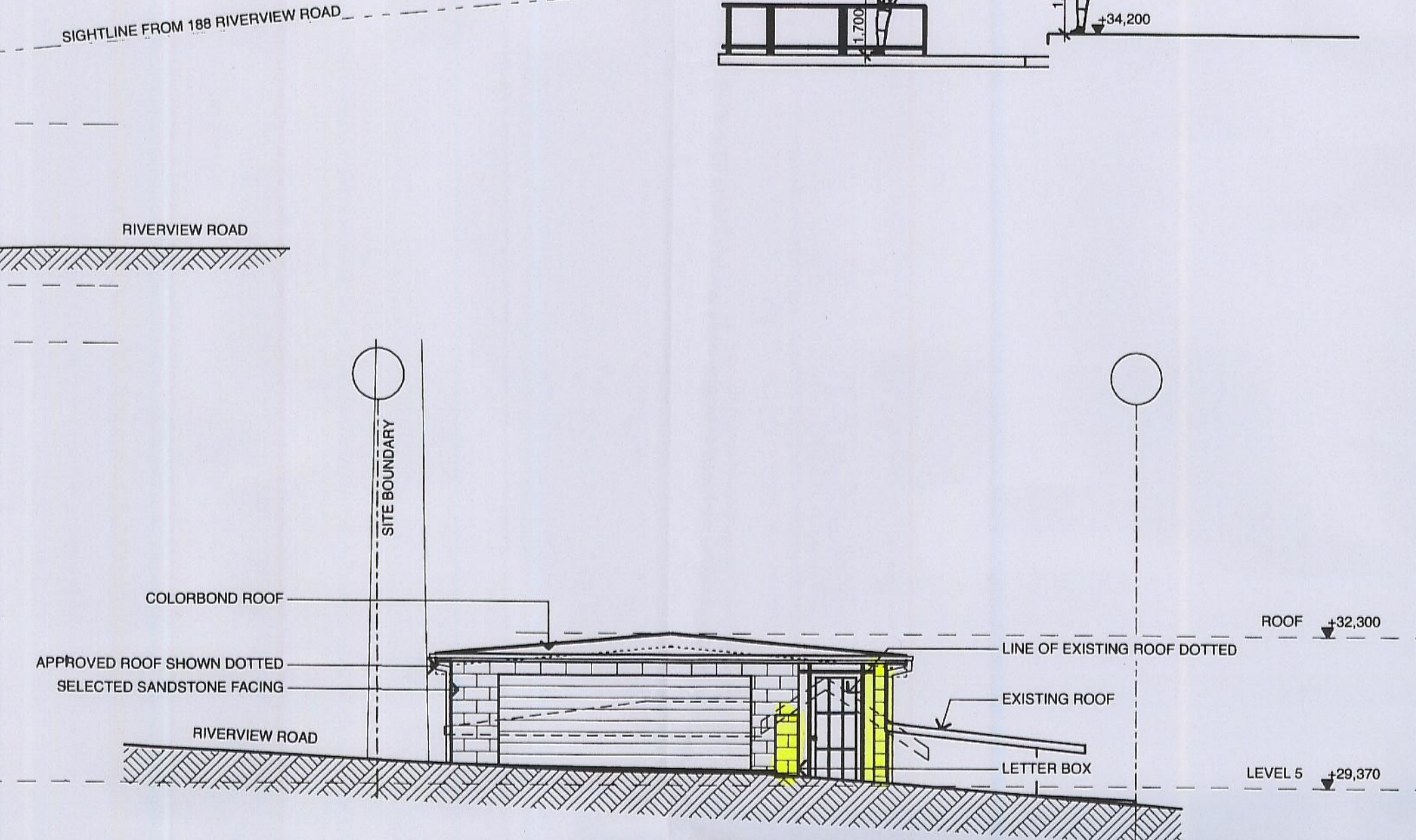
5 Driveway Section
Scale: 1:100



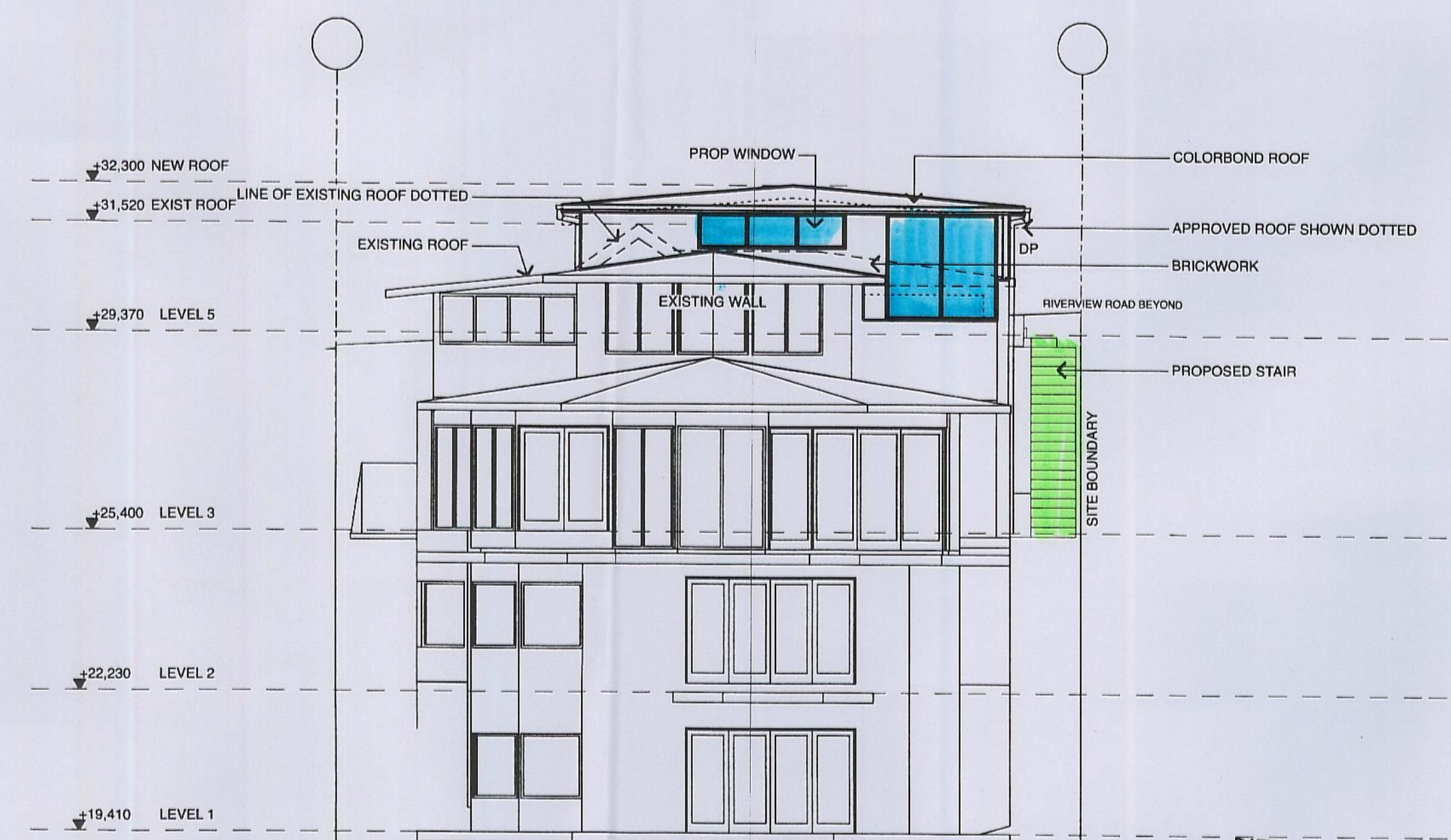
1 South Elevation
Scale: 1:100



3 North Elevation
Scale: 1:100



2 East Elevation
Scale: 1:100

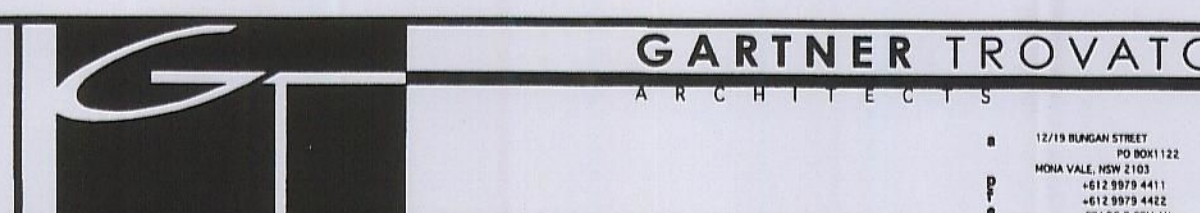


4 West Elevation
Scale: 1:100

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

Date	Issue	Description	Date	Issue	Description	Date	Issue	Description	Date	Issue	Description
18 April 2008	B	ISSUED FOR SECTION 76									

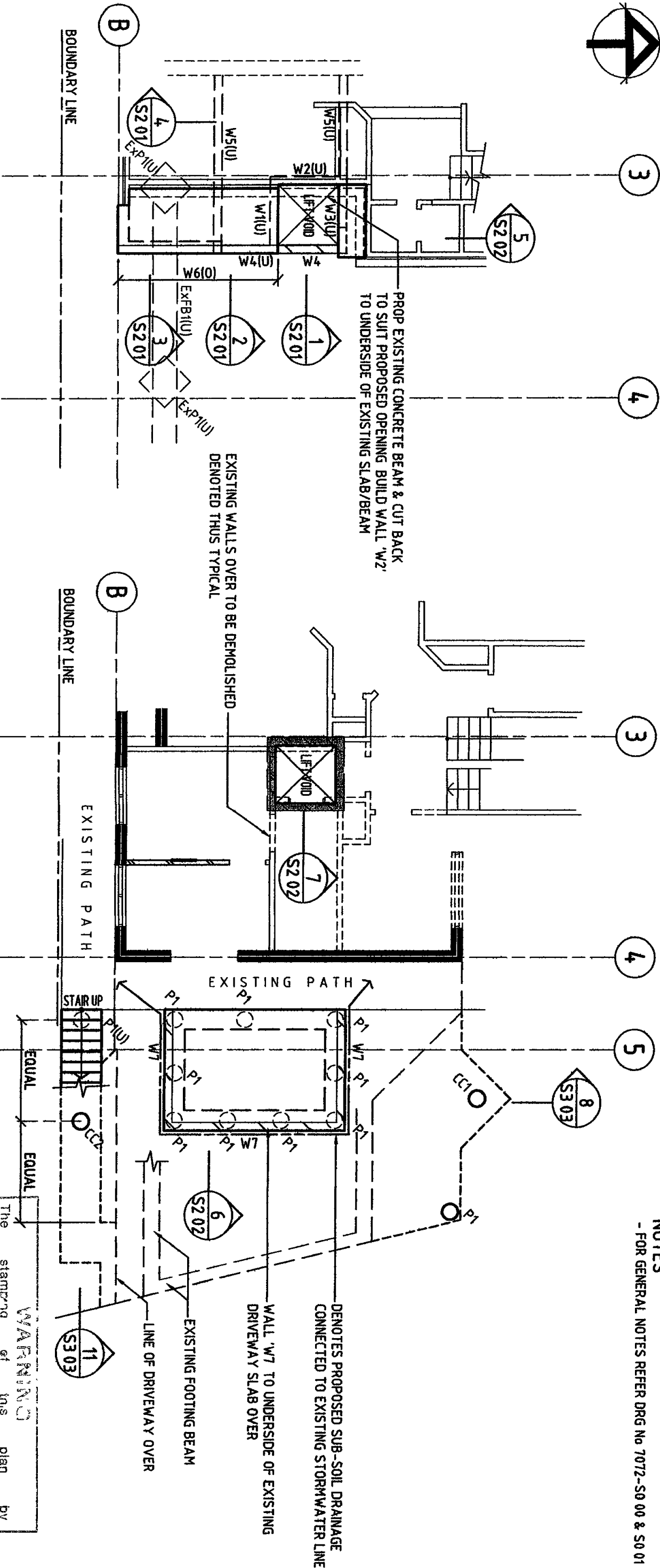
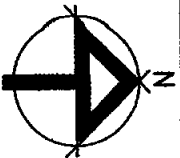
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.



Project:	Alterations & Additions 209 Riverview Road, AVALON	Drawn/Designed:	LT	Date:	April 2008
Client:	G & T Duffy	Project Number:	0728	Scale:	A3 SHOWN @ (A1)
Drawing:	Elevations & Driveway Section	Drawing No.:	DA-02	Issue:	B

NOTES

- FOR GENERAL NOTES REFER DRG No 7072-S0 00 & S0 01



LEVEL 2 SLAB PLAN

SCALE 1 100

- 1 ALL SLABS TO BE 150mm THICK THROUGHOUT, UNLESS NOTED OTHERWISE
- 2 ALL SLABS TO BE REINFORCED WITH S182 FABRIC TOP & BTM THROUGHOUT, UNLESS NOTED OTHERWISE, PLUS EXTRA BARS AS SHOWN ON PLAN & SECTIONS
- 3 SLABS ON-GROUND TO BE POURED OVER VAPOURPROOF MEMBRANE OVERLYING 50mm NOMINAL SAND BLINDING LAYER

LEVEL 3 SLAB PLAN

SCALE 1 100

- 1 ALL SLABS TO BE 200mm THICK THROUGHOUT, UNLESS NOTED OTHERWISE
- 2 ALL SLABS TO BE REINFORCED WITH S182 FABRIC TOP & BTM THROUGHOUT, UNLESS NOTED OTHERWISE, PLUS EXTRA BARS AS SHOWN ON PLAN & SECTIONS
- 3 SLABS ON-GROUND TO BE POURED OVER VAPOURPROOF MEMBRANE OVERLYING 50mm NOMINAL SAND BLINDING LAYER.

The information contained on this drawing has been prepared for the exclusive use of the Client for this project No liability or responsibility is accepted for use of this information by any third party or for any other project

ARCHITECT
GARTNER
ARCHITECTS
12/19 BUNGAN STREET
MONA VALE NSW 2108
+612 9979 4411
+612 9979 4422
GTA@G T COM.AU

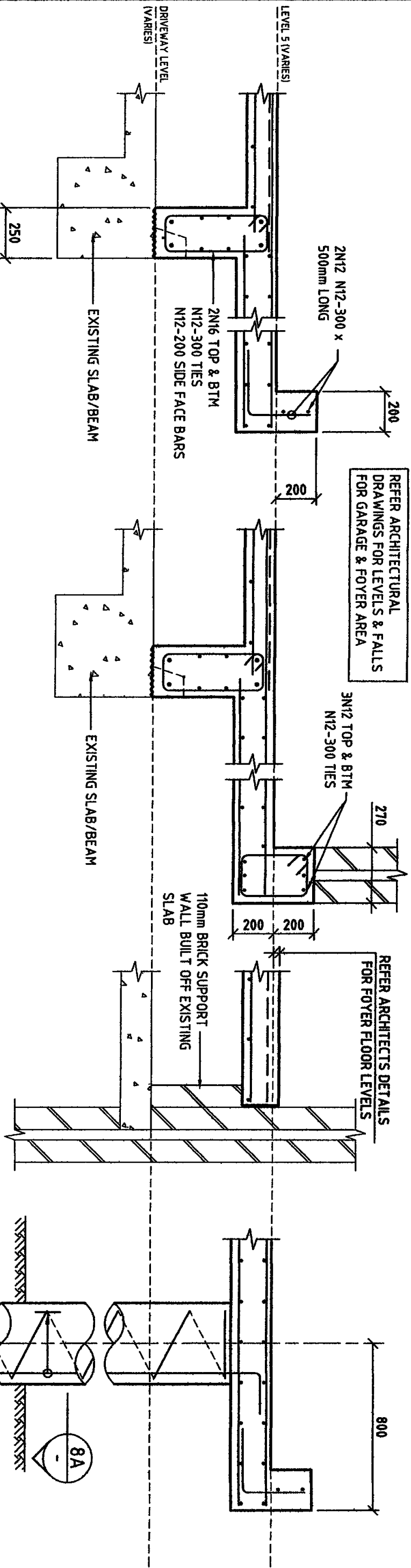
CHARTERED PROFESSIONAL ENGINEER
SIMON WADDINGTON (BE Hons)
CHENG MIEAUST NIPER (Structural)
T 02 9400 2986
F 02 9400 2986
M 0414 388 807
simonwaddington@optusnet.com.au

PROJECT
PROPOSED NEW LIFT & GARAGE
at 209 RIVERVIEW ROAD, AVALON
for Mr & Mrs G & T DUFFY

DRAWING TITLE
LEVEL 2 & LEVEL 3 SLAB PLANS

COUNCIL

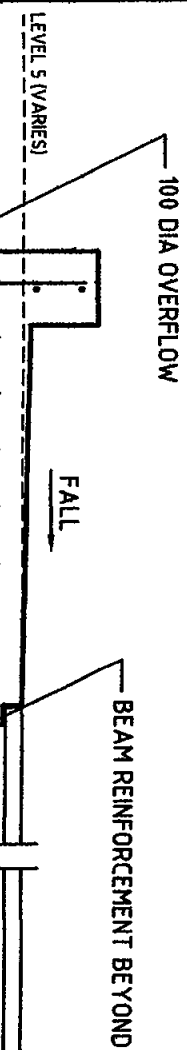
DESIGNER: S W DATE: JAN 2010
DRAWN: J C SCALE: 1 100
SIGNED: *Shadyk*
DRAWING No: 7072-S2 00 B
REV: AS



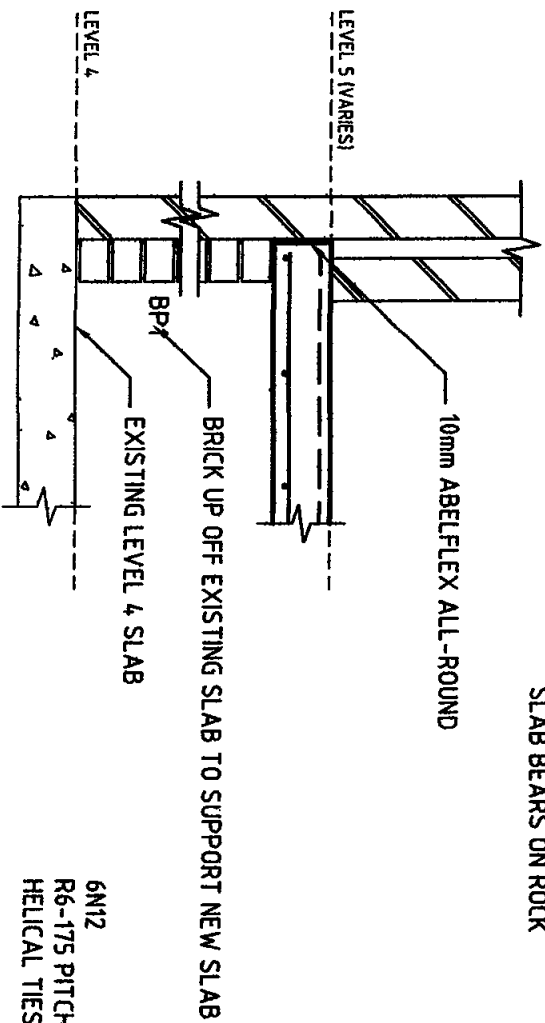
SECTION 5
SCALE 1:20
S3 00

SECTION 6
SCALE 1:20
S3 00

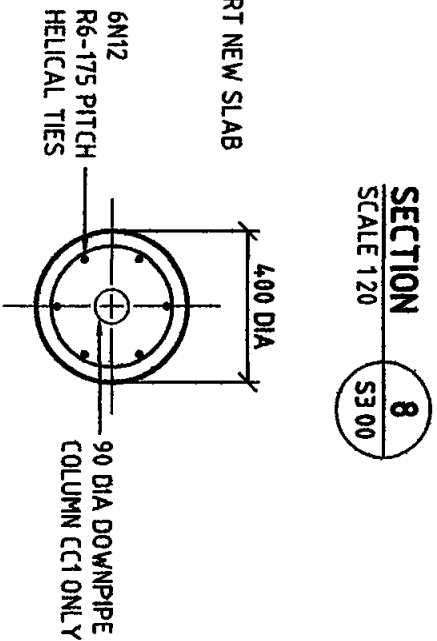
SECTION 7
SCALE 1:20
S3 00



SECTION 9
SCALE 1:20
S3 00



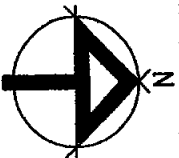
SECTION 10
SCALE 1:20
S3 00



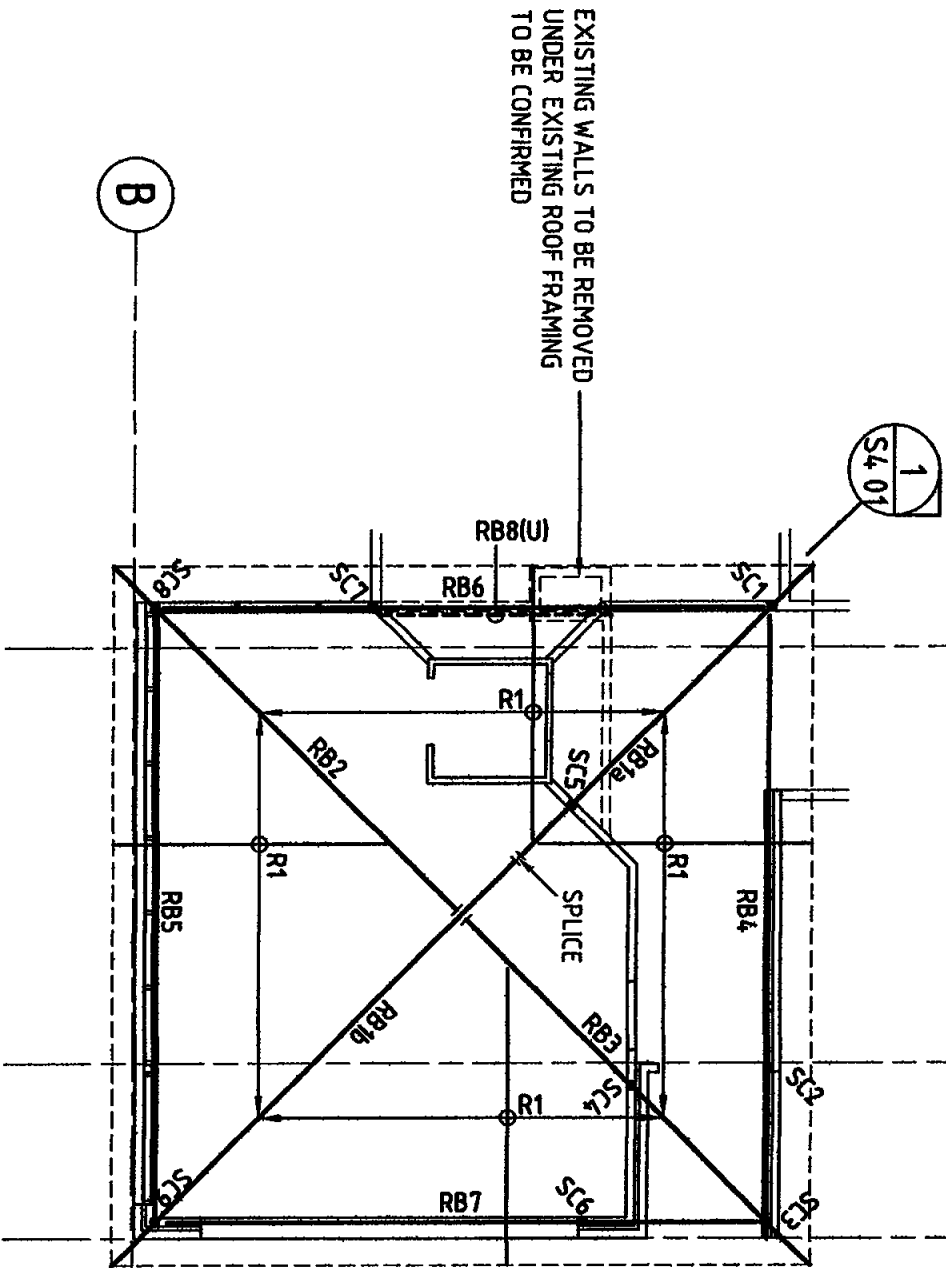
TYPICAL COLUMN 'CC1' DETAILS
COLUMN 'CC2' DETAILS SIMILAR
SECTION 8A
SCALE 1:20

NOTES
- FOR GENERAL NOTES REFER DRG No 7072-S0 00 & S0 01
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ARCHITECT		GARTNER ARCHITECTS		TROVATO		CHARTERED PROFESSIONAL ENGINEER		SIMON WADDINGTON (BE Hons)		PROJECT		DESIGN	
										PROPOSED NEW LIFT & GARAGE at 209 RIVERVIEW ROAD, AVALON for Mr & Mrs G & T DUFTY		DRAWN	
												J.C.	
												SCALE	
												1:20	
												DATE	
												JAN 2008	
												SIZE	
												A3	
												REV	
												7072-S3.02	
												B	



NOTES
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MEMBER SCHEDULE

STEEL COLUMNS	
SC1 to SC9	89 x 89 x 5.0 SHS
ROOF BEAMS	
RB1 to RB3	250 UB 25.7
RB4 to RB7	150 PFC
RB8	200 x 63 LVL (SIZE TO BE CONFIRMED SUBJECT TO EXISTING FRAMING)
RAFTERS	
R1	140 x 45 F7 @ 600mm MAX CTS PROVIDE DOUBLE RAFTERS AT CROWN RAFTER

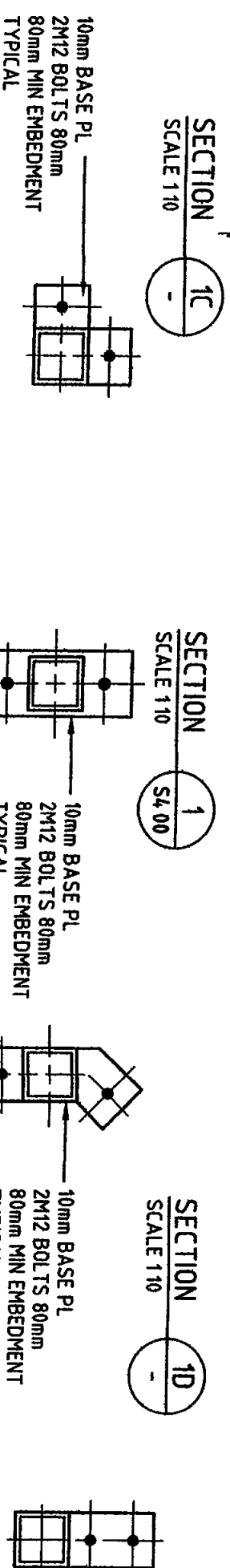
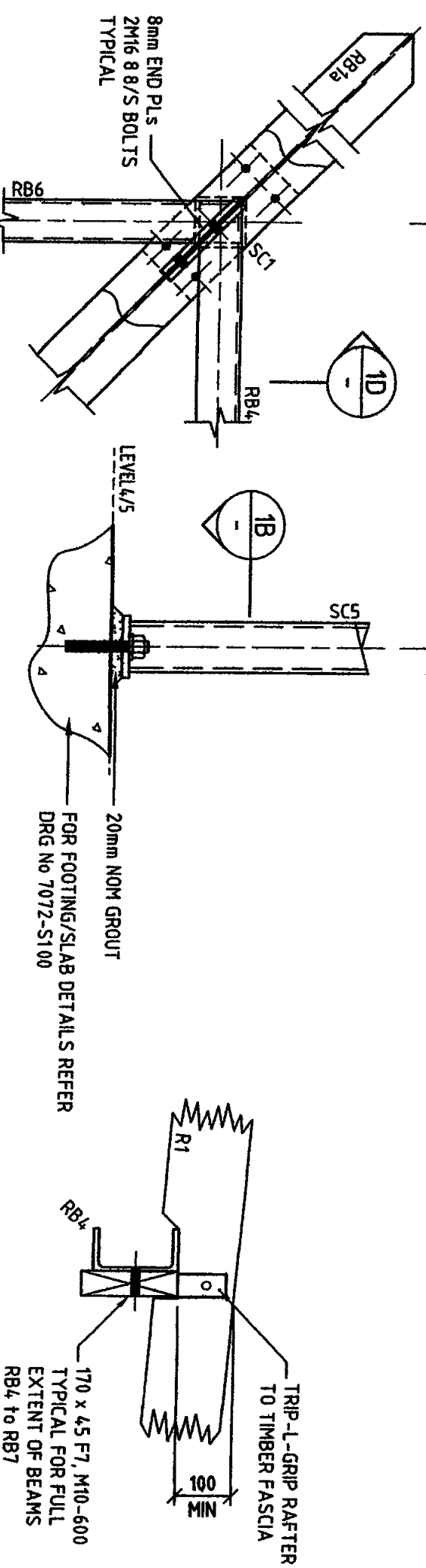
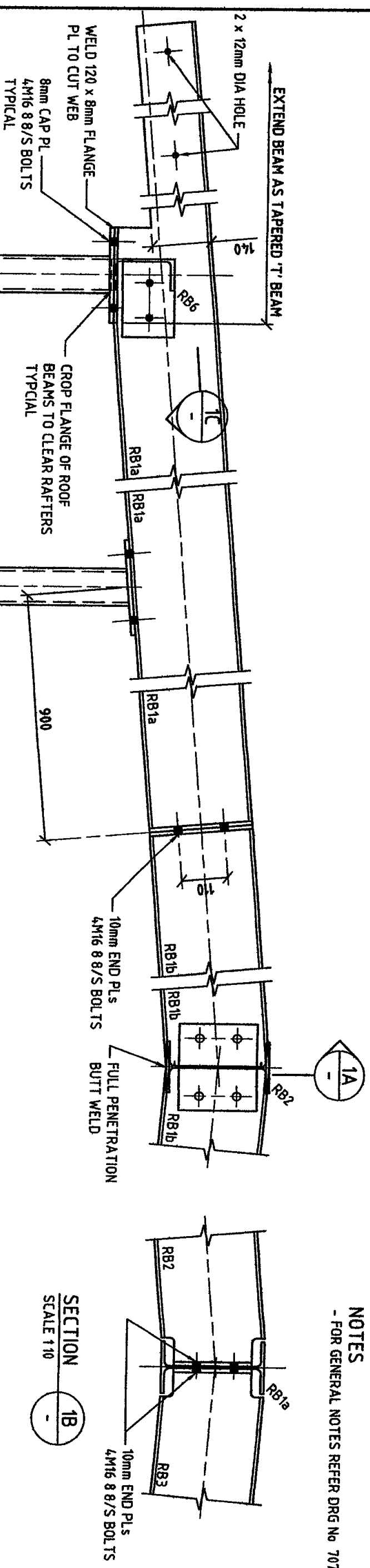
ROOF FRAMING PLAN

SCALE 1:100

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ARCHITECT		CHARTERED PROFESSIONAL ENGINEER		PROJECT		DESIGN	
GARTNER ARCHITECTS		SIMON WADDINGTON (BE Hons)		PROPOSED NEW LIFT & GARAGE at 209 RIVERVIEW ROAD, AVALON for Mr & Mrs G & T DUFFY		S M	
12/19 BUNGAN STREET MONA VALE, NSW 2108		CPENG MIEAUST NPER (Structural)		DRAWING TITLE		DATE	
+612 9978 4411		T 02 9400 2986		ROOF FRAMING PLAN		JAN 2018	
+612 9978 4422		F 02 9400 2986		DRAWING NO		SCALE	
GTA@G-T.COM.AU		M 0414 383 807		7072-S4.001B		1:100	
BY DATE		simonwaddington@optusnet.com.au		SIGNED		SIZE	
JC SW 11/03/08				Subsign		A3	
JC SW 21/02/08							
JC SW 05/02/08							
DESCRIPTION							
8 RE-ISSUED FOR CONSTRUCTION							
A ISSUED FOR CONSTRUCTION							
01 PRELIMINARY - FOR INFORMATION ONLY							
ISSUE							

NOTES
- FOR GENERAL NOTES REFER DRG No. 7072-S0 00 & S0 01



TYPICAL BASE PL SC8 & SC9 DETAILS

TYPICAL BASE PL SC1 to SC5 DETAILS

TYPICAL BASE PL SC7 DETAILS

TYPICAL BASE PL SC6 DETAILS

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