

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 7222



Office Use Only:

C/C NO: CC0169/04

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT ☐ or PICK UP ☐ _____

LODGE MENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.



THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No _____ Date _____

A CONCURRENT DEVELOPMENT APPLICATION

Application No N0805/03 Date 9/1/04



SITE DETAILS: (please print)

House No 27 Street/Road Koorang Ave Suburb Elansra Heights

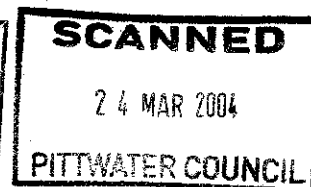
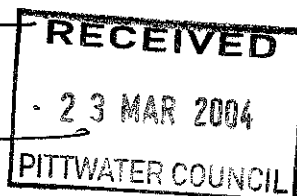
Postcode 2101 Lot 109 Section _____ Deposited Plan 220630

Description of Proposal 3 sided carport

VALUE OF DEVELOPMENT: \$5000

Nominated Building Classification: Class(es) _____

CC - 82.50





APPLICANT: (please print)
Name/Company Antonio Cimino + Michelle Cimino
Address 27 Koorangi Ave Elanora Heights NSW 2101
Phone (02) 9944 6414 Daytime Contact No () 0916 052675
I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.
Signature [Signature] Date 22/3/04



OWNER (please print)
This section must be signed by ALL owners
I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.
Owner/s ANTONIO CIMINO MICHELLE CIMINO
Address 27 KOORANGI AVE
ELANORA HEIGHTS NSW Postcode 2101
Signature(s) [Signatures]

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.



BUILDER'S NAME AND ADDRESS
(must be completed when the proposal involves residential building work): (please print)
Are you an Owner-Builder? YES, Permit No. N/A
Licensed Builder Details
Name/Company Ted Reid
Address 170 Garden Street Narrabeen NSW
Phone () _____ Daytime Contact No () 9913 2264
Licence No 8624C Insurance Policy No N/A less than 12K
Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.
(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.



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CONSTRUCTION MATERIALS/DETAILS: (please print) (must by law be accurate)

Construction materials

External walls _____ Roof tile

Floor _____ Wall frames _____

Details

Current use of the land/building(s) parking

Site area _____ 42 m²

Floor area - existing _____ 42 m²

- proposed _____ 42 m²

Total _____ 42 m²

Number of Storeys _____ NA

Number of dwellings to be demolished _____ NA

Number of dwellings proposed _____ NA

THE CHECKLIST

- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE		STAFF USE
A	COMPLIANCE WITH CONSENT CONDITIONS	
✓	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.	
B	COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
✓	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.	
C	SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200	
✓	North point and all boundary dimensions of the block. All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured). The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors. Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses. Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.	
D	ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
✓	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified. Existing/proposed ground levels and all floor to ceiling heights. Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels. Roof profile, material, colour, reflectivity and eaves width are shown. The outline of buildings on the adjoining sites.	

YOUR USE		STAFF USE
E	SECTIONS A cut through view of the building and site. Minimum scale 1:100	
✓	The outline of the existing and/or proposed building showing all dimensions including roof pitch. All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients). Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any). Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size Provisions made for Fire Safety and Fire Resistance.	
F	LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
✓	Details of driveways, vehicle crossing profiles and transitions. Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.	
G	FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
✓	North point shown. Room dimensions and use shown. The location and dimension of all windows, doors and walls (including wall thickness). Provisions made for Fire Safety and Fire Resistance	
H	BUILDING SPECIFICATION Details of construction.	
✓	Two copies, detailing method of construction, fire ratings, type of materials, dimensions and length. Whether the material will be new or second hand. Give particulars of second hand materials. Details of drainage, effluent disposal, water supply, ventilation arrangements etc.	
Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.		
I	FIRE SAFETY PROVISIONS Class 2-9 buildings only	
✓	Details of the fire safety measures to be implemented.	
✓	Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.	
J	DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
✓	Earthworks, erosion control measures, elevations of retaining walls, etc.	
✓	Roadworks, road pavement details.	
✓	Stormwater drainage (including stormwater management details).	
✓	Water supply, effluent disposal.	
✓	Landscape construction works.	
Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.		
		Checked by:



Pittwater Council

ASN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place

WARRIEWOOD NSW 2102

Avalon Customer Service Centre

59A Old Barranjoey Road, AVALON 2107

Postal Address

P.O. Box 882

MONA VALE NSW 1660

DX 9018 MONA VALE

Telephone (02) 9970 1111

Facsimile (02) 9970 7150

Internet www.pittwaterlga.com.au

Email: pittwater_council@pittwater.nsw.gov.au

Colin Mathison, Principal Engineer, Works

8.00am to 5.00pm Mon to Fri

Phone 9970 1343 Mobile 0417 416 337

11 March 2004

Tony Cimino

27 Koorangi Avenue

ELANORA HEIGHTS 2101

Dear Mr Cimino

Re: Property 27 Koorangi Avenue, Elanora Heights – Drainage Easement

Further to your letter of 11 March regarding the above and the recent inspections, this is to confirm that this Department has no objection to the foundation and construction of the garage extension provided that:

- a) The foundation and structure imposes no load whatsoever on the stormwater pipe.
- b) Access to the stormwater pipe (for maintenance) is unhindered.

Yours faithfully

Colin Mathison

PRINCIPAL ENGINEER, WORKS

Mr Tony Cimino
27 Koorangi Avenue
Elanora Heights NSW 2101

23rd March 2004

Attention: Darren Greenowl

RE: NO805/03
Lot 109 DP 220630

Hi Darren

As per our number of discussions I have enclosed all forms for the CC application.

Also enclosed is the letter from Colin Mathiseon re relocation of footing insu~~ide~~de easement.

Could you please contact me upon receipt of this application so we can ensure a smooth process.

I am contactable on 0416 052 675.

Many thanks and kind regards,

A handwritten signature in black ink, appearing to read 'Tony & Michelle Cimino', with a stylized flourish at the end.

Tony & Michelle Cimino

Attention: Darren Greenowl

RE: NO805/03

Lot 109 DP 220630

Hi Darren

As requested items listed below for compliance with Bush Fire Prone Level 1 construction.

- 1) 3.4 Supporting Posts , columns piers etc full compliance met as construction does not have combustibile items and all timbers are fire retardant treated timber.
- 2) 3.9 ROOFS The tiled roof will be fully sarked and treated below the tiling battens and cover total area including the ridge.
- 3) 3.10 All eaves will be closed and the gaps between the rafters shall be sealed
- 4) 3.12 All gutters will be installed with devices that stop build up of leaves ie gutter covers.

Pittwater Council

GEN: 51340837871

TAX INVOICE OFFICIAL RECEIPT

24/03/2004 Receipt No 136641

To: MICHELLE CIMINO

27 KIDGRANGE AVENUE
ELANDRA HGTS NSW 2101

Qty/ Article	Reference	Amount
1	TDEZ-Cons	\$75.00
GL Ref: 1		
	GST	\$7.50
GL Ref:		
To GL Receipt:		

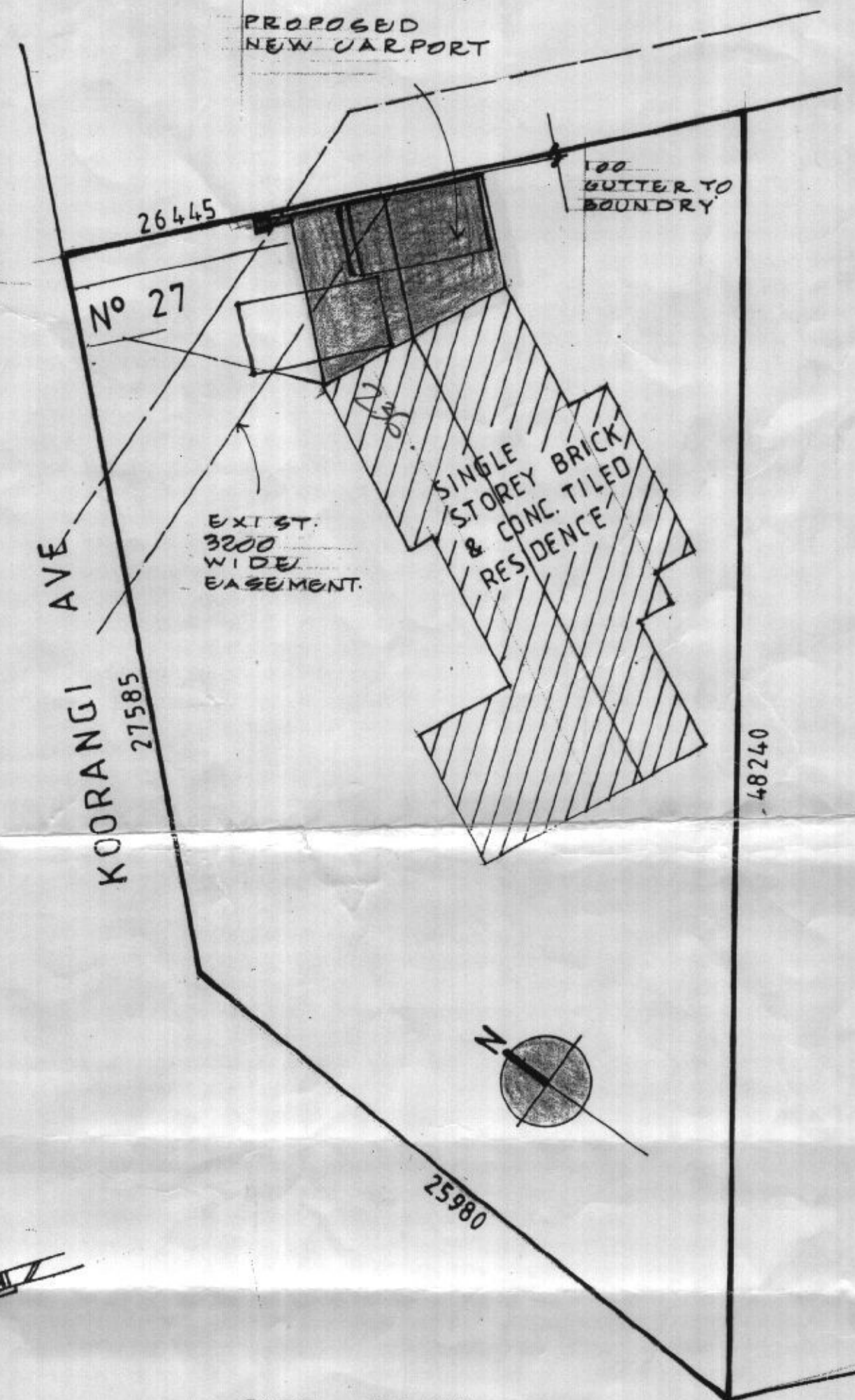
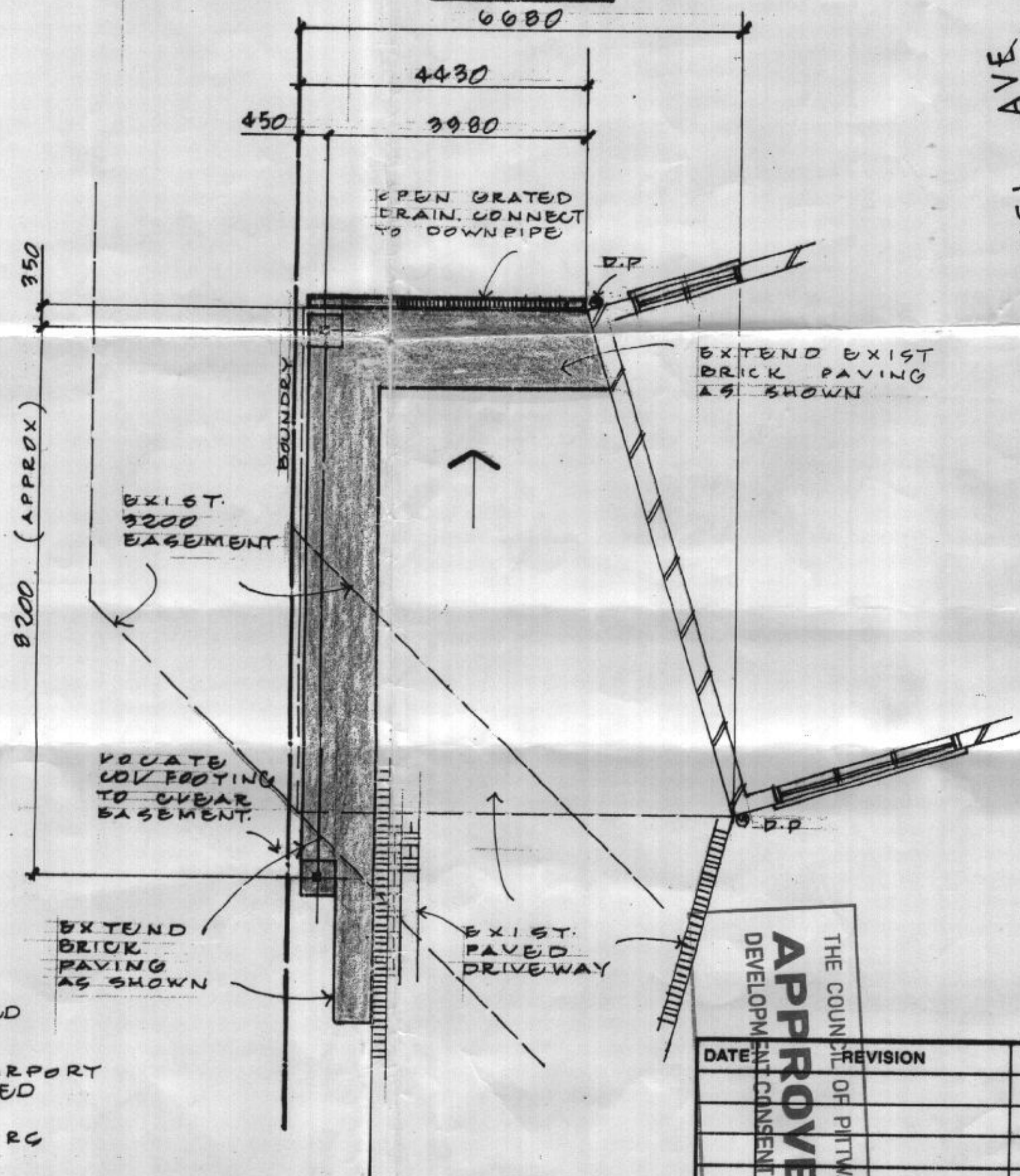
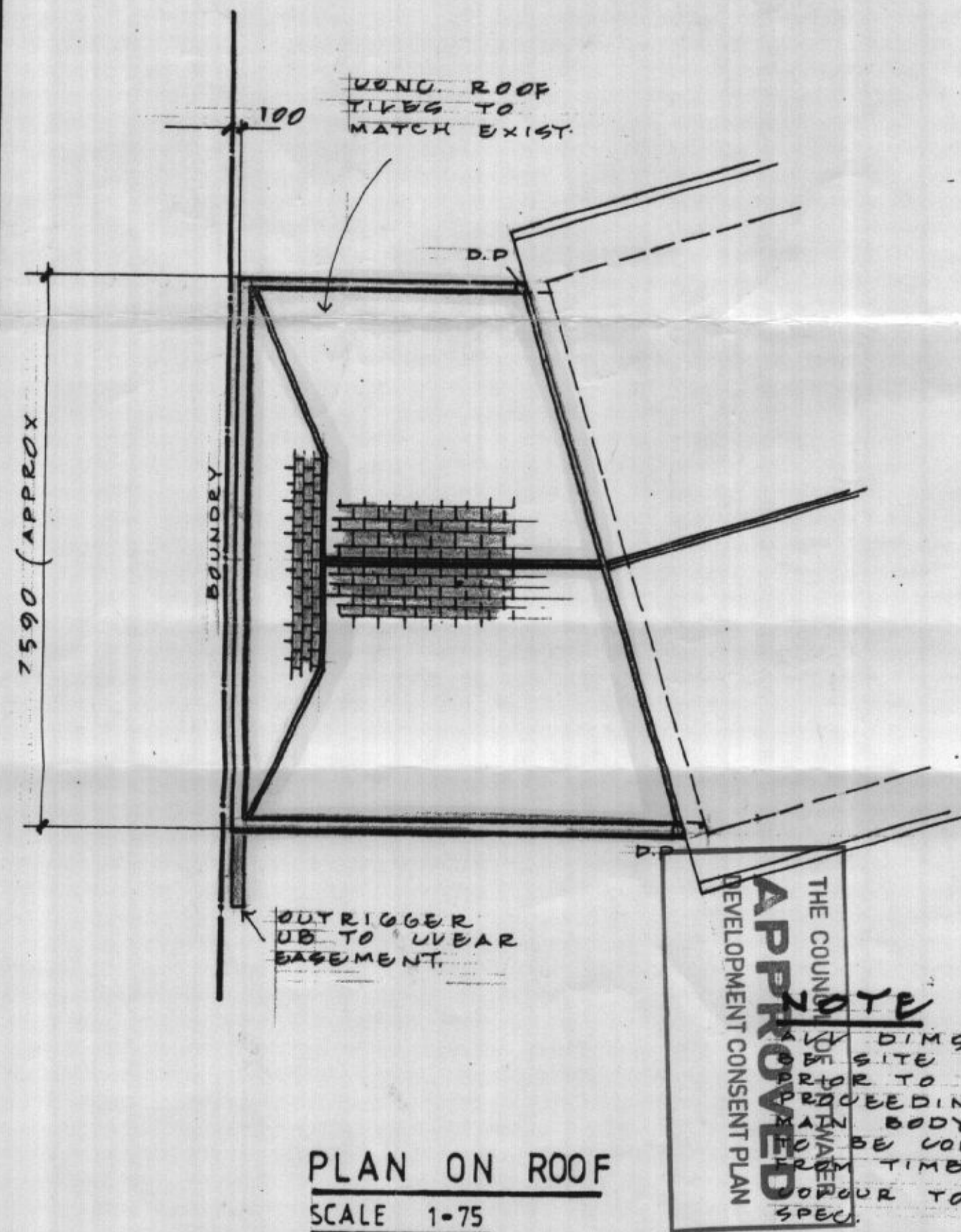
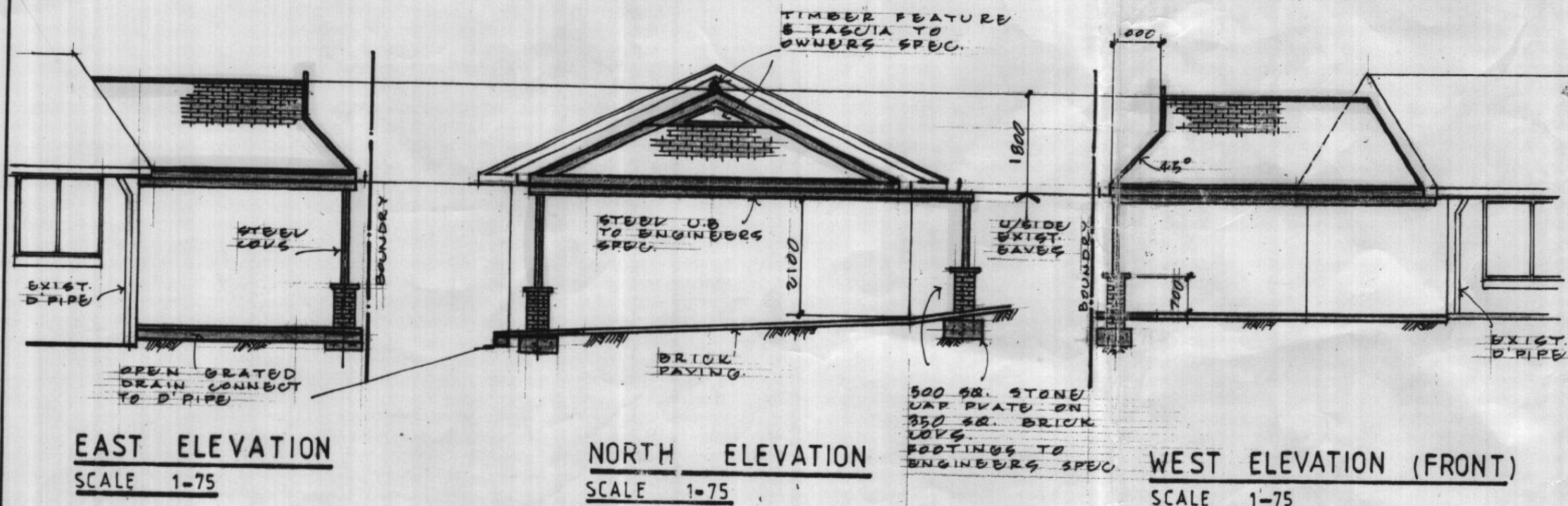
Total Amount: \$82.50
Includes GST of: \$7.50

Amounts Tendered

Card	\$82.50
Total	\$82.50
Rounding	\$0.00
Change	\$0.00
Nett	\$82.50

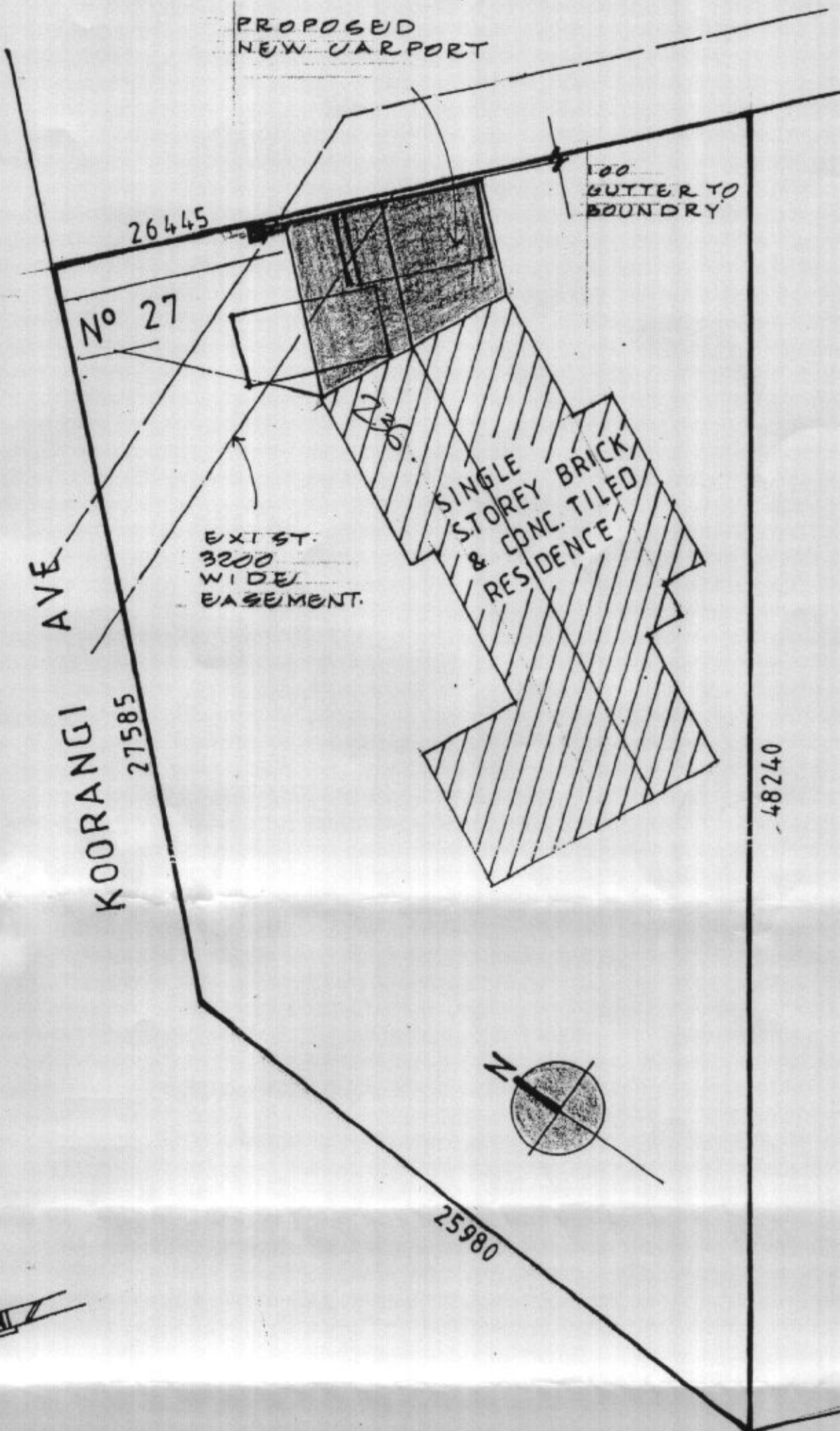
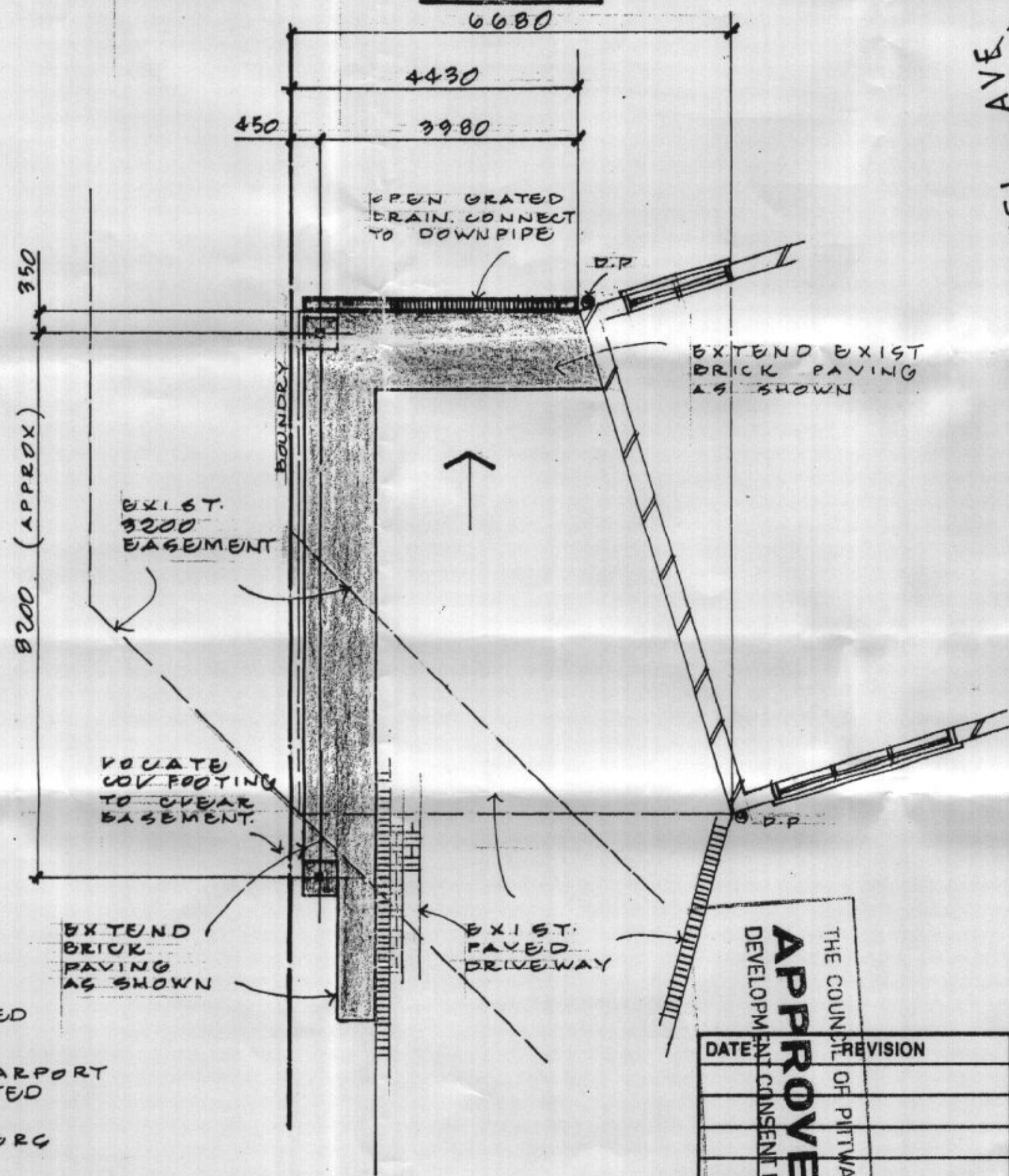
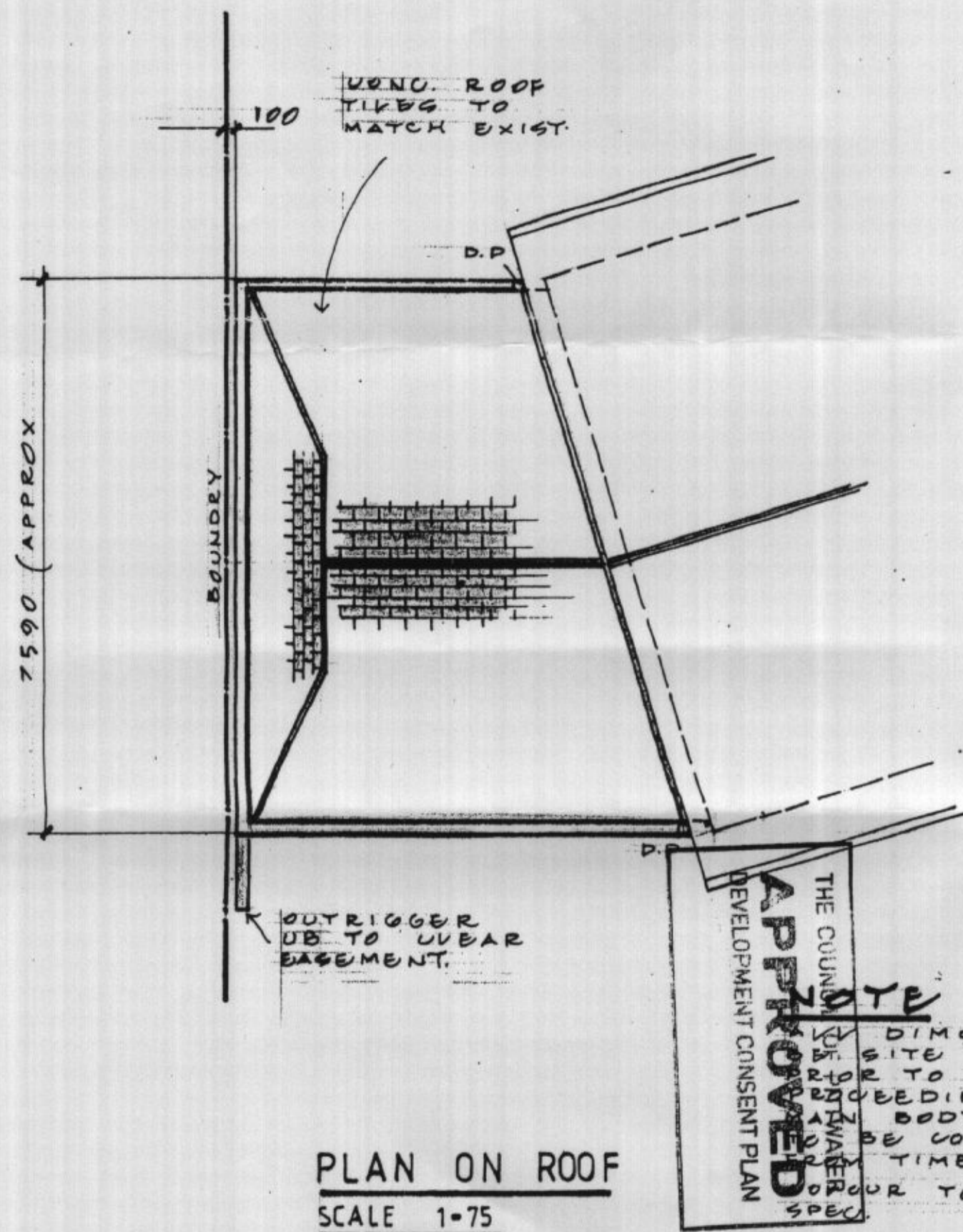
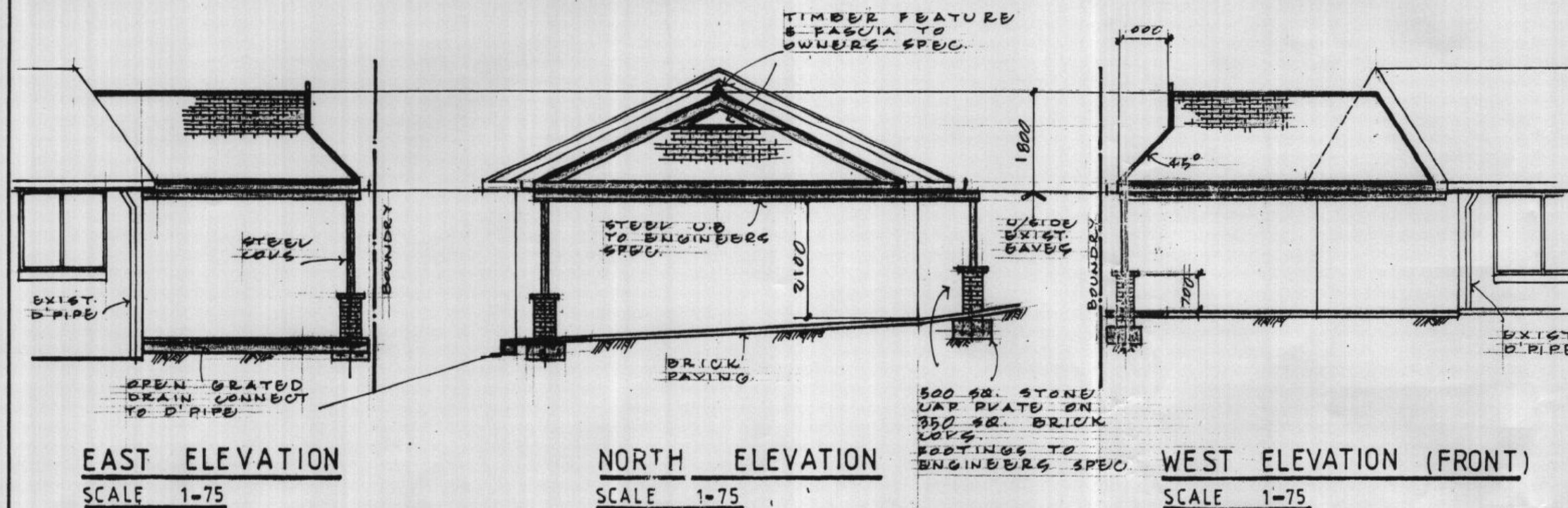
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Cashier: CDicks



DRG. PREPARED BY
DRAFT HIRE TECH SERVICES
TEL 9460 7511

DATE	REVISION	BY	PROPOSED NEW CARPORT AT NO 27 KOORANGI AVE BLVANORA HEIGHTS	
THE COUNCIL OF PITWATER DEVELOPMENT CONSENT PLAN APPROVED			FOR MR & MRS UIMINO	
			DRAWN VA.	CHECKED AS
			SCALE 1:75 & 200	DRAWING No. A2-637



NOTE
THE COUNCIL OF PITWATER DEVELOPMENT CONSENT PLAN APPROVED
DIMENSIONS TO SITE CHECKED
BEFORE TO CONST.
RECEIVING
BODY OF CARPORT
TO BE CONSTRUCTED
FROM TIMBER.
SUBJECT TO OWNERS SPEC.

THE COUNCIL OF PITWATER DEVELOPMENT CONSENT PLAN APPROVED

DRG. PREPARED BY
DRAFT HIRE TECH SERVICES
TEL 9460 7511

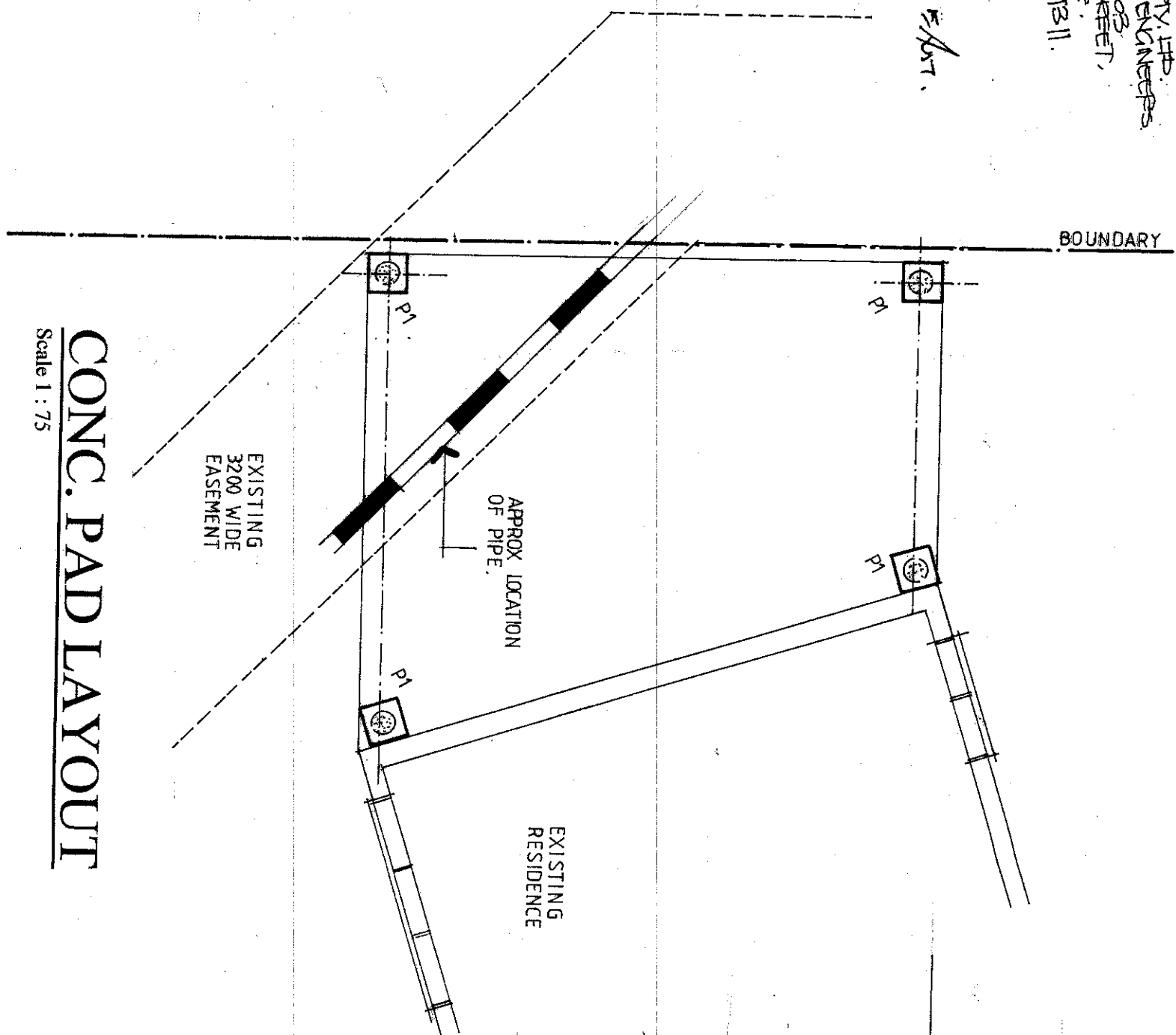
**PROPOSED NEW CARPORT
AT NO 27 KOORANGI AVE
EVANORA HEIGHTS
FOR.
MR & MRS UIMINO**

DATE	REVISION	BY

DRAWN	CHECKED	SCALE	DRAWING No.
WA	AS	1:75 & 200	A2-627

NOTE:
THESE PLANS ARE
CERTIFIED BY
REGISTERED
STRUCTURAL ENGINEERS
LEVEL 2 N° 103
VANESSA STREET,
KINGSBURY
PH: 9554 9311.

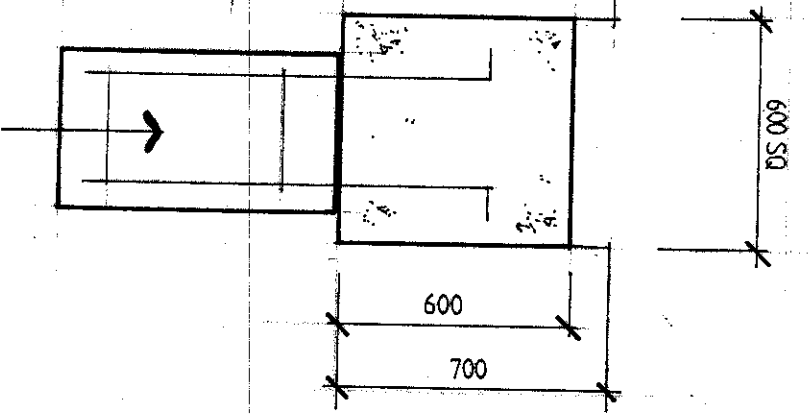
B.E.M.2.5/17.



CONC. PAD LAYOUT

Scale 1 : 75

- NOTES:
- Prior to commencement of any works pipe location, within easement to be verified & located.
 - All pads (P1) to be 600sq x 600 deep mass concrete.
 - 450 dia piers to be provided under conc. pad and to be founded 500mm below invert of pipe in easement.
 - Piers to be reinforced with 4y12 bars & R6 ties at 500 cts.
 - When excavation occurs near existing footings, take caution not to under-mine existing footing.
 - If under-mining occurs then under-pinning of existing footing will be required.



CONC. PAD (P1) DETAIL

450 dia conc piers, reinforced with 4y12 bars & R6 ties at 500 cts. Piers to be piers 500mm below invert of existing pipe in easement.

NOTES:-
ALL ORGANIC LOAM MATERIAL IS TO BE STRIPPED PRIOR TO EXCAVATION
ADDITIONAL PIERS TO EVEN BEARING MAYBE REQUIRED.
OVERALL SLAB DIMENSIONS TO BE CHECKED AGAINST ARCHITECTURAL'S PRIOR TO COMMENCEMENT OF WORK

CONSTRUCTION NOTES

- GENERAL
1. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
 2. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. REFER TO ARCHITECT'S FINAL DRAWINGS.
 3. BUILDER TO CHECK ALL RELEVANT DIMENSIONS ON SITE.
 4. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY.
 5. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER STRESSED. THE BUILDER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE WORKS DURING CONSTRUCTION.

C1 CONCRETE SPECIFICATION (IF C-28 DAYS) TO BE AS FOLLOWS:

LOCATION	CEMENT	F/C	MAX AGG. SIZE	SUMP
PIERS	TYPE A	15 MPa	20	80
SLAB	TYPE A	20 MPa	20	80

C2 CLEAR COVER TO REINFORCEMENT, UNLESS NOTED OTHERWISE, TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	65

C3 REINFORCEMENT SYMBOLS ARE AS FOLLOWS:

- R STRUCTURAL GRADE ROUND BARS (250 R)
- Y HOT ROLLED DEFORMED BARS (400 Y)
- F HARD-DRAWN WIRE REINFORCING FABRIC (450 F)
- S STRUCTURAL GRADE DEFORMED BARS

C4 NO HOLES OR CHASES, OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS, TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.

C5 CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

C6 BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.

C7 ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE.

C8 PIERS OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

C9 ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK.

C10 ALL CONCRETE SHALL BE CURED BY MOST CURING BY CONTINUAL WETTING FOR AT LEAST 7 DAYS OR THE USE OF AN APPROVED CURING COMPOUND.

FOUNDATIONS

F1 FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 200 kPa.

F2 PIER HOLES ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 450 kPa.

F3 FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION.

ADDITIONAL

A1 SITE TO BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL.

A2 ALL SITE FILLING PLACED BENEATH EDGE BEAMS TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.12 OF AS 2870.1 - 1996.

A3 A 1.1METRE WIDE APRON WITH 25 GROSS FALL ANYWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB.

A4 RAFT SLAB TO BE LAID ON MIN 50 THICKNESS OF CONSOLIDATED SAND COVERED WITH 0.2 mm THICK POLYTHENE VAPOUR BARRIER WITH ALL JOINTS PROPERLY LAPPED AND TAPED AT PENETRATIONS.

DESIGNED TO AS 2870 - 1996

Stildraft

ABW 63 872 638 178

designs

Joe Stillo
proprietor
mob: 0414 854 311

P.O Box 1377
Green Valley
NSW 2168

Client : MR & MRS CHAND

Location : N° 27 KOOKORANGI - AVE,
ELANDRA HEIGHTS.

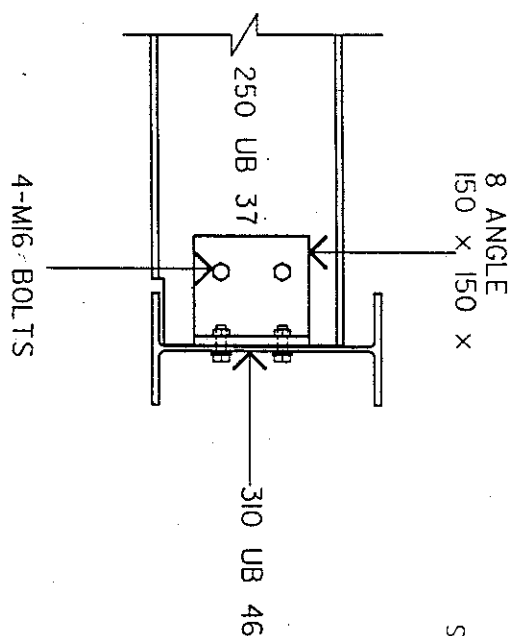
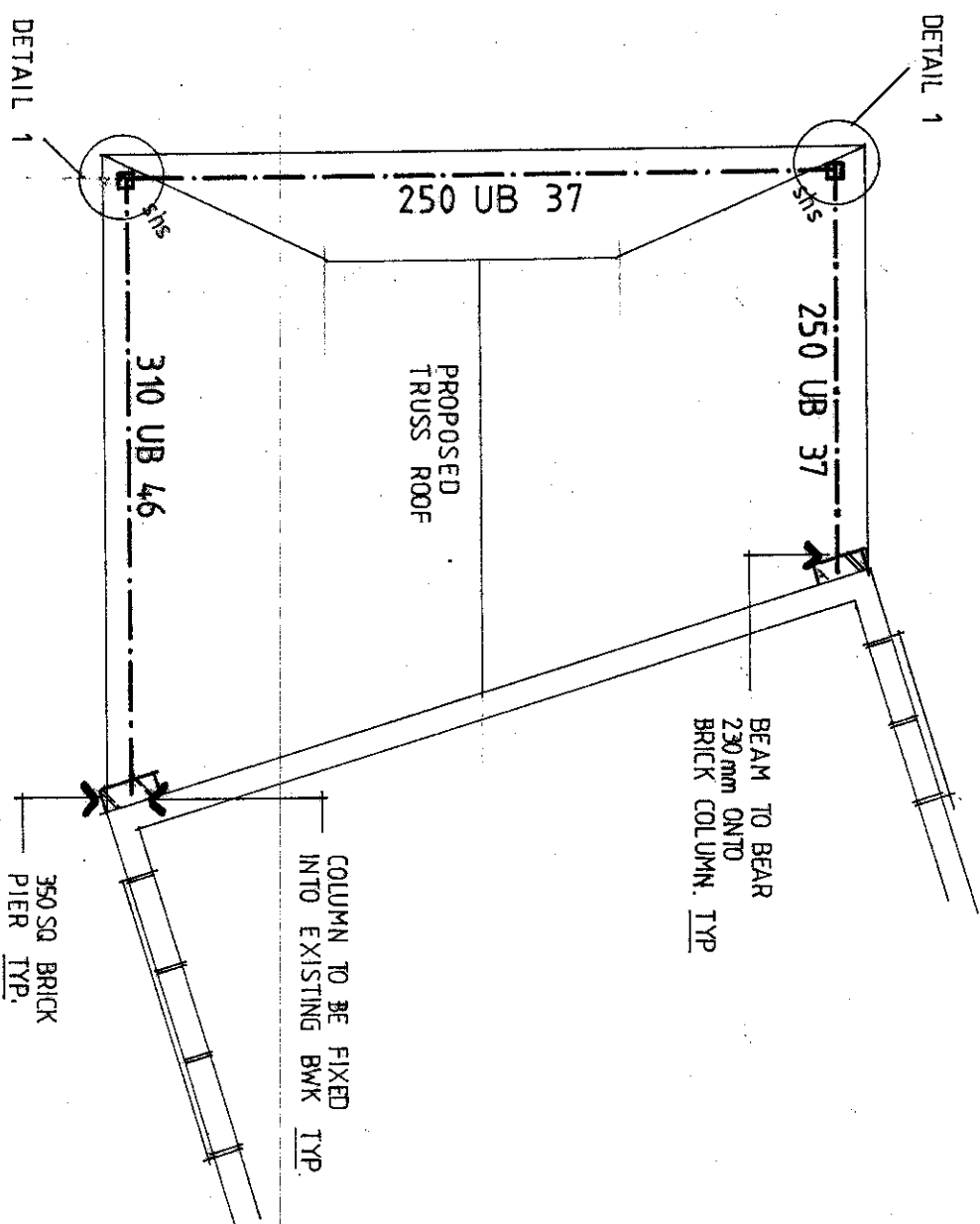
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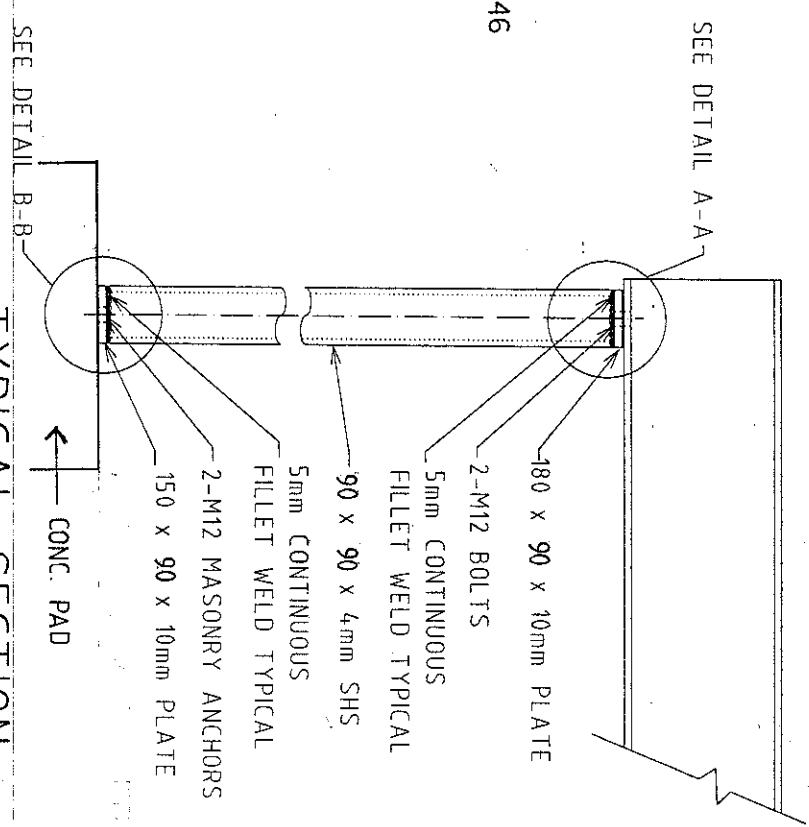
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sheet no. : 1

• House Plans • Engineering Plans • Additions • Alterations



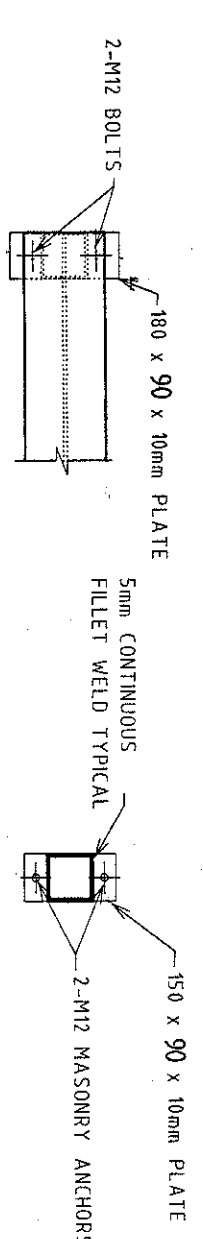
DETAIL 1
• SCALE 1:10



STEEL BEAM PLAN

NOTES

ALL STEELWORK TO BE PAINTED WITH AN APPROVED GALVANIZED RESISTANT PRIMER
DYNA BOLT COLUMNS TO SLAB WITH 2M12 MASONRY ANCHORS TYPICAL.
ALL POSTS TO BE 90 x 90 x 4.0 SHS, BUILD POSTS INTO STUD FRAMEWORK.



PLAN VIEW DETAIL A-A

PLAN VIEW DETAIL B-B

Stildraft

designs

Joe Stillo
proprietor
mob: 0414 854 311

ABN 63 872 638 178

P.O Box 1377
Green Valley
NSW 2168

Client :	MR & MRS AMINO		
Location :	NO. 27 ROORANKI AVE, ELANORA HEIGHTS.		
scale :	1:100	issue :	A' 17.3.04
certified :	job no : 04-198	sheet no. :	2.
• House Plans • Engineering Plans • Additions • Alterations			

Stillo
B.E.M.I. 5457.