

NOTE: SITE BOUNDARY IS TO BE IDENTIFIED BY A REGISTERED SURVEYOR AND CLEARLY MARKED ON SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS.



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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DA2023/0840

NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN 1:200

ACTION PLANS

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e: operations@actionplans.com.au
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REV.	DATE	COMMENTS	DRWN
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B	AUG 2023	DA: REV B	AP
C	AUG 2023	DA: REV C	AP

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LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	TIMBER STUD		CONCRETE
	EXIST. RL		PROP. RL

CLIENT

Alexis & James Hepworth

PROJECT ADDRESS

57 Harbord Rd
Freshwater, NSW 2096

DRAWING NO.

DA04

DATE

Wednesday, 30 August
2023

DRAWING NAME

SITE PLAN

SCALE

1:200 @A3



DA2023/0840



:100



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 EXISTING
 DEMOLISHED
 METAL ROOFING
 TIMBER STUD

EXIST. RL

EXISTING		TILED FLOOR
DEMOLISHED		TIMBER FLOOR
METAL ROOFING		BRICKWORK
TIMBER STUD		CONCRETE

PROP. RL



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NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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C	AUG 2023	DA: REV C	AP	

LEGEND

EXISTING

DEMOLISHED

METAL ROOFING

TIMBER STUD

EXIST. RL

TILED FLOOR

TIMBER FLOOR

BRICKWORK

CONCRETE

PROP. RL

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DRAWING NO.

DA06

DATE

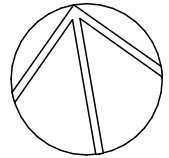
Wednesday, 30 August 2023

DRAWING NAME

EXISTING FIRST FLOOR PLAN

SCALE

1:100 @A3

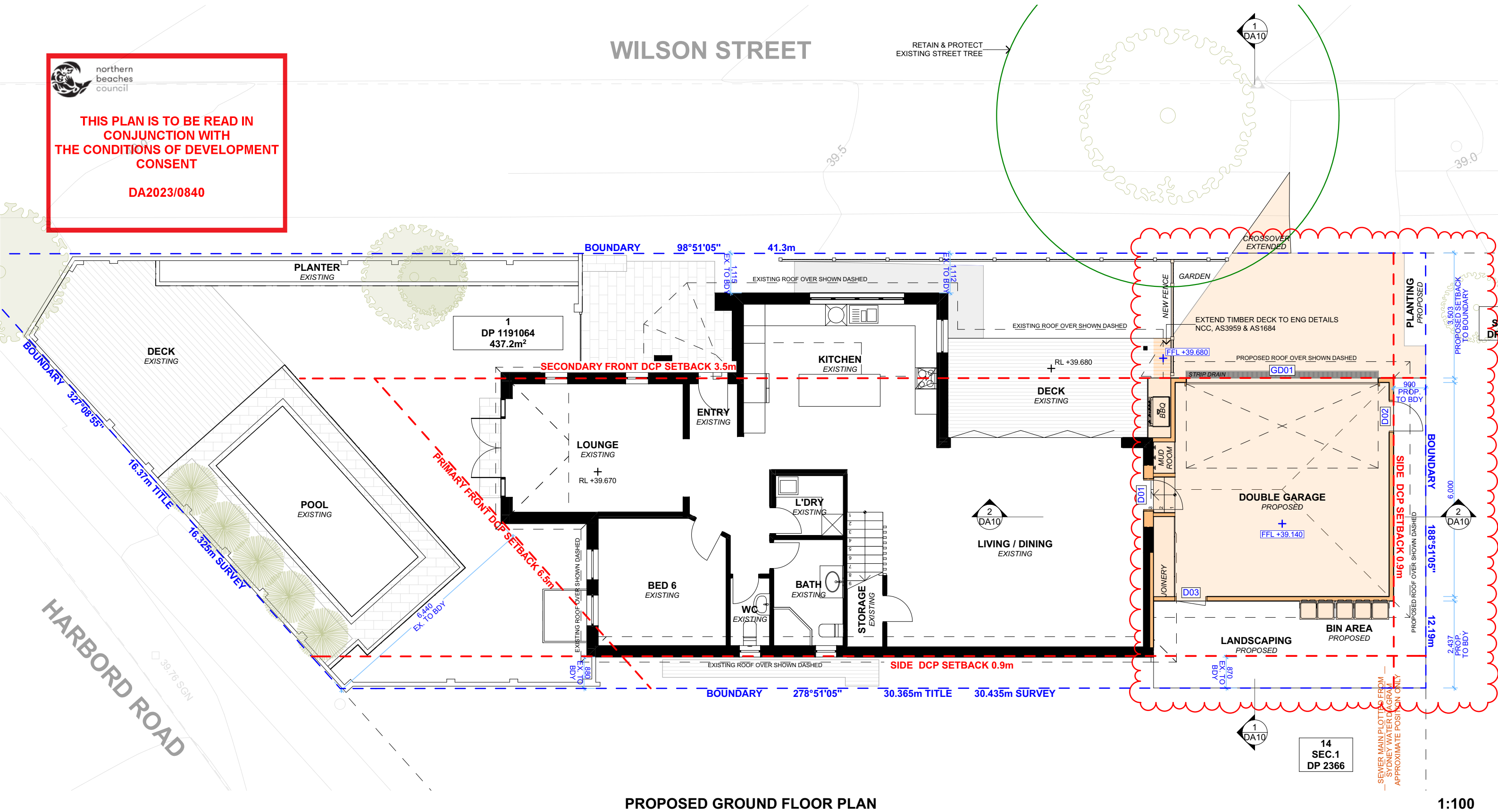




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PROPOSED GROUND FLOOR PLAN

1:100

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LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	TIMBER STUD		CONCRETE
	EXIST. RL		PROP. RL

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2023

DRAWING NAME

PROPOSED GROUND FLOOR
PLAN

SCALE

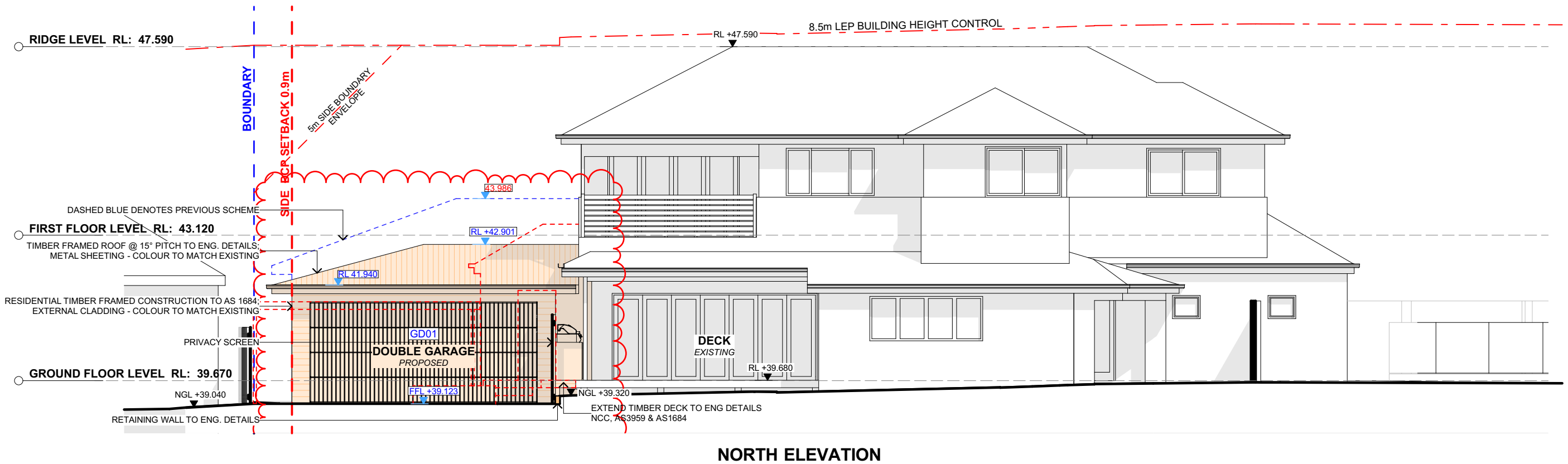
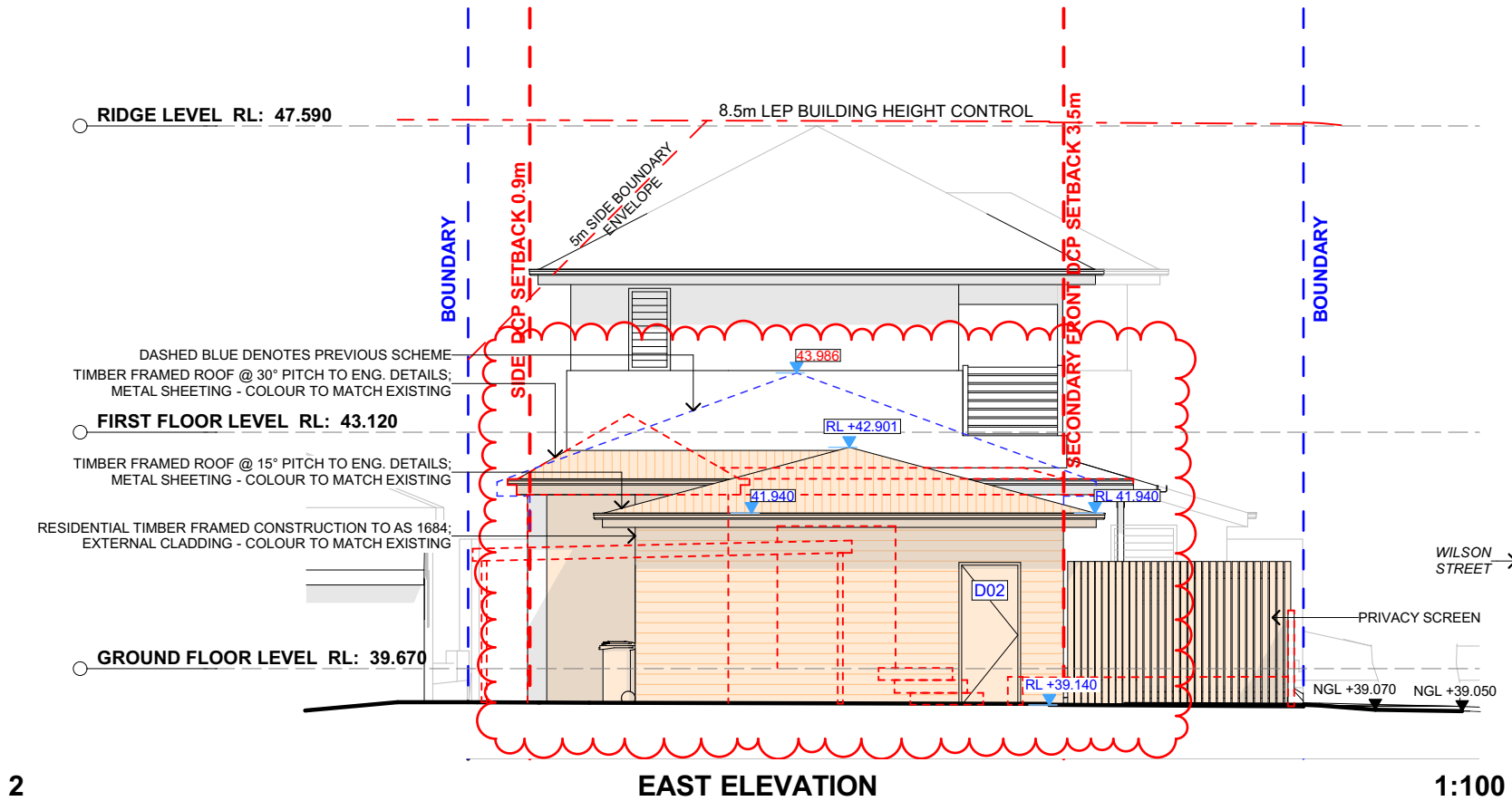
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LEGEND

	METAL ROOFING		EXISTING
	TILED ROOFING		
	TIMBER CLAD		
	BRICKWORK		
	CONCRETE		

CLIENT

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DRAWING NO.

DA08

DATE

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2023

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

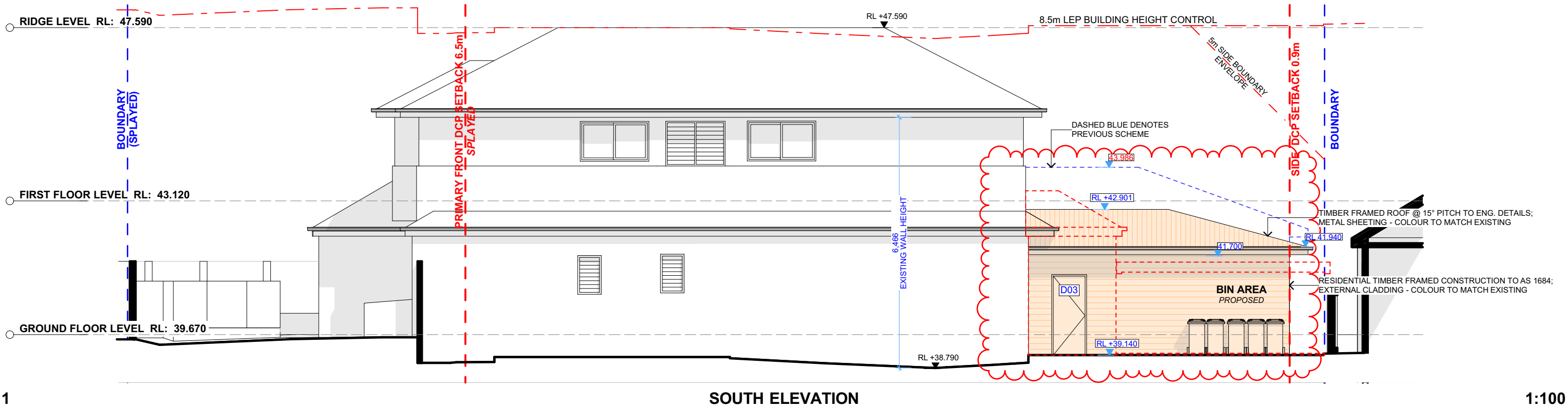
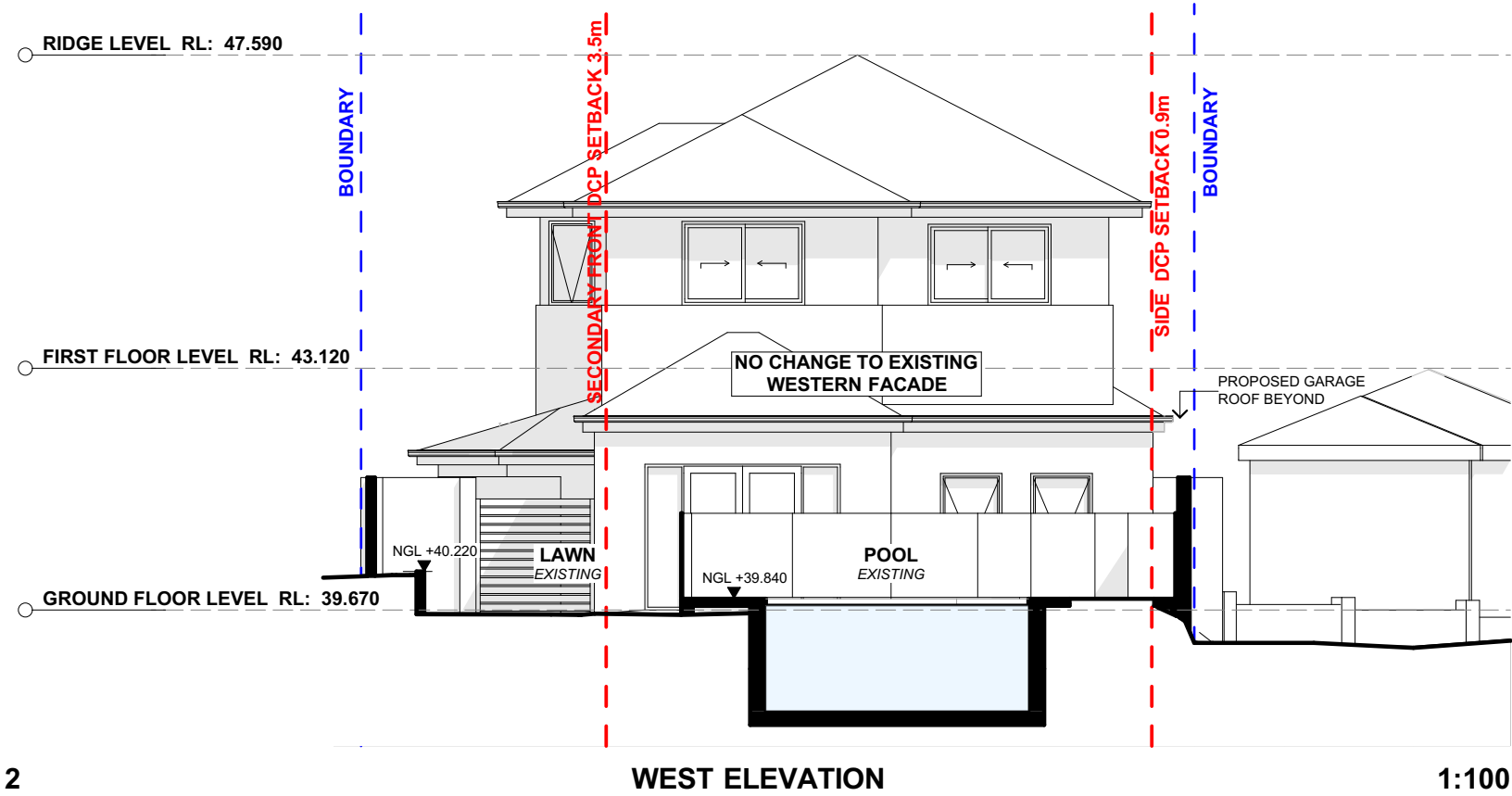
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LEGEND

	METAL ROOFING		EXISTING
	TILED ROOFING		
	TIMBER CLAD		
	BRICKWORK		
	CONCRETE		

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DRAWING NO.

DA09

DATE

Wednesday, 30 August
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DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

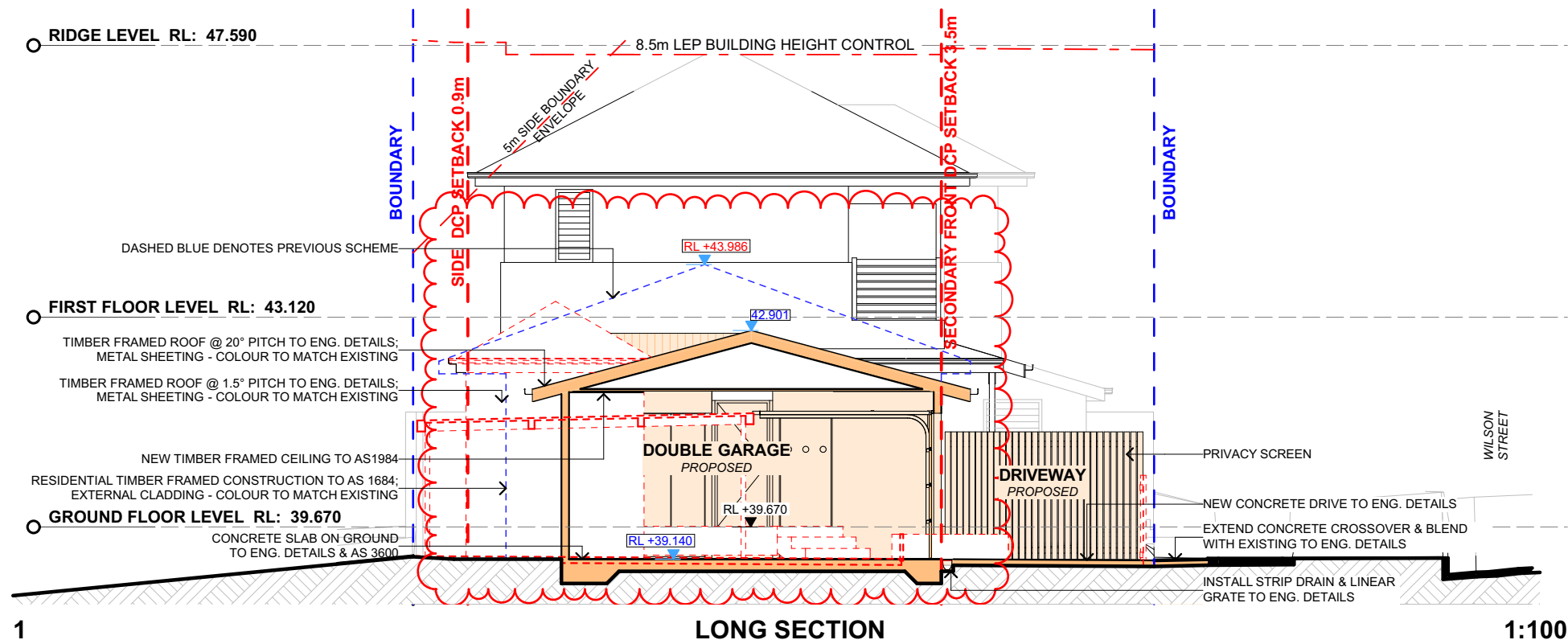
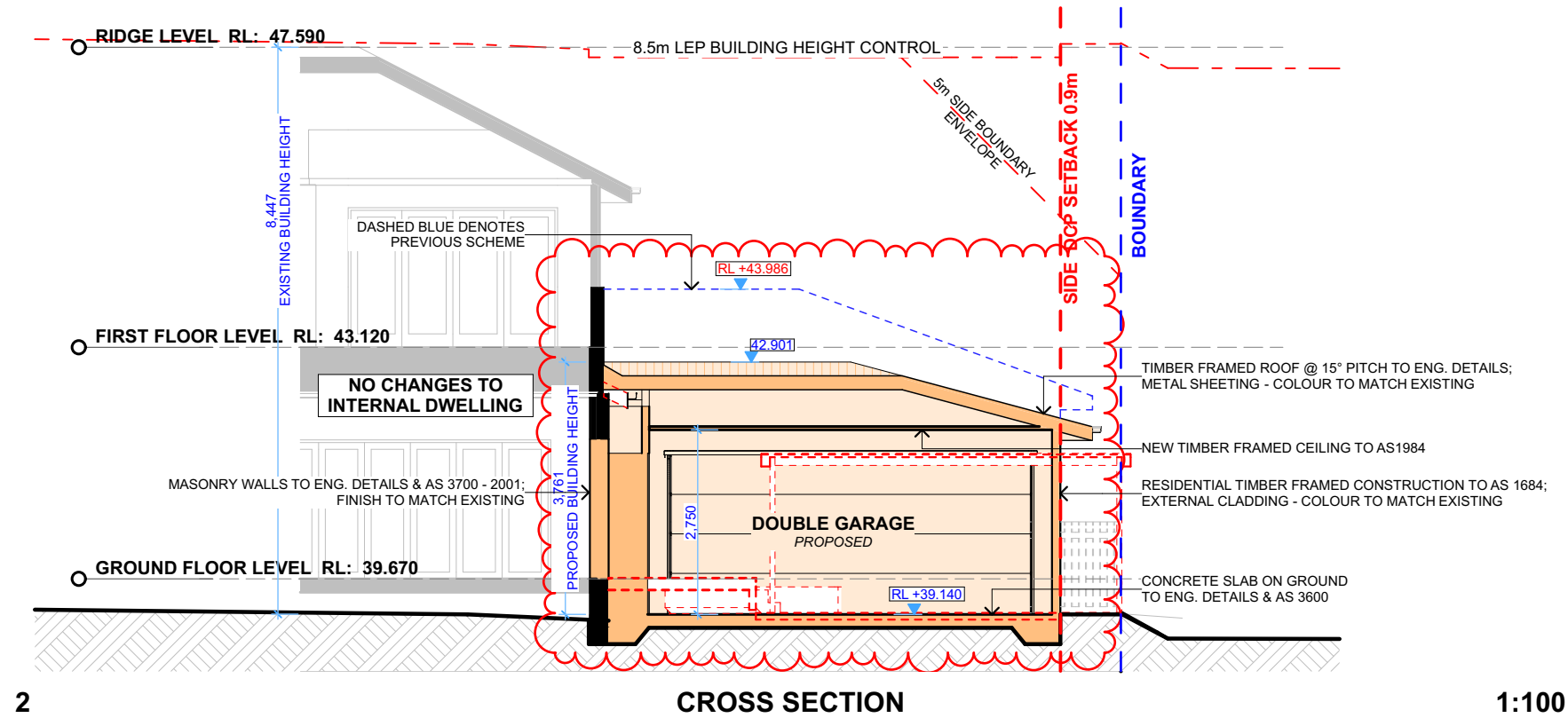
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LEGEND

	EXISTING		TILED FLOOR
	DEMOLISHED		TIMBER FLOOR
	METAL ROOFING		BRICKWORK
	CONCRETE		EXIST. RL
	TIMBER STUD		PROP. RL

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DRAWING NO.

DA10

DATE

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2023

DRAWING NAME

LONG / CROSS SECTION

SCALE

1:100 @A3



1 - WEATHERBOARD CLADDING -
FINISH TO MATCH EXISTING



2 - SHEET METAL ROOF -
FINISH TO MATCH EXISTING



3 - BATTEN SCREEN FENCE -
FINISH TO MATCH EXISTING



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DRAWING NO.
DA15

DATE
Wednesday, 30 August
2023

DRAWING NAME
SAMPLE BOARD

SCALE
@A3