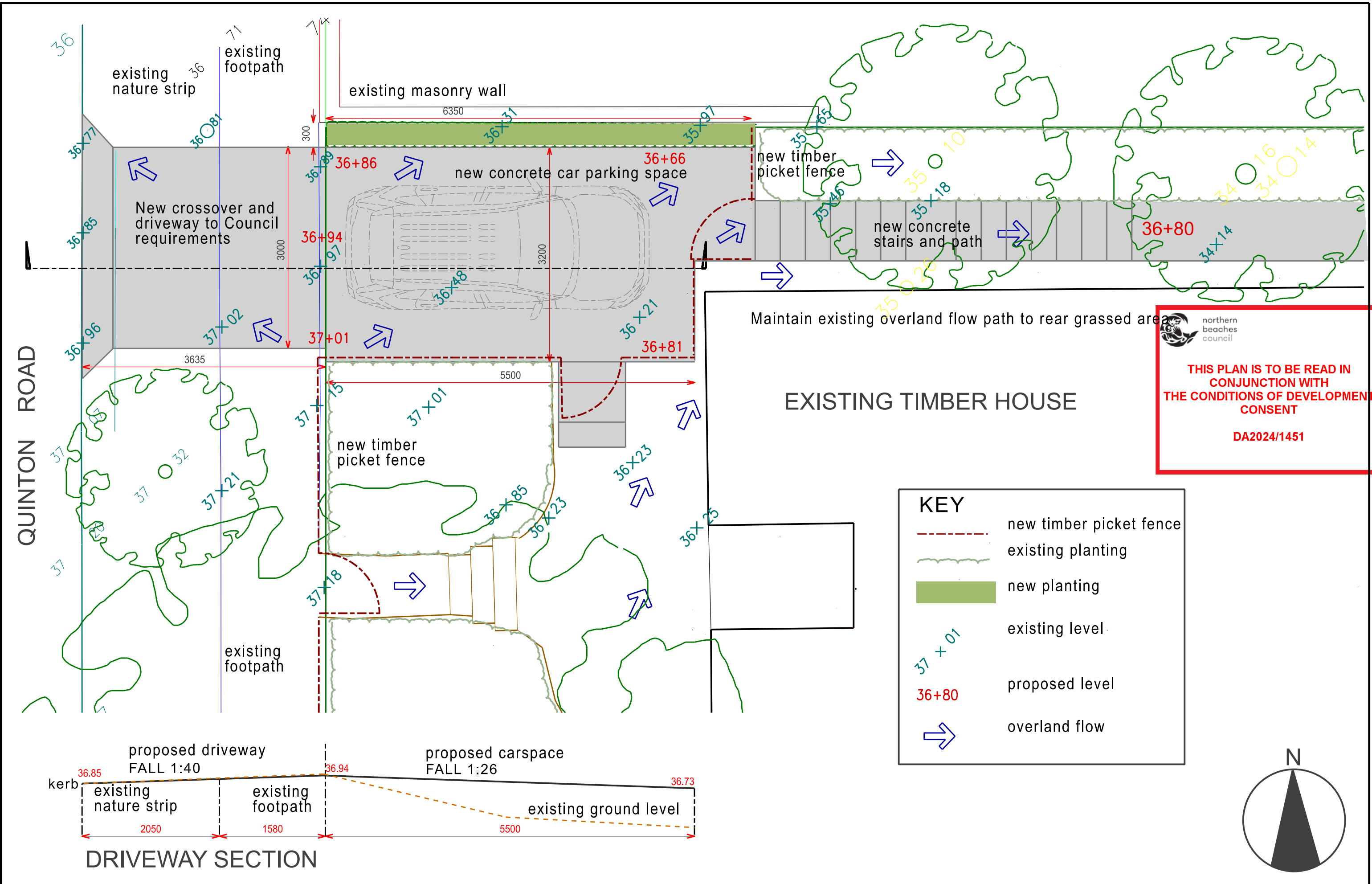
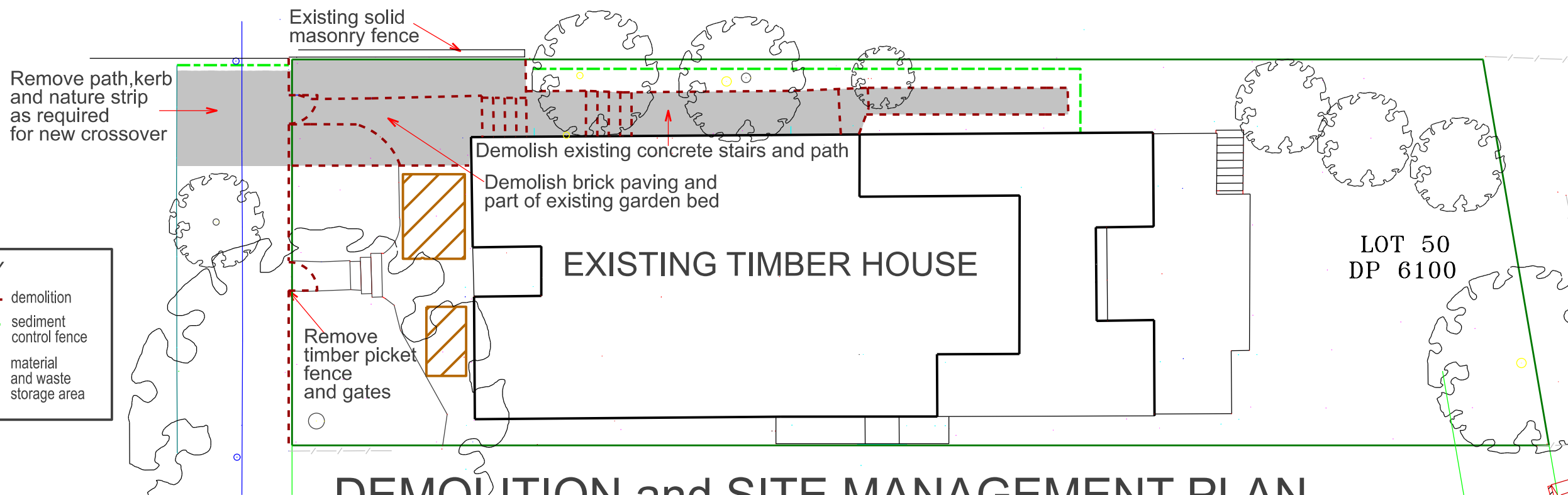




 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1451



KEY

- - - demolition
- - - sediment control fence
- ▨ material and waste storage area

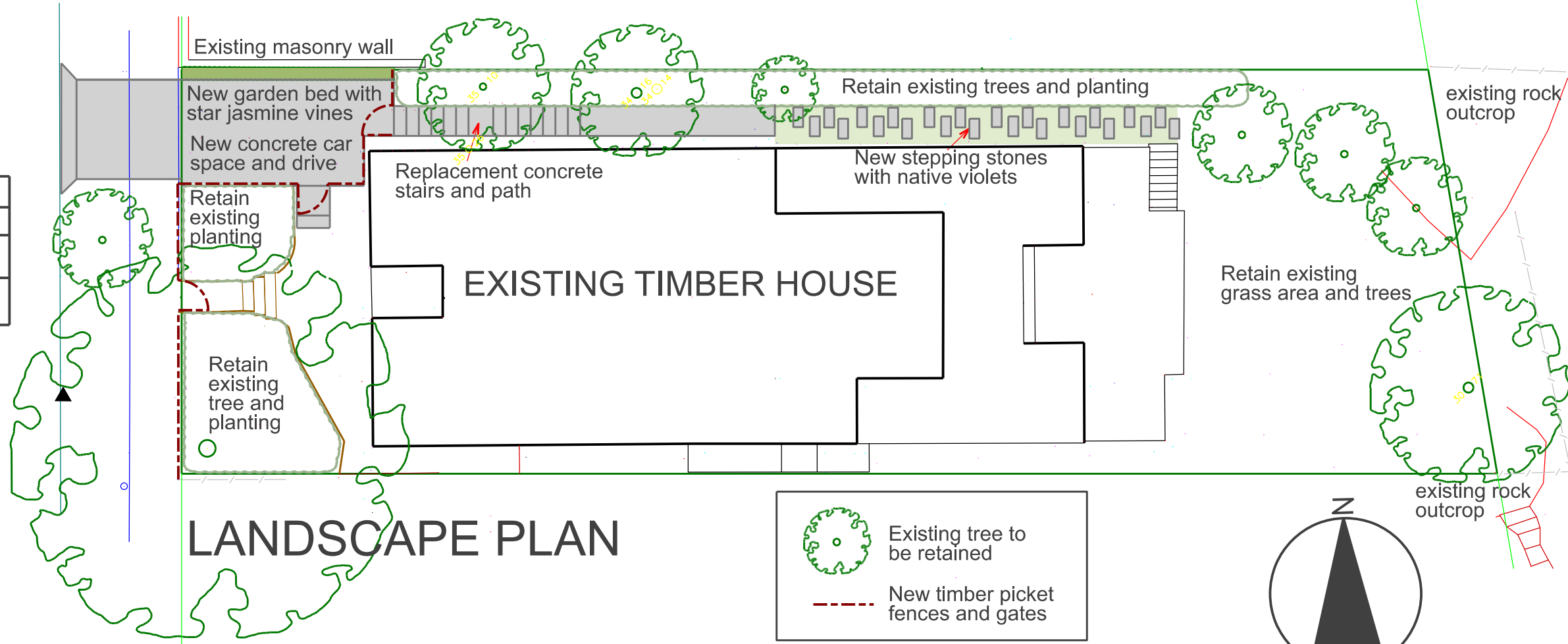
LANDSCAPE CALCULATIONS

	existing	proposed	required
site area	471.6 sq.m	471.6 sq.m	471.6 sq.m
landscaped open space	233 sq.m	471.6 sq.m	259 sq.m
soft open space	178.sqm	168sq.m	91 sq.m

 northern beaches council

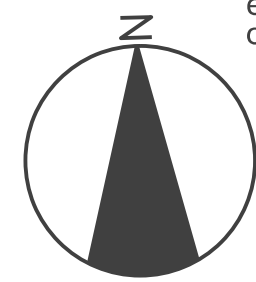
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

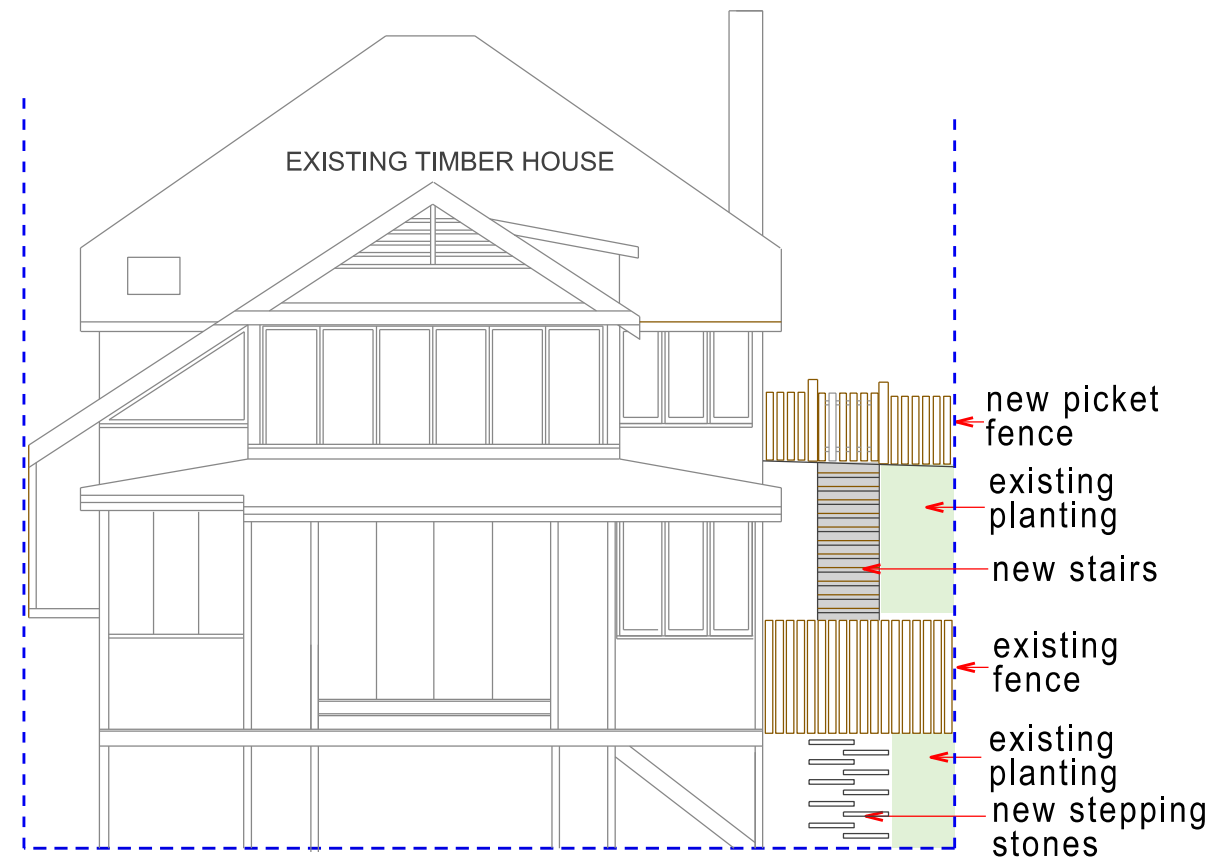
DA2024/1451



 Existing tree to be retained

 New timber picket fences and gates



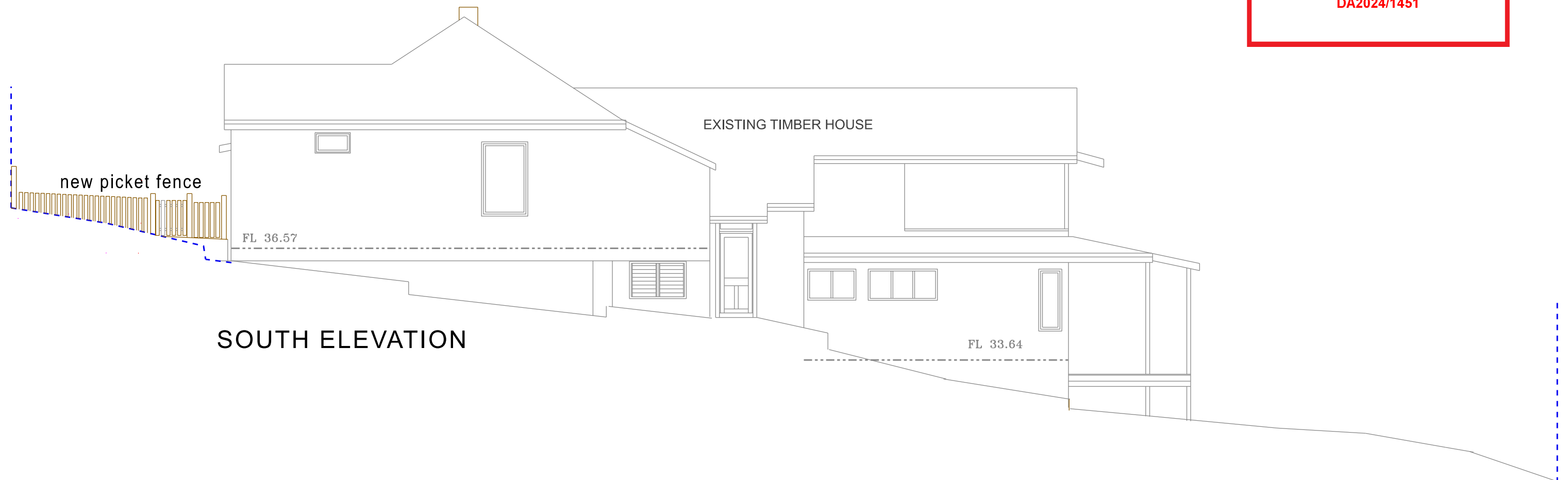


EAST ELEVATION



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2024/1451



SOUTH ELEVATION

200 024 DA 04 A

A 15/10/24 DA issue

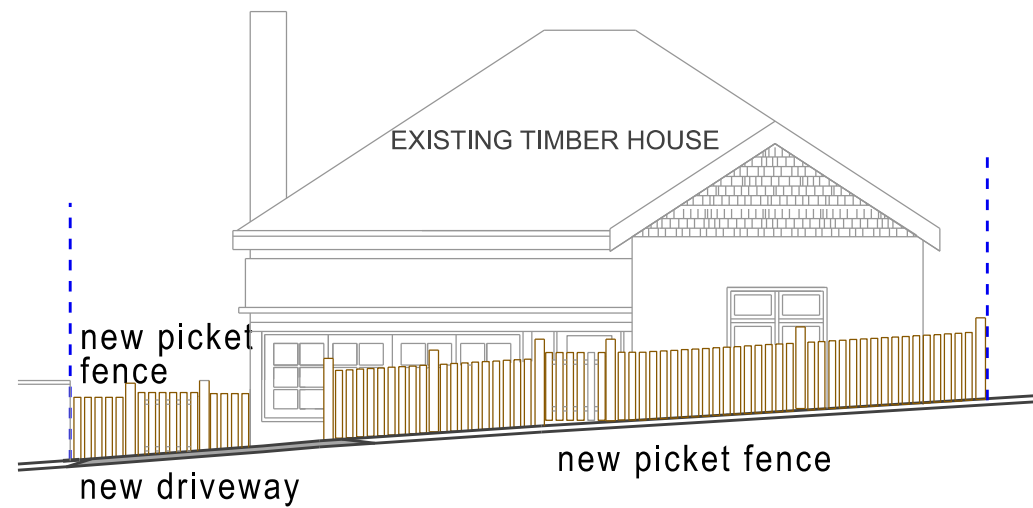
October 2024
Scale 1:100 @A3

ELEVATIONS
EAST & SOUTH

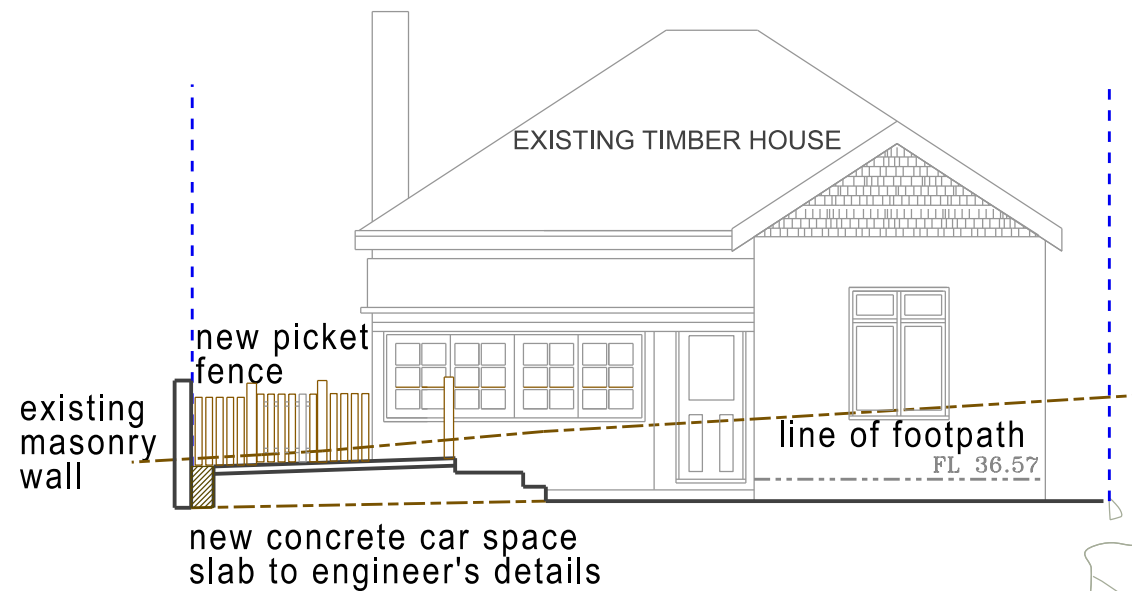
OFF STREET PARKING
40 Quinton Rd Manly
Lot 50 DP 6100

Client
J.Dillon&M.Savage

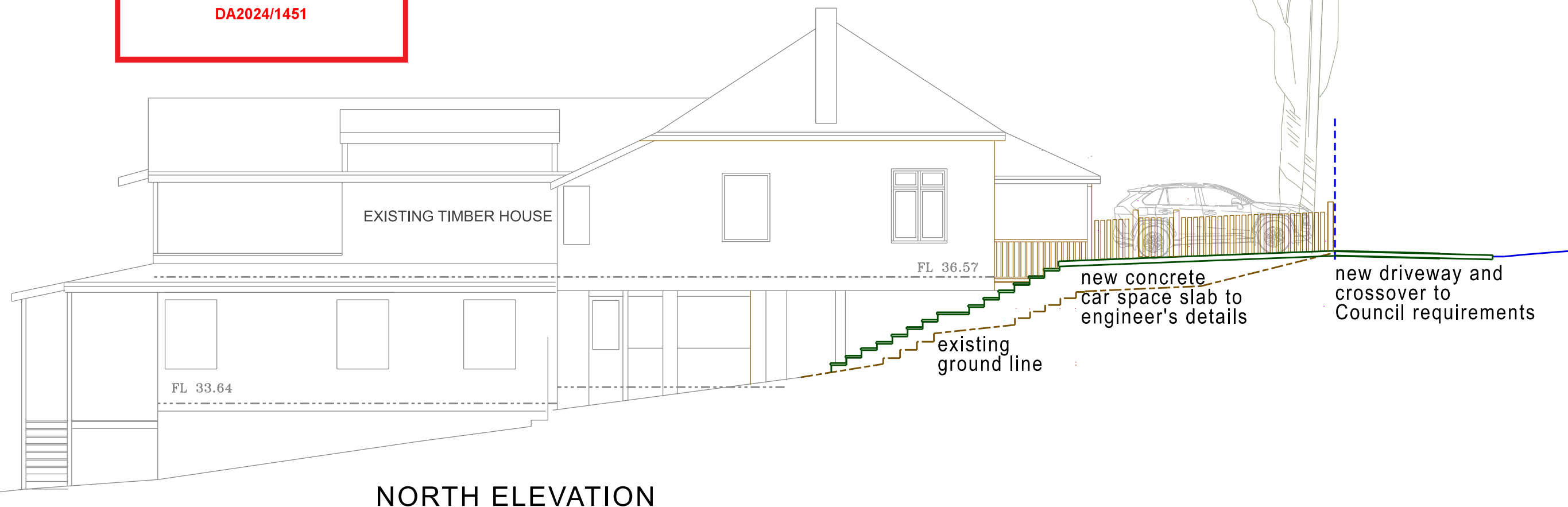
Dillon & Savage Design
40 Quinton Rd Manly 9977 3714
email: dsarchs@bigpond.net.au



WEST ELEVATION (STREET)



WEST ELEVATION (SECTION)



NORTH ELEVATION

200 024 DA 05 A

A 15/10/24 DA issue

October 2024
Scale 1:100 @A3

ELEVATIONS / SECTIONS
WEST & NORTH

OFF STREET PARKING
40 Quinton Rd Manly
Lot 50 DP 6100

Client
J.Dillon&M.Savage

Dillon & Savage Design
40 Quinton Rd Manly 9977 3714
email: dsarchs@bigpond.net.au