

G.J. Gardner. HOMES

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
	DA ISSUE		

PROJECT: NEW DWELLING
ADDRESS: 158 WYNDORA AVENUE
FRESHWATER NSW 2096

LOT #: 14
DP #: 7912

DRAWING REGISTER			
SHEET	SHEET NAME	REVISION	DATE
A01	COVER SHEET	E	31/03/2022
A02	EXISTING SURVEY PLAN	E	31/03/2022
A03	SITE PLAN	E	31/03/2022
A04	LANDSCAPE PLAN	E	31/03/2022
A05	GROUND FLOOR PLAN	E	31/03/2022
A06	FIRST FLOOR PLAN	E	31/03/2022
A07	ELEVATIONS	E	31/03/2022
A08	ELEVATIONS	E	31/03/2022
A09	SECTIONS	E	31/03/2022
A10	DEMOLITION PLAN	E	31/03/2022
A11	SHADOW DIAGRAM	E	31/03/2022
A12	EROSION & SEDIMENT PLAN	E	31/03/2022
A13	BASIX COMMITMENT	E	31/03/2022
A14	WASTE MANAGEMENT	E	31/03/2022
A15	SITE ANALYSIS	E	31/03/2022
A16	DRIVEWAY DETAILS	E	31/03/2022
A17	CONCRETE SLAB PLAN	E	31/03/2022
A18	3D VIEWS	E	31/03/2022



DA APPLICATION - NOT FOR CONSTRUCTION

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G.J. Gardner. HOMES
Builders Details

FRESHWATER 340
HAMPTONS FACADE

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL

DRAWING TITLE:
COVER SHEET
NOT TO SCALE

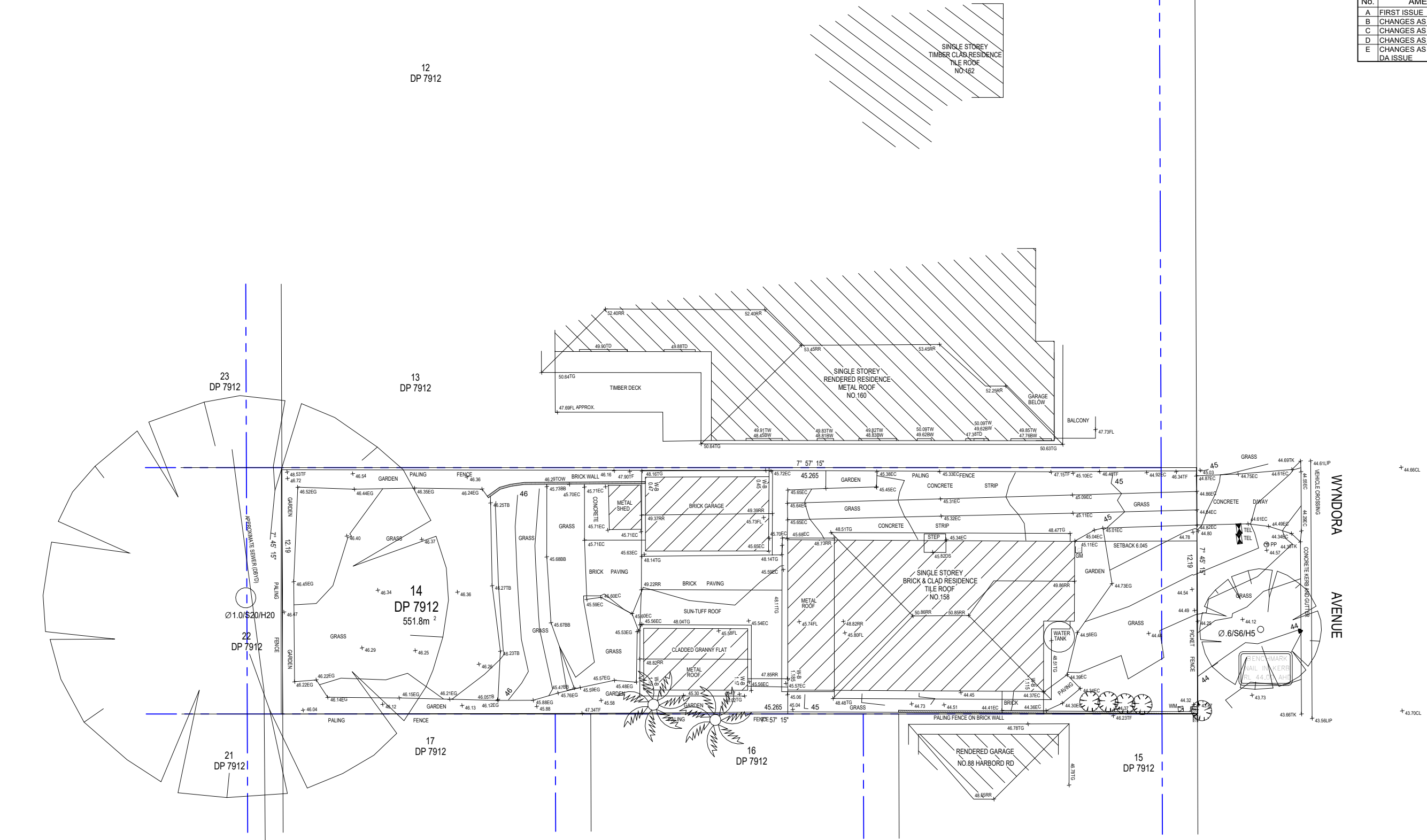
PROJECT:
158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE: **A3** SHEET No: **A01** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: NF GJGN167

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
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ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

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DA ISSUE			



1 EXISTING SURVEY PLAN
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:200



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HAMPTONS FACADE

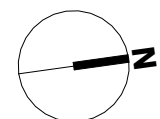
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CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL
DRAWING TITLE:
EXISTING SURVEY PLAN
SCALE: 1 : 200

PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

SHEET SIZE: **A3** SHEET No: **A02** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: NF GJGN167



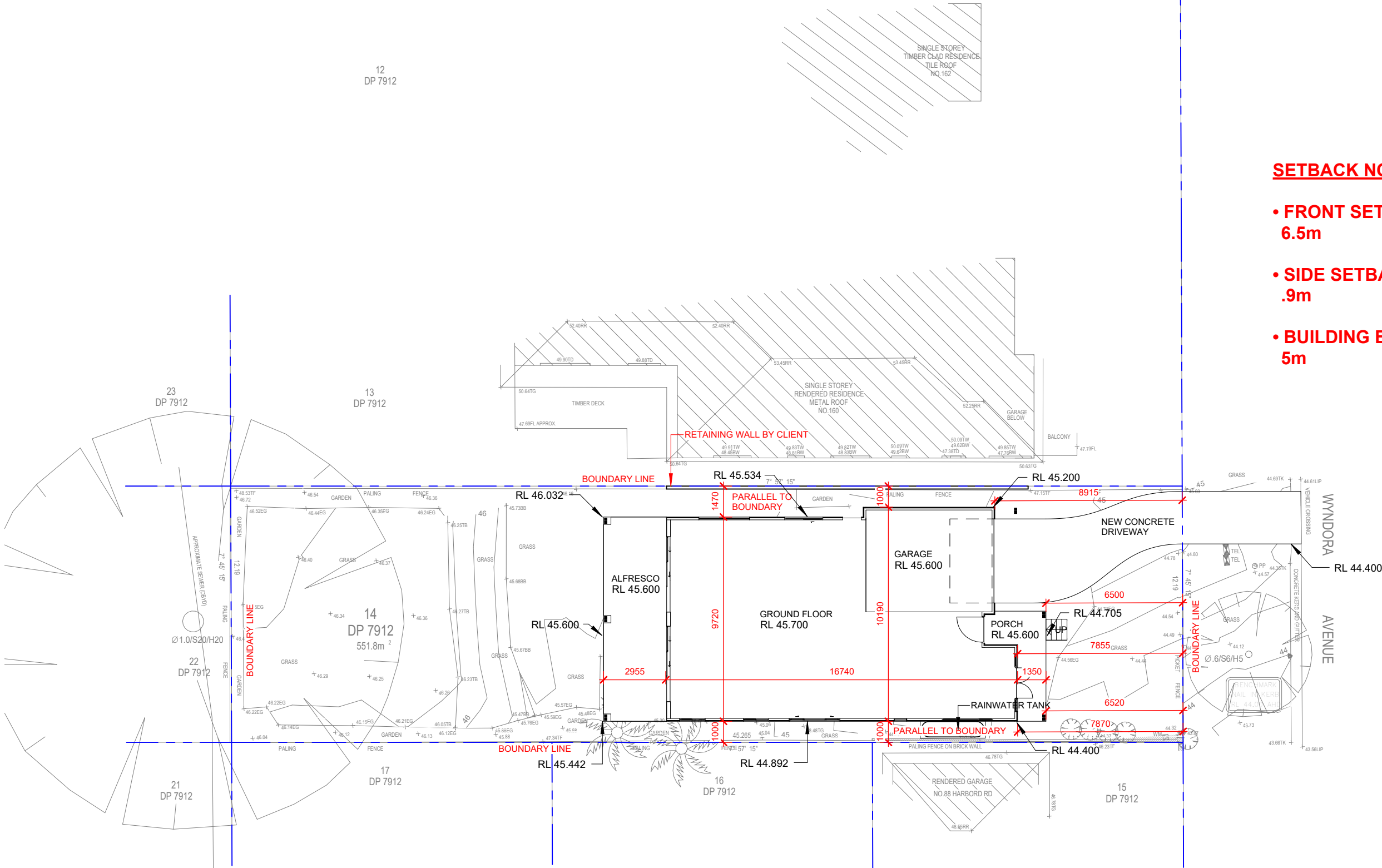
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BUILDER SIGNED: DATE:

DIMENSIONS INCLUDE CLADDING THICKNESS

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E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
DA ISSUE			

SETBACK NOTES:

- FRONT SETBACK IS TO BE AT LEAST: 6.5m
- SIDE SETBACK IS TO BE AT LEAST: .9m
- BUILDING ENVELOPE: 5m



1 SITE PLAN
1 : 200

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0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:200

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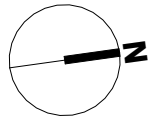
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DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

SHEET SIZE: **A3** SHEET No: **A03** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: DJH GJGN167



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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

SITE COVERAGE COLOURS

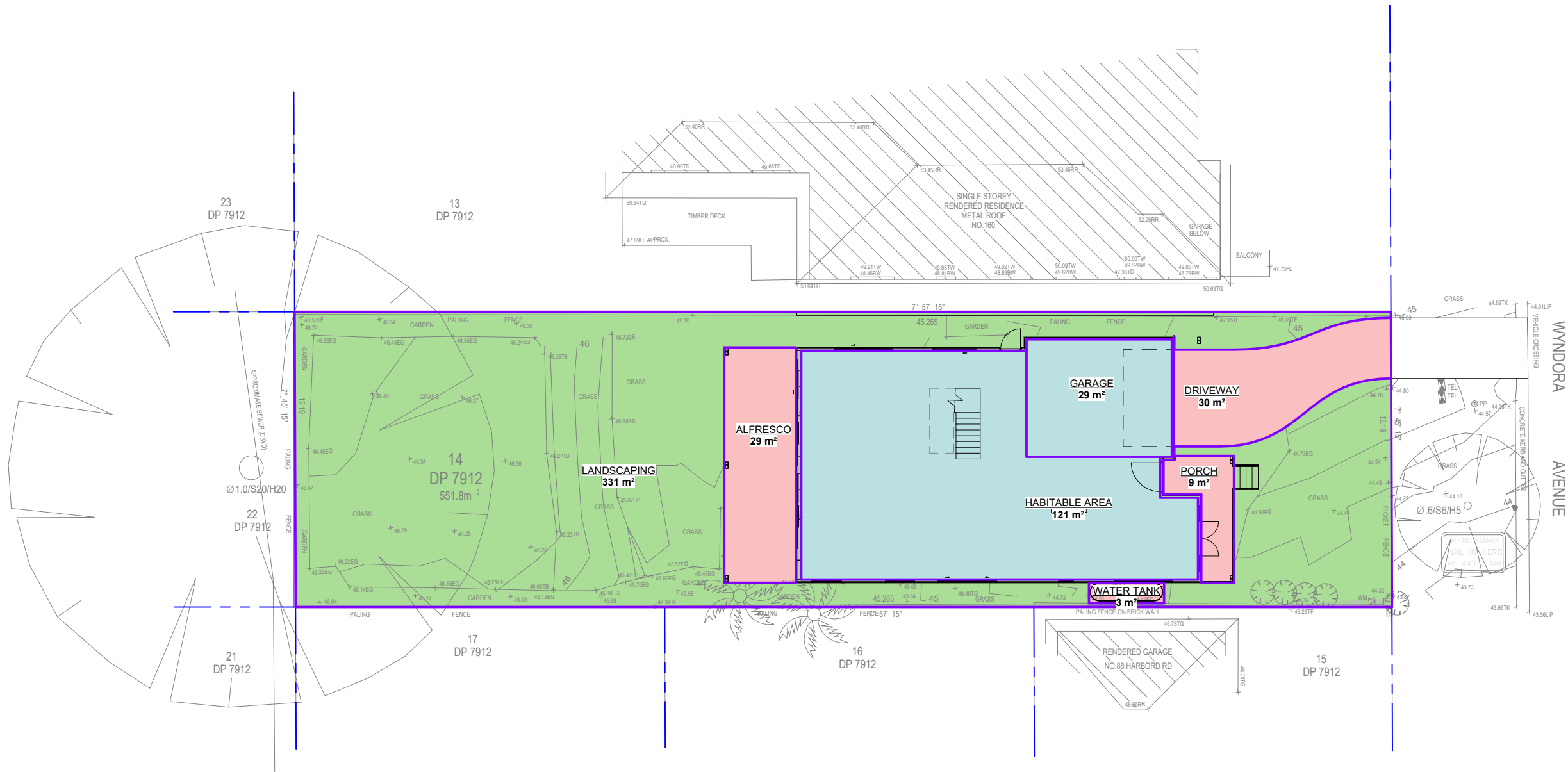
- BUILDING FOOTPRINT
- HARD SURFACES
- OPEN LANDSCAPE

PROPOSED LANDSCAPE AREAS

AREA NAME	AREA	%
BUILDING FOOTPRINT	150 m ²	27%
HARD SURFACES	71 m ²	13%
OPEN LANDSCAPE	331 m ²	60%
TOTAL GFA:	552 m ²	100%

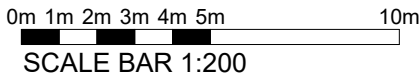
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	DA ISSUE		



1 PROPOSED LANDSCAPE PLAN
1 : 200

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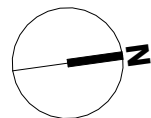
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CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL

DRAWING TITLE:
LANDSCAPE PLAN
SCALE: 1 : 200

PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

SHEET SIZE: **A3** SHEET No: **A04** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: NF GJGN167



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REFER TO SPECIFICATION FOR COLOUR SELECTION, FINAL LAYOUT & FINISHES OF BATHROOM AND LAUNDRY

DIMENSIONS ARE TO FRAME SIZE ONLY UNLESS NOTED OTHERWISE

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

SMOKE ALARMS

INSTALL AN INTERCONNECTED / HARDWIRED SMOKE ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA Clause 3.7.2.2

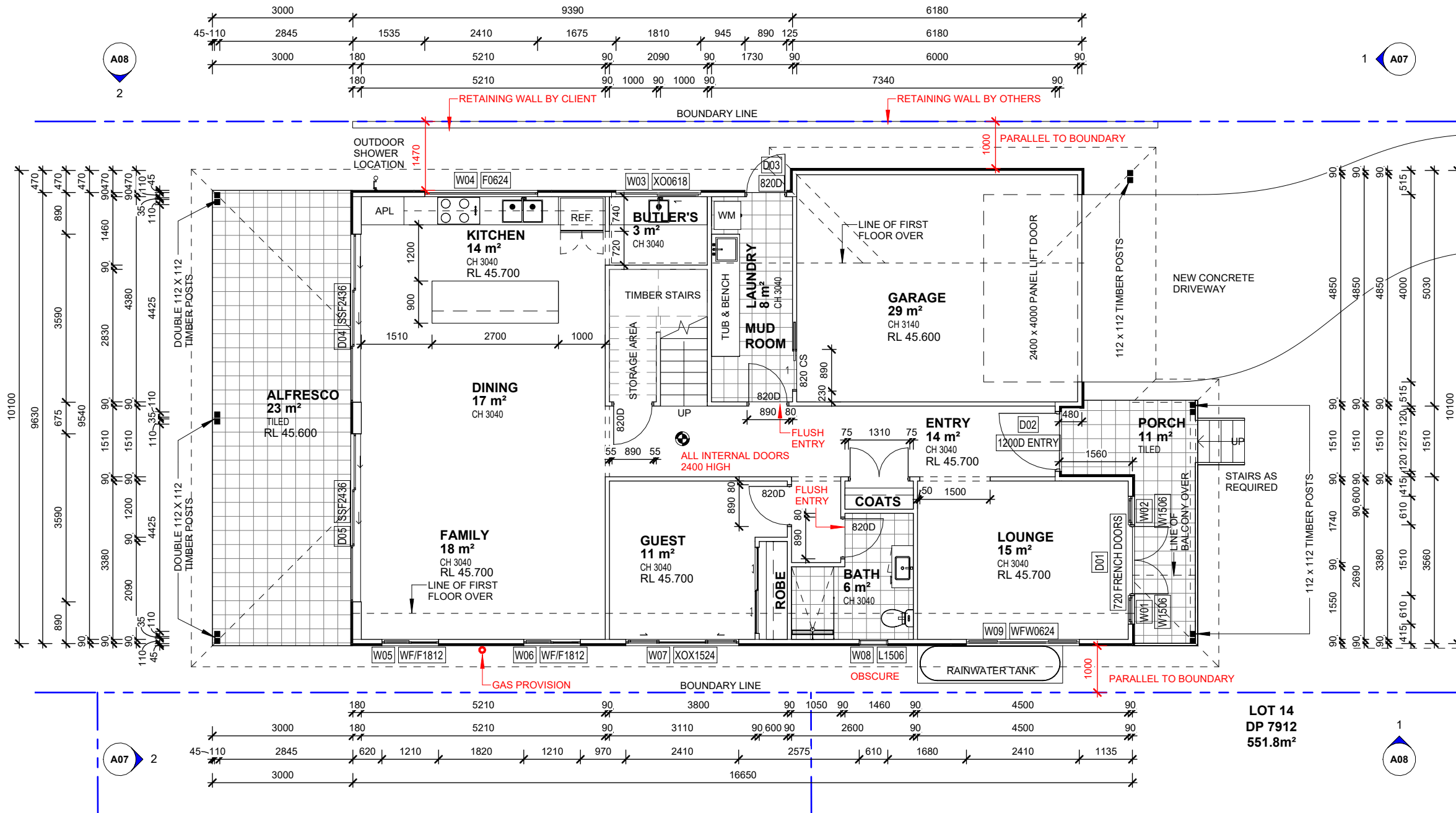


STAIRS - GF - FF

FLOOR TO FLOOR = 3340 mm
No. OF RISERS = 18
RISER HEIGHT = 185.6 mm
TREAD DEPTH = 240 mm

DRAWING REVISION SCHEDULE

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	DA ISSUE		



DOOR SCHEDULE

MARK	WIDTH	HEAD HT
D01	1440	2400
D02	1200	2400
D03	820	2400
D04	3588	2400
D05	3588	2400
D06	2688	2100

Grand Total: 6

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	HEAD HT
W01	610	1460	2400
W02	610	1460	2400
W03	1810	600	1550
W04	2410	600	1550
W05	1210	1800	2400
W06	1210	1800	2400
W07	2410	1460	2400
W08	610	1460	2400
W09	2410	600	2400
W10	1570	1200	2100
W11	1570	600	2100
W12	1570	1200	2100
W13	1210	1200	2100
W14	1810	860	2100
W15	1810	860	2100
W16	1810	860	2100
W17	1810	860	2100
W18	2410	860	2100
W19	2410	860	2100
W20	2410	860	2100
W21	610	1200	2100
W22	610	1200	2100

Grand Total: 22

PROPOSED FLOOR SPACES

AREA NAME	AREA	%
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GROUND FLOOR

ALFRESCO	29 m²	9%
GARAGE	29 m²	9%
HABITABLE AREA	122 m²	38%
PORCH	9 m²	3%

FIRST FLOOR

BALCONY	5 m²	2%
HABITABLE AREA	118 m²	37%
VOID	6 m²	2%

TOTAL AREAS 318 m² 100%

1 GROUND FLOOR
1 : 100

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0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

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CLIENT: DOUBLE STOREY DWELLING

LEVON & ANDIE DALZIELL

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE:

A3 A05

REVISION:

E

DATE: 31/03/2022

JOB NO: 230335

STAGE: DA

DRAWN: DJH

GJGN167

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DIMENSIONS ARE TO FRAME SIZE ONLY UNLESS NOTED OTHERWISE

STAIRS

PROVIDE A HANDRAIL ALONG THE FULL LENGTH OF THE FLIGHT AND A SLIP RESISTANT FINISH TO THE EDGE OF THE NOSINGS TO COMPLY WITH 3.9.1 AND 3.9.2 OF THE NCC/BCA.

BALUSTRADES - NCC/BCA Part 3.9

NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

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INSTALL AN INTERCONNECTED / HARDWIRED SMOKE ALARM IN ACCORDANCE WITH AS3786 AND NCC/BCA Clause 3.7.2.2

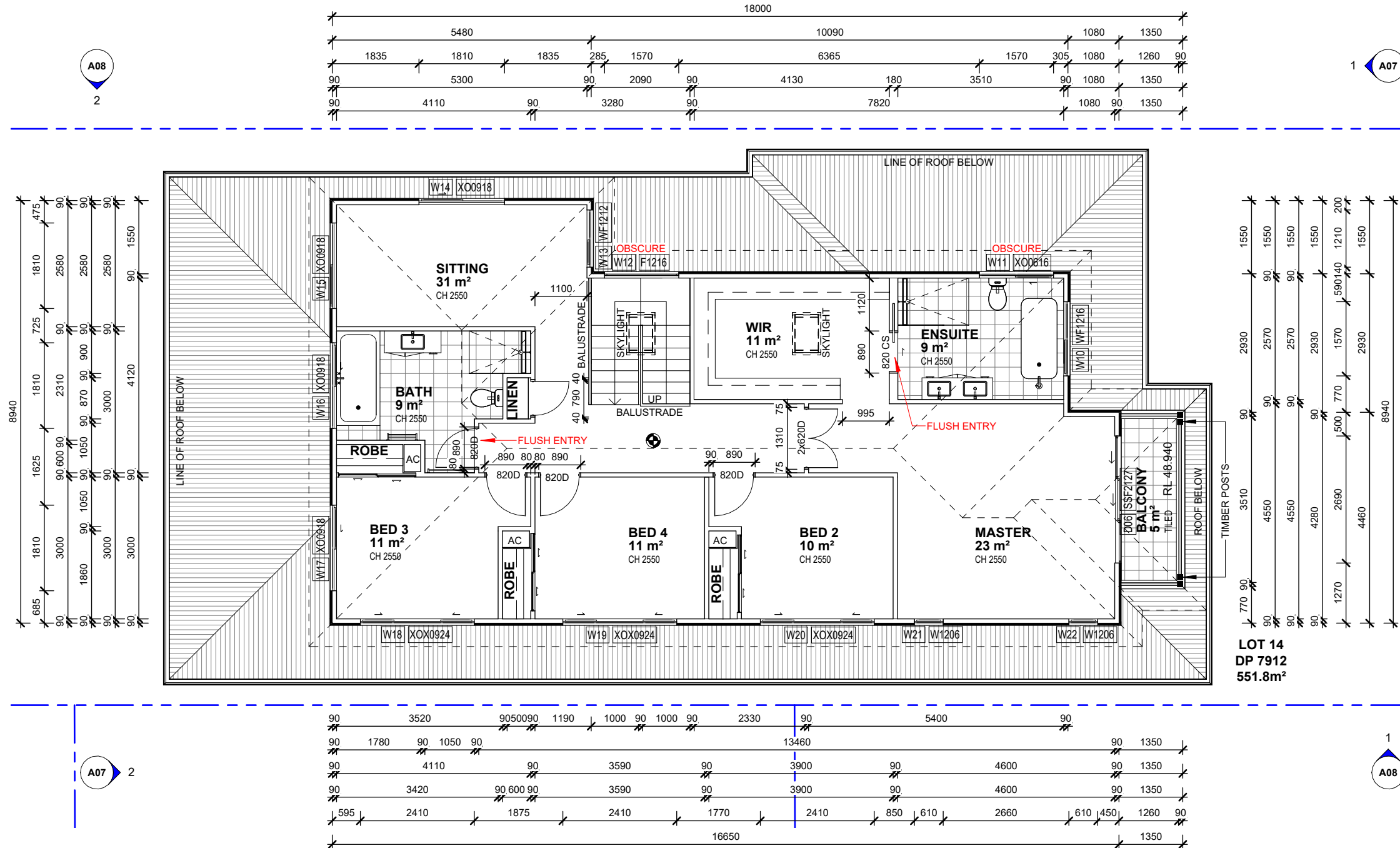


STAIRS - GF - FF

FLOOR TO FLOOR = 3340 mm
No. OF RISERS = 18
RISER HEIGHT = 185.6 mm
TREAD DEPTH = 240 mm

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	DA ISSUE		



DOOR SCHEDULE

MARK	WIDTH	HEAD HT
D01	1440	2400
D02	1200	2400
D03	820	2400
D04	3588	2400
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D06	2688	2100

Grand Total: 6

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Grand Total: 22

PROPOSED FLOOR SPACES

AREA NAME	AREA	%
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GROUND FLOOR

ALFRESCO	29 m²	9%
GARAGE	29 m²	9%
HABITABLE AREA	122 m²	38%
PORCH	9 m²	3%

FIRST FLOOR

BALCONY	5 m²	2%
HABITABLE AREA	118 m²	37%
VOID	6 m²	2%

TOTAL AREAS 318 m² 100%

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0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

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HOMES

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CLIENT: DOUBLE STOREY DWELLING

LEVON & ANDIE DALZIELL

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1 : 100

PROJECT:

158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE:

A3

SHEET No:

A06

REVISION:

E

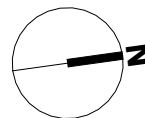
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GJGN167



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WALL & ROOF CLADDING.

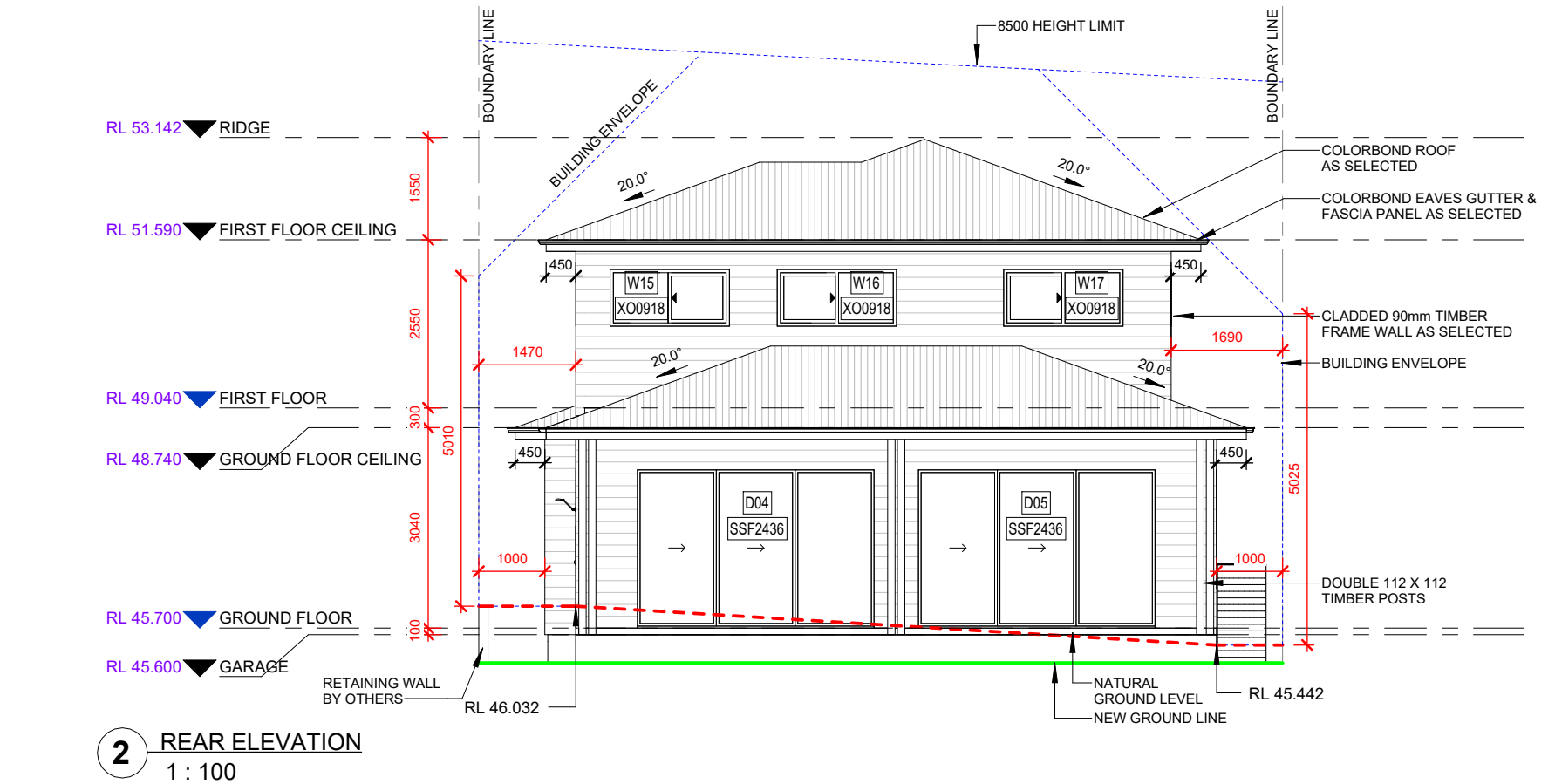
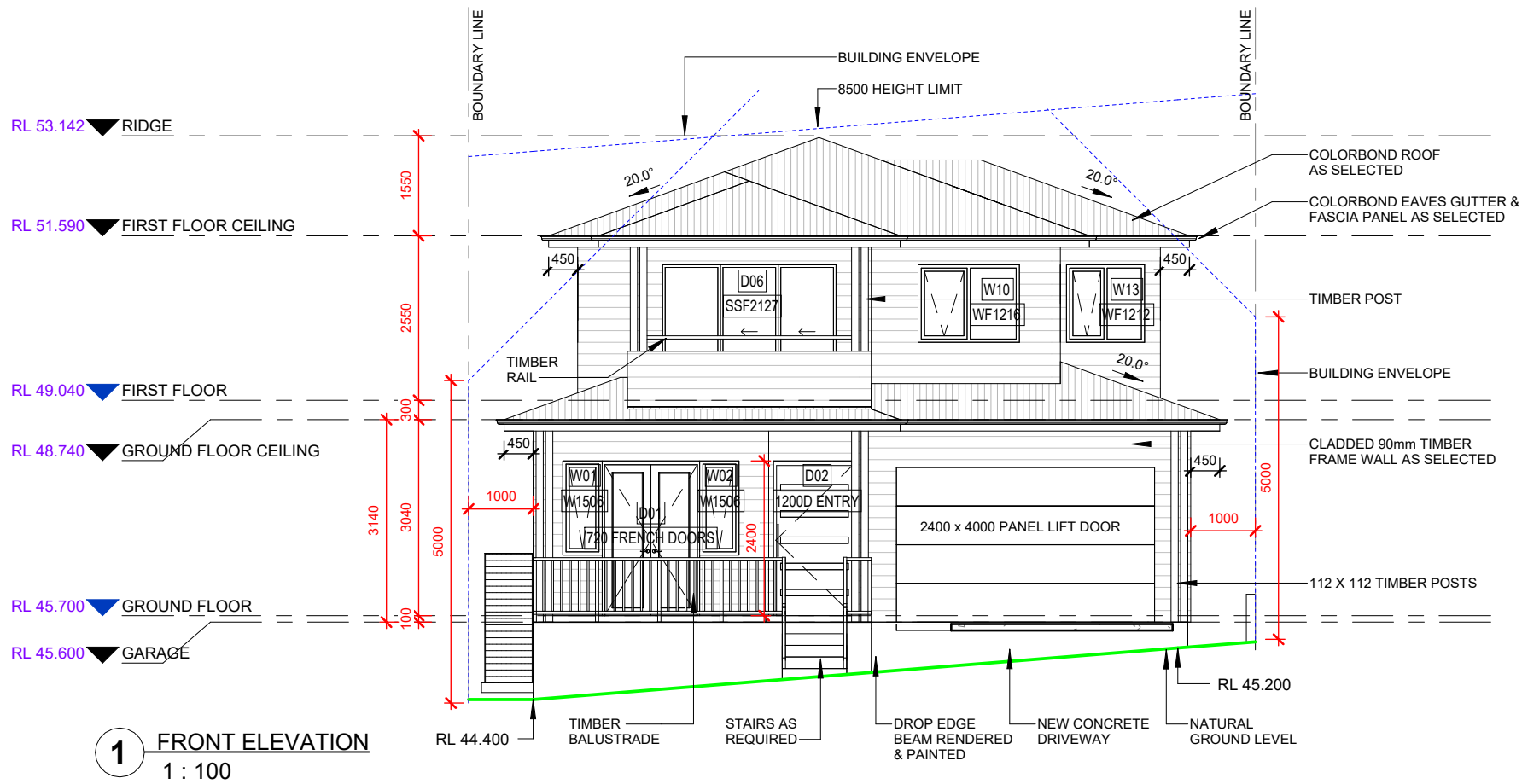
WALL AND ROOF CLADDING TO BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2019 Vol 2 Pt 3.5 OF THE BUILDING CODE OF AUSTRALIA PARTICULARLY WITH RESPECT TO THE REFERENCING ACCEPTABLE CONSTRUCTION PRACTICE AS DETAILED IN THE BCA FOR PRODUCT MATERIALS AND INSTALLATION.
IMPORTANT NOTE:
ANY PROPOSED PRODUCT CHANGES AFTER APPROVAL OF THE CC OR CDC IS TO BE IMMEDIATELY NOTIFIED TO THE PCA FOR CONCURRENCE.

BALUSTRADES - NCC/BCA Part 3.9

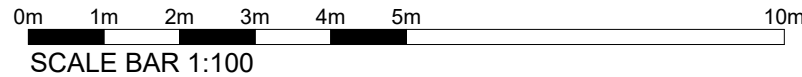
NO HORIZONTAL ELEMENTS TO FACILITATE CLIMBING BETWEEN 150mm TO 760mm WHERE FLOOR TO FLOOR LEVEL BELOW IS MORE THAN 4 METRES.

WINDOWS

PROVIDE 1.7m SILL HEIGHT OR CHILD SAFE LOCKS / SCREENS TO COMPLY WITH NCC/BCA Part 3.9.2



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E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
	DA ISSUE		



DOOR SCHEDULE

MARK	WIDTH	HEAD HT
D01	1440	2400
D02	1200	2400
D03	820	2400
D04	3588	2400
D05	3588	2400
D06	2688	2100

Grand Total: 6

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	HEAD HT
W01	610	1460	2400
W02	610	1460	2400
W03	1810	600	1550
W04	2410	600	1550
W05	1210	1800	2400
W06	1210	1800	2400
W07	2410	1460	2400
W08	610	1460	2400
W09	2410	600	2400
W10	1570	1200	2100
W11	1570	600	2100
W12	1570	1200	2100
W13	1210	1200	2100
W14	1810	860	2100
W15	1810	860	2100
W16	1810	860	2100
W17	1810	860	2100
W18	2410	860	2100
W19	2410	860	2100
W20	2410	860	2100
W21	610	1200	2100
W22	610	1200	2100

Grand Total: 22

PROPOSED FLOOR SPACES

AREA NAME	AREA	%
-----------	------	---

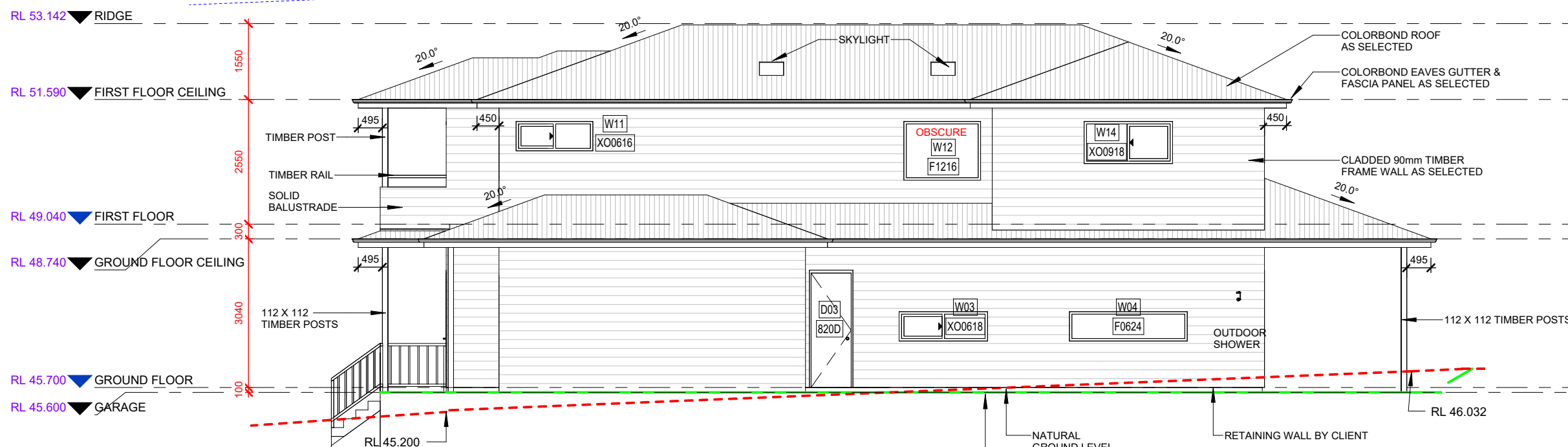
GROUND FLOOR

ALFRESCO	29 m ²	9%
GARAGE	29 m ²	9%
HABITABLE AREA	122 m ²	38%
PORCH	9 m ²	3%

FIRST FLOOR

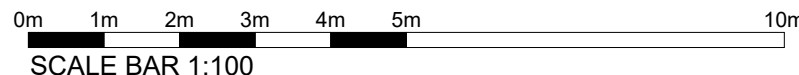
BALCONY	5 m ²	2%
HABITABLE AREA	118 m ²	37%
VOID	6 m ²	2%
TOTAL AREAS	318 m ²	100%

1 SIDE ELEVATION 1
1 : 100



2 SIDE ELEVATION 2
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION



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G.J. Gardner. HOMES
Builders Details

FRESHWATER 340
HAMPTONS FACADE

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TO G.J. GARDNER HOMES

DRAFTERS:
KJR
SUIITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

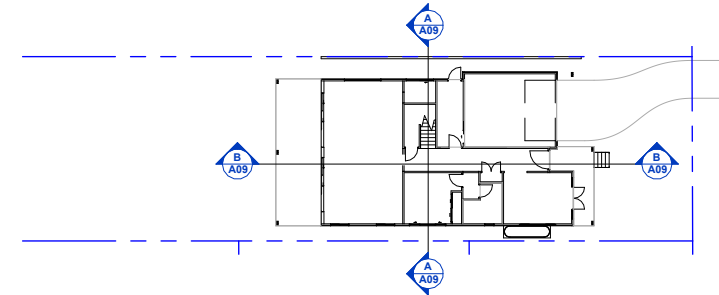
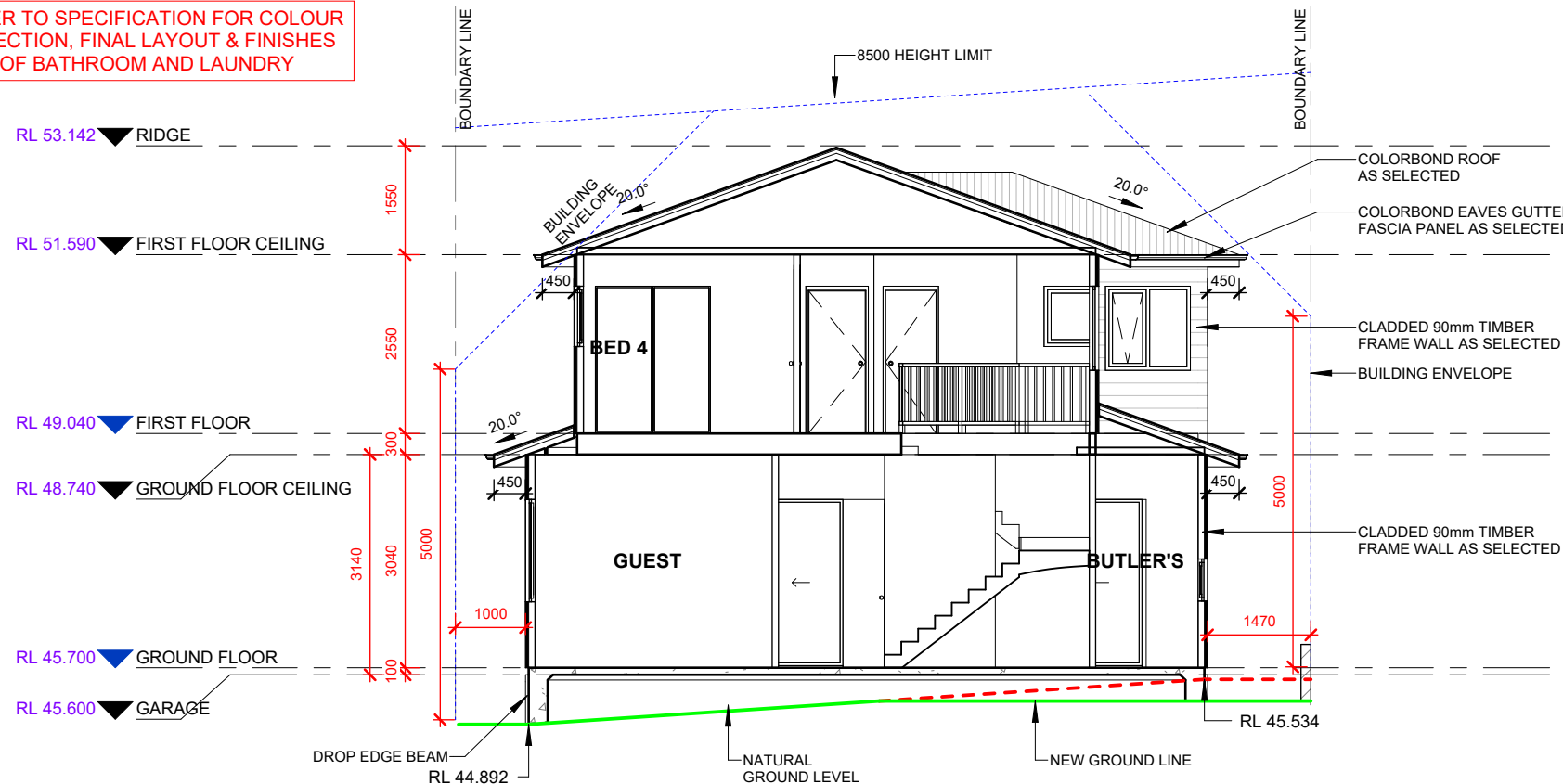
PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

SHEET SIZE: **A3** SHEET No: **A08** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: DJH GJGN167

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE: OWNER SIGNED: DATE: BUILDER SIGNED: DATE:

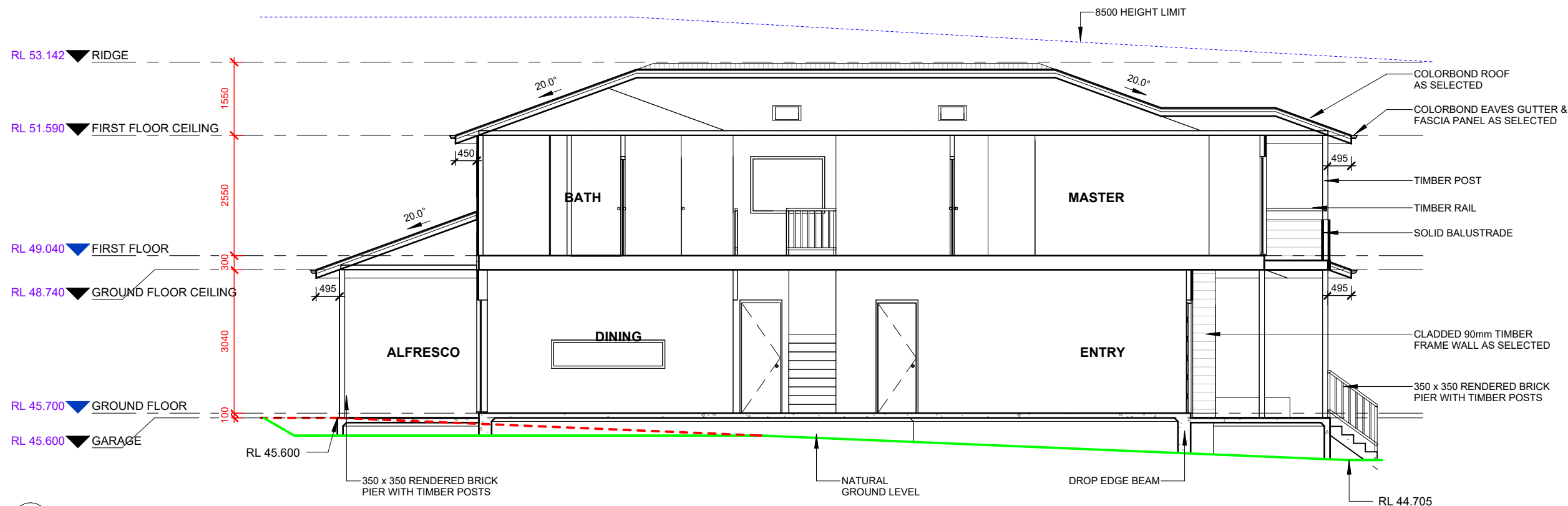
REFER TO SPECIFICATION FOR COLOUR
SELECTION, FINAL LAYOUT & FINISHES
OF BATHROOM AND LAUNDRY

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	10/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	31/03/2022	NF
DA ISSUE			



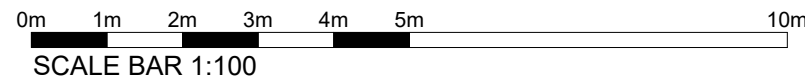
1 KEY PLAN
1 : 500

A SECTION AA
1 : 100



B SECTION BB
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION



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G.J. Gardner. HOMES
Builders Details

FRESHWATER 340
HAMPTONS FACADE

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DRAFTERS:
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BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

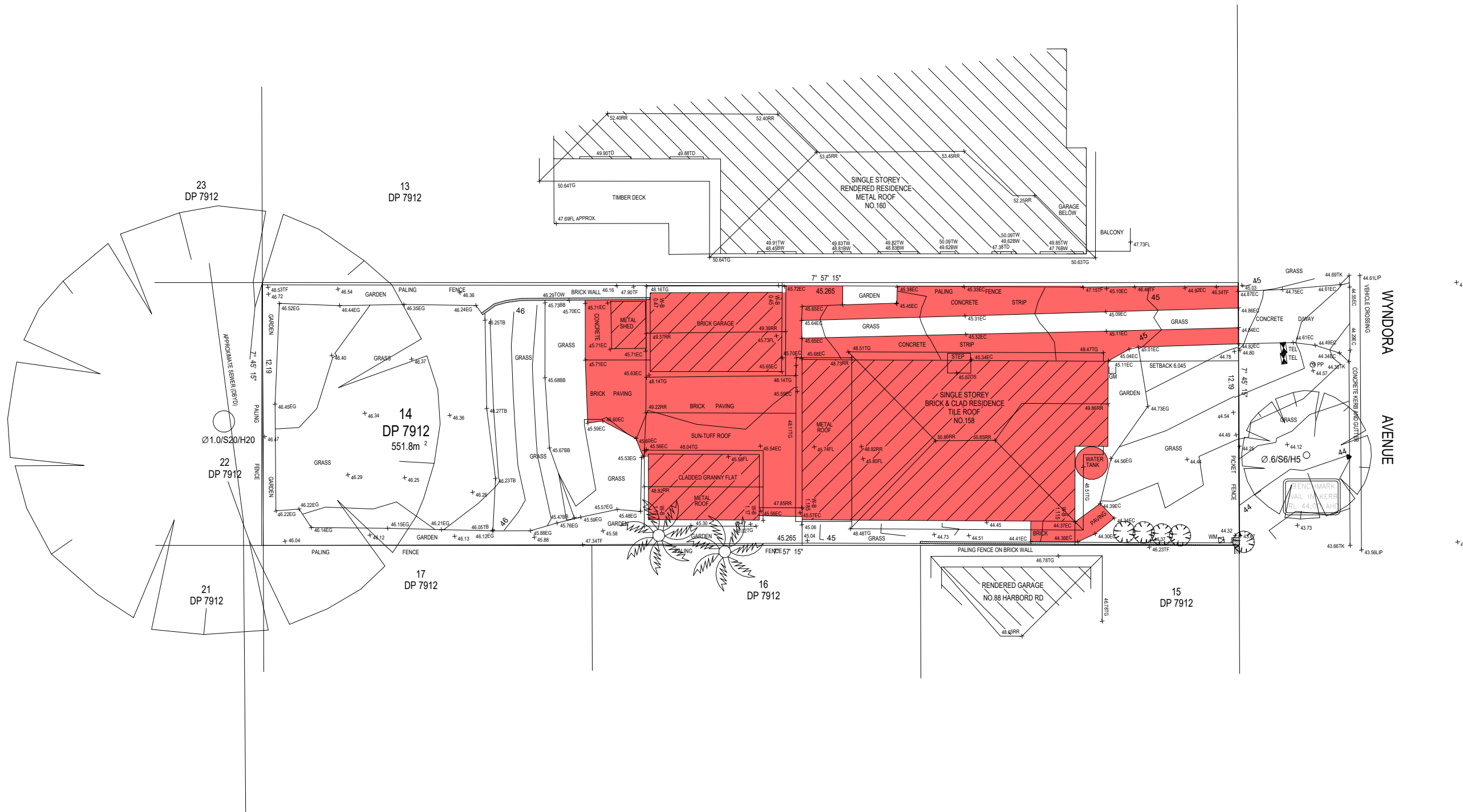
CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL
DRAWING TITLE:
SECTIONS
SCALE: As indicated

PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

SHEET SIZE: **A3** SHEET No: **A09** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: DJH GJGN167

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
DA ISSUE			



1 DEMOLITION PLAN
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:200

NOTE: ALL DEMOLITION
WORKS ARE SHOWN IN RED

G.J. Gardner.
Builders Details

FRESHWATER 340
HAMPTONS FACADE

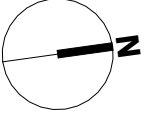
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL
DRAWING TITLE:
DEMOLITION PLAN
SCALE: 1 : 200

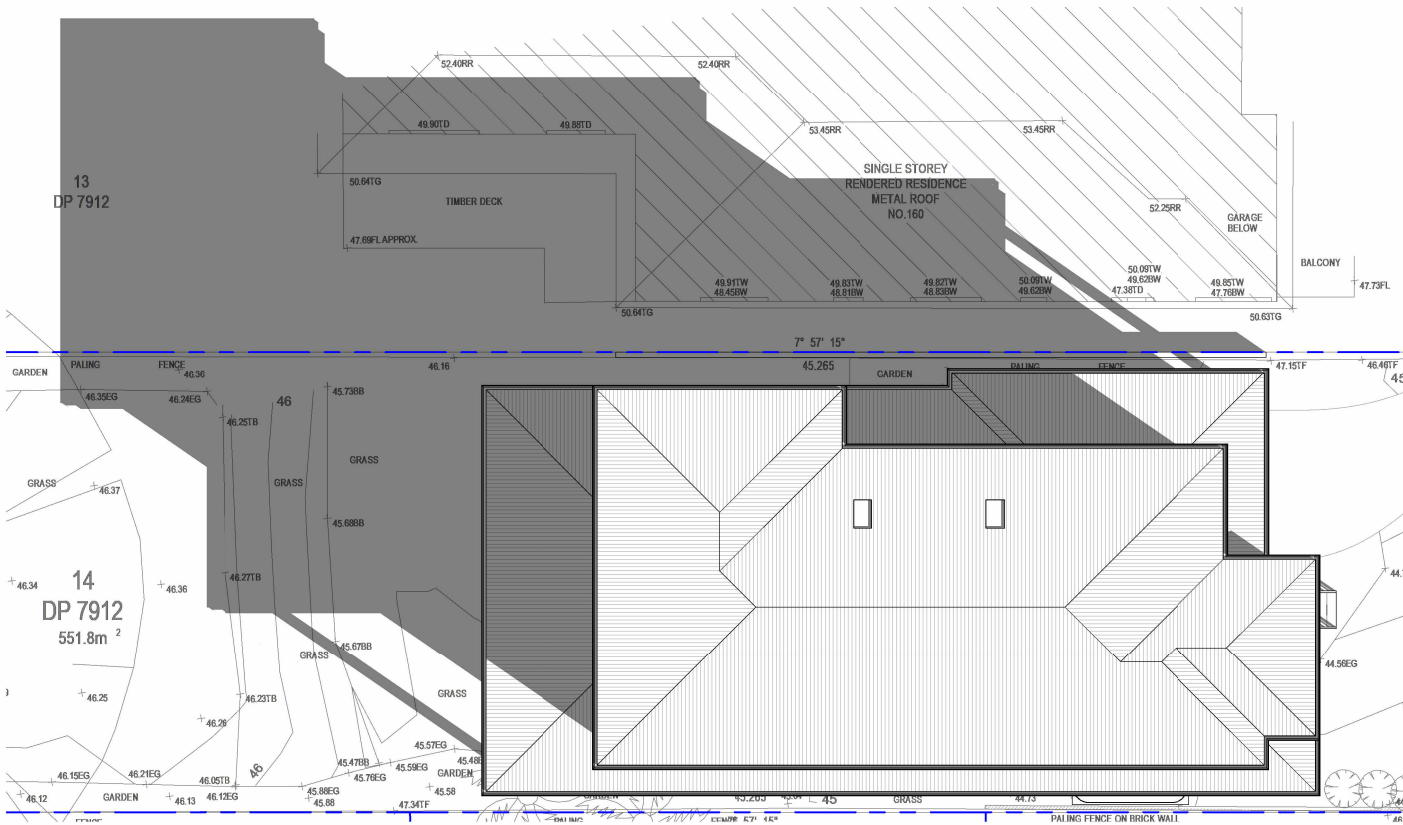
PROJECT:
158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE: A3
SHEET No: A10
REVISION: E
DATE: 31/03/2022
JOB NO: 230335
STAGE: DA
DRAWN: NF
GJGN167

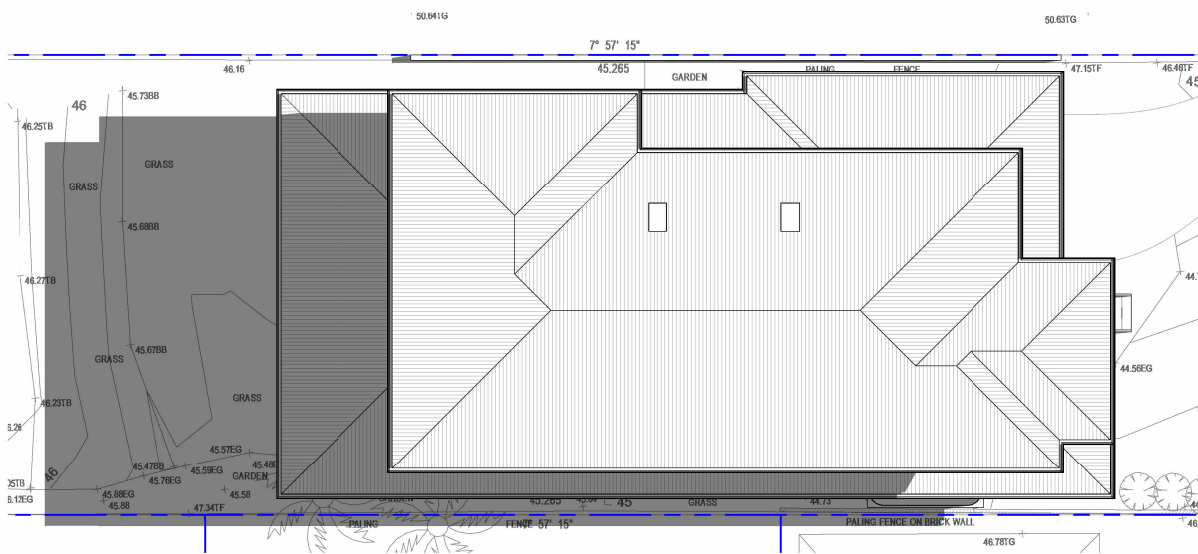


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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

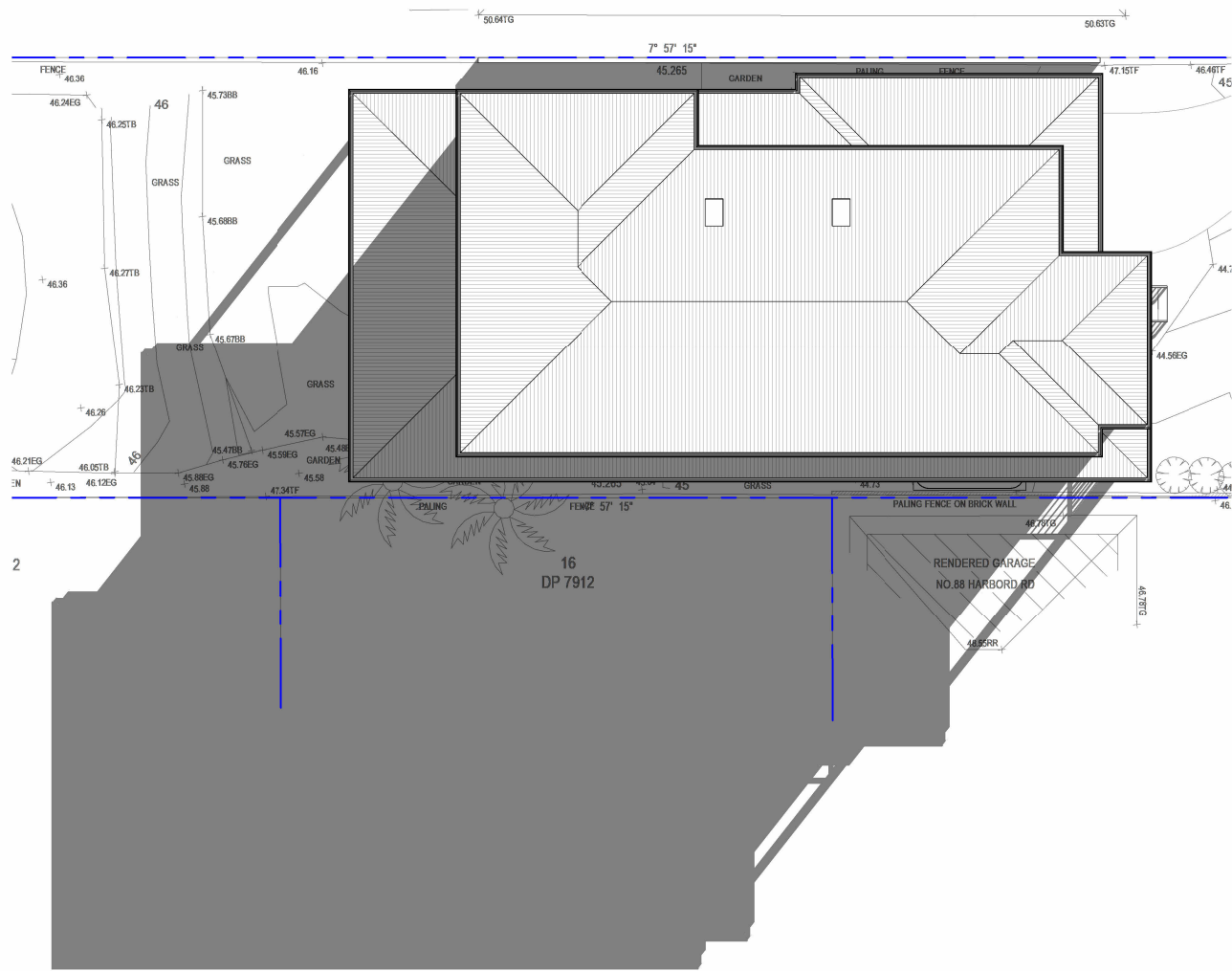
DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
DA ISSUE			



1 SHADOW DIAGRAM 9am
1 : 200



2 SHADOW DIAGRAM 12pm
1 : 200



3 SHADOW DIAGRAM 3pm
1 : 200

DA APPLICATION - NOT FOR CONSTRUCTION

0m 1m 2m 3m 4m 5m 10m
SCALE BAR 1:200

SHADOW DIAGRAMS
FOR 21ST JUNE

G.J. Gardner.
Builders Details

FRESHWATER 340
HAMPTONS FACADE

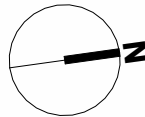
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL
DRAWING TITLE:
SHADOW DIAGRAM
SCALE: 1 : 200

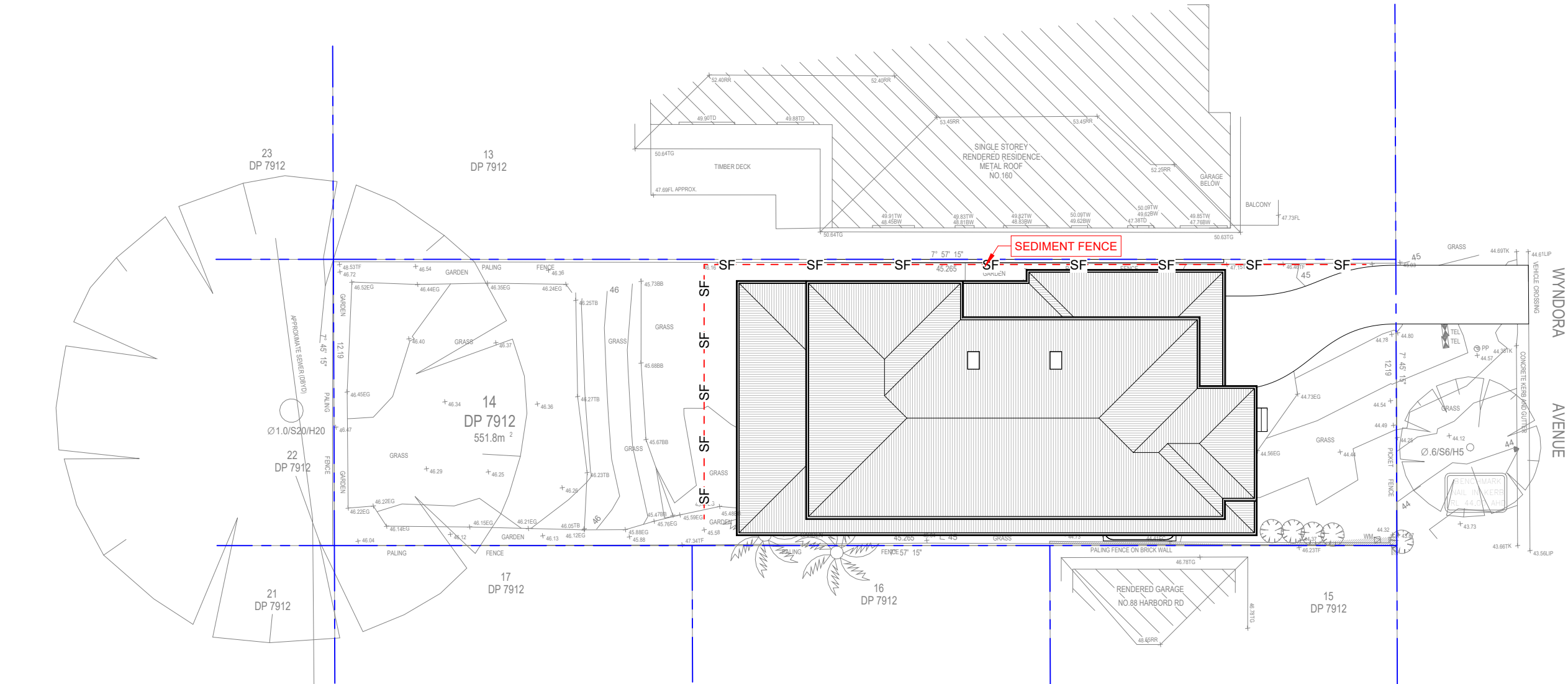
PROJECT:
158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE: A3
SHEET No: A11
REVISION: E
DATE: 31/03/2022
JOB NO: 230335
STAGE: DA
DRAWN: NF
GJGN167



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
DA ISSUE			



1 EROSION & SEDIMENT PLAN
1 : 200

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

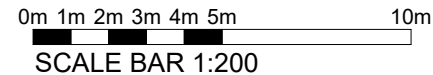
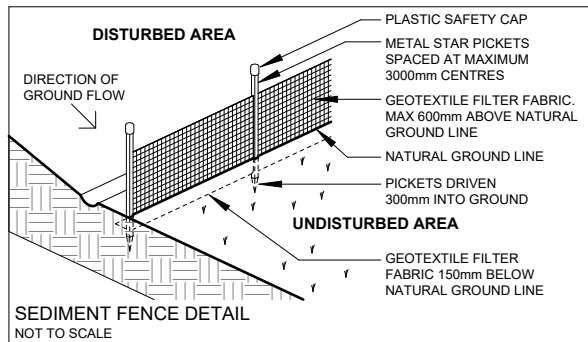
ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORKS

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORKS
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.



DA APPLICATION - NOT FOR CONSTRUCTION

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 07 March 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	158 Wyndora Avenue
Street address	158 Wyndora Avenue Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 7912
Lot no.	14
Section no.	N/A
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	552
Roof area (m²)	236
Conditioned floor area (m2)	209.5
Unconditioned floor area (m2)	23.2
Total area of garden and lawn (m2)	323

Project summary		
Project name	158 Wyndora Avenue	
Street address	158 Wyndora Avenue Freshwater 2096	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 7912	
Lot no.	14	
Section no.	N/A	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 53	Target 50

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m ² .year)	n/a	
Area adjusted heating load (MJ/m ² .year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 53	Target 50

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 236 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: all toilets in the development			✔
the cold water tap that supplies each clothes washer in the development		✔	✔
at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 121.5 square metres	nil	
floor - suspended floor above open subfloor, 2.5 square metres, framed	0.8 (or 1.5 including construction) (down)	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.7 (up), roof: foil backed blanket (55 mm)	unventilated; light (solar absorbance < 0.475)
Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
- For the following glass and frame types, the certifier check can be performed by visual inspection. - Aluminium single clear - Aluminium double (air) clear - Timber/uPVC/fibreglass single clear - Timber/uPVC/fibreglass double (air) clear - Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: at least 5 of the bedrooms / study; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
- at least 3 of the living / dining rooms; dedicated - the kitchen; dedicated - all bathrooms/toilets; dedicated - the laundry; dedicated - all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	21/03/2022	NF
	DA ISSUE		

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	11/4/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	21/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	23/03/2022	NF
	DA ISSUE		

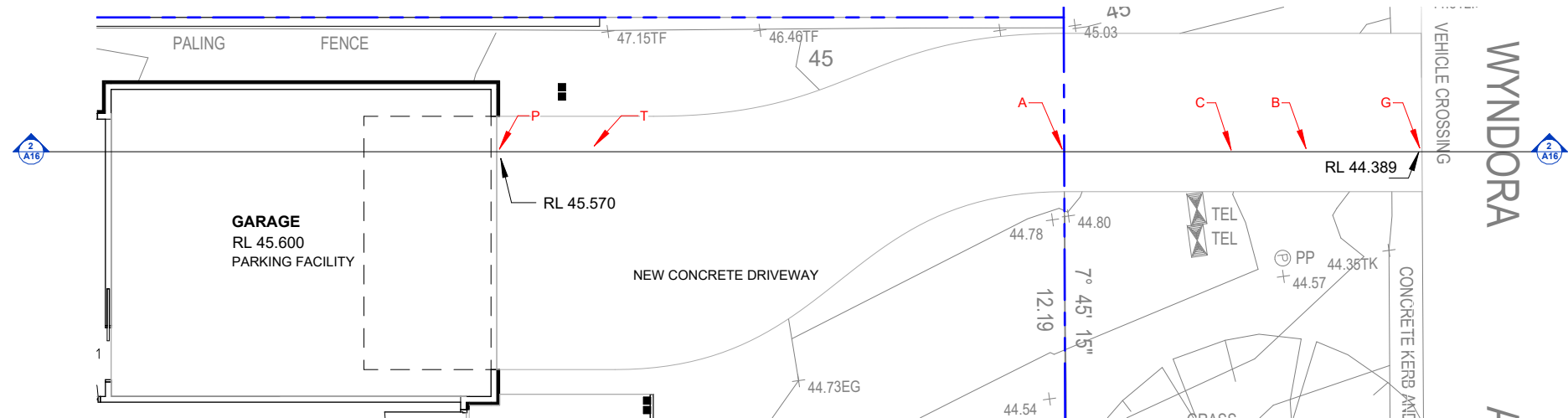
**WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT:
158 WYNDORA AVENUE FRESHWATER NSW 2096**

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

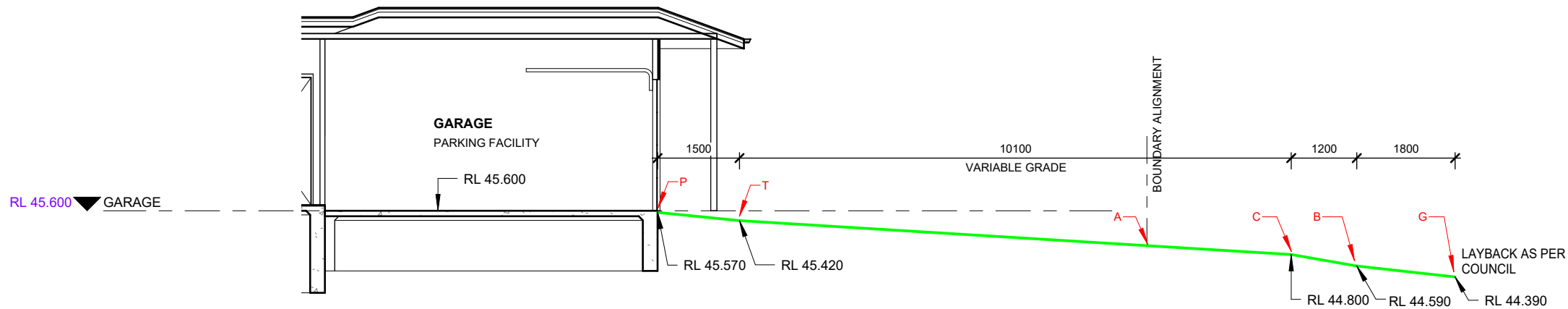
CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	01/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	01/03/2022	NF
DA ISSUE			

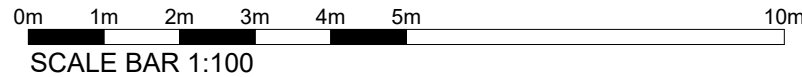


1 DRIVEWAY PLAN
1 : 100



2 DRIVEWAY SECTION
1 : 100

DA APPLICATION - NOT FOR CONSTRUCTION



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G.J. Gardner. **HOMES**
Builders Details

FRESHWATER 340
HAMPTONS FACADE

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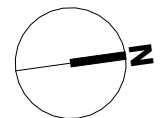
DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL

DRAWING TITLE:
DRIVEWAY DETAILS
SCALE: 1 : 100

PROJECT:
**158 WYNDORA AVENUE
FRESHWATER NSW 2096**

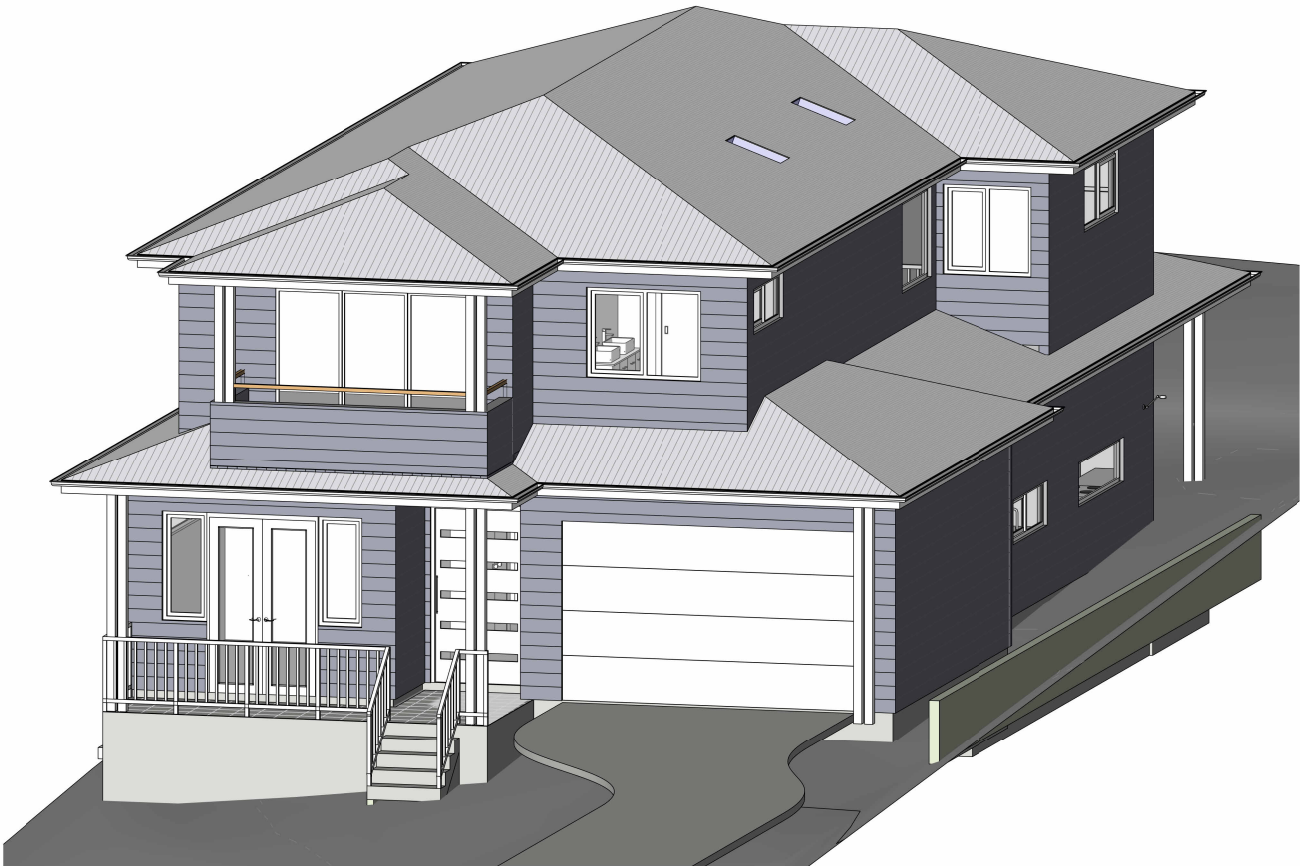
SHEET SIZE: **A3** SHEET No: **A16** REVISION: **E**
DATE: **31/03/2022**
JOB NO: 230335 STAGE: DA
DRAWN: NF GJGN167



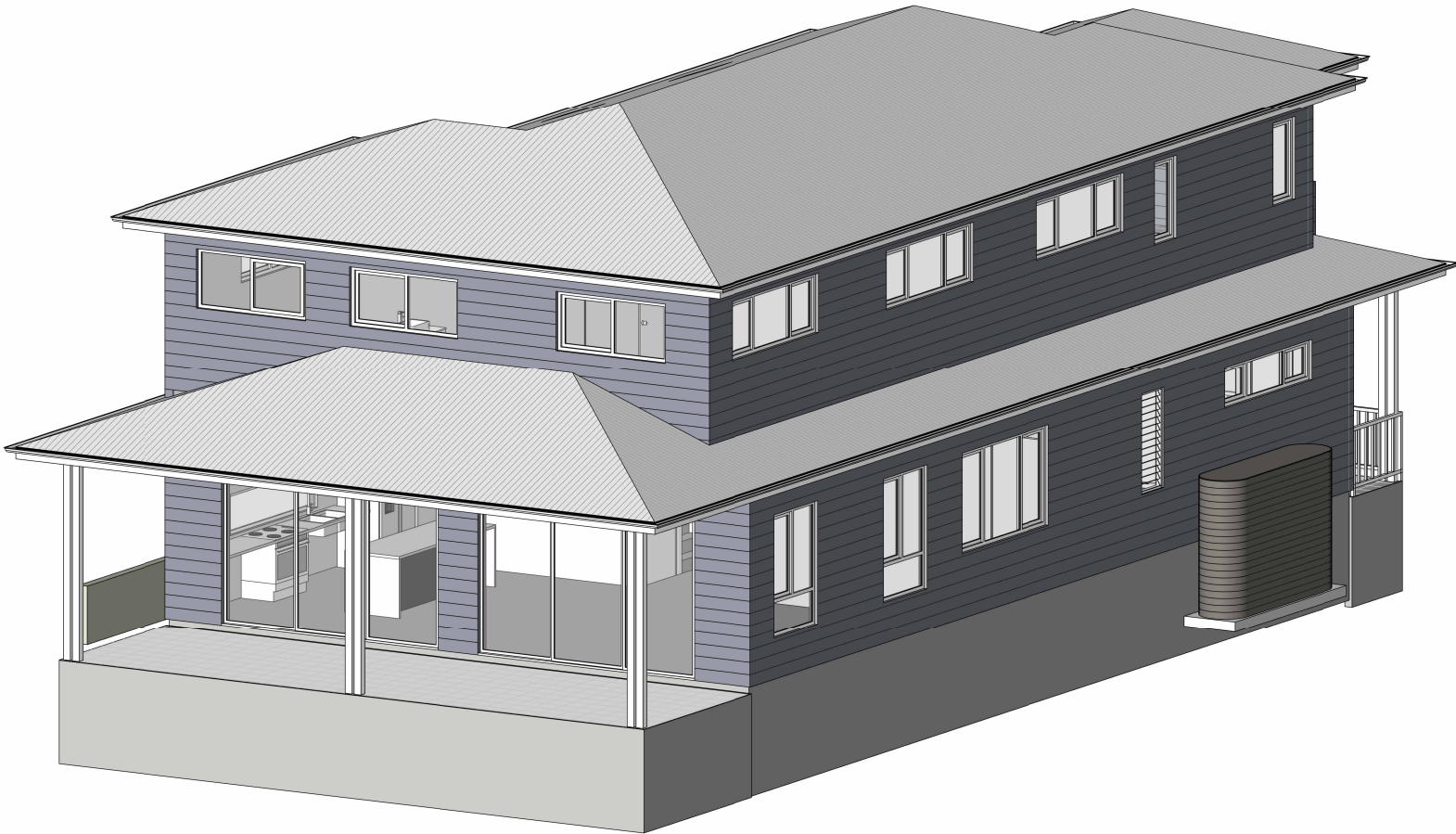
I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

DRAWING REVISION SCHEDULE			
No.	AMENDMENTS	DATE	BY
A	FIRST ISSUE	04/11/2021	DJH
B	CHANGES AS PER EMAIL 06/12/2021	14/12/2021	NF
C	CHANGES AS PER EMAIL 15/12/2021	22/12/2021	NF
D	CHANGES AS PER EMAIL 03/02/2022	10/02/2022	NF
E	CHANGES AS PER EMAIL 01/03/2022	23/03/2022	NF
DA ISSUE			

1 FRONT VIEW



2 REAR VIEW



DA APPLICATION - NOT FOR CONSTRUCTION

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G.J. Gardner. **HOMES**
Builders Details

FRESHWATER 340
HAMPTONS FACADE

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SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
LEVON & ANDIE DALZIELL

DRAWING TITLE:
3D VIEWS
SCALE:

PROJECT:
158 WYNDORA AVENUE
FRESHWATER NSW 2096

SHEET SIZE:	SHEET No:	REVISION:
A3	A18	E
DATE: 31/03/2022		
JOB NO: 230335		STAGE: DA
DRAWN: NF		GJGN167

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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