

SECTION 4.55 APPLICATION

Bertucci Residence

246 WHALE BEACH ROAD WHALE BEACH NSW 2107
PROPOSED NEW DWELLING

DRAWING REGISTER

NO.	DRAWING	SCALE	REV	DATE
MOD-01	COVER SHEET	NTS	A	JULY 2021
MOD-02	SITE PLAN	1:200	A	JULY 2021
MOD-03	GARAGE	1:100	A	JULY 2021
MOD-04	GROUND FLOOR	1:100	A	JULY 2021
MOD-05	FIRST FLOOR PLAN	1:100	A	JULY 2021
MOD-06	SECOND FLOOR PLAN	1:100	A	JULY 2021
MOD-07	ELEVATION	1:100	A	JULY 2021
MOD-08	ELEVATION	1:100	A	JULY 2021
MOD-09	ELEVATION	1:100	A	JULY 2021
MOD-10	ELEVATION	1:100	A	JULY 2021
MOD-11	SECTION A:A	1:100	A	JULY 2021
MOD-12	SECTION B:B	1:100	A	JULY 2021
MOD-13	SHADOW DIAGRAM	1:200	A	JULY 2021
MOD-14	WINDOW & SPEC.	NTS	A	JULY 2021

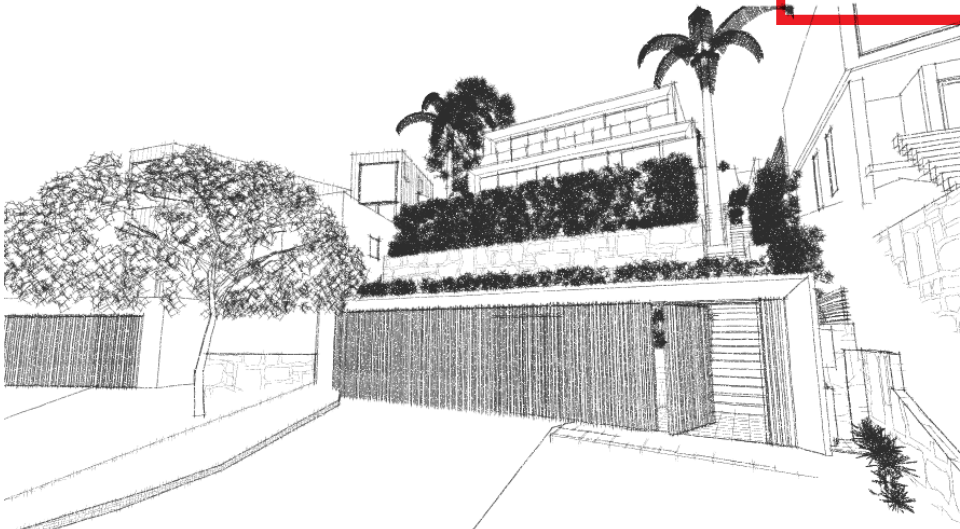
BUILDING DESIGN STATEMENT

In accordance with the provisions of Clause A2.2 of, The National Construction Code 2019 (NCC) Volume 2, I hereby certify that the design of this project as documented in drawings 1232-MOD-01 through MOD-14, meets the requirements of the NCC. The design follows established building design principles and is in accordance with all relevant Australian Standards. We hold Professional Indemnity and Public Liability Insurance to the satisfaction of the owner.

Regards

G. Seghers

GRANT SEGHERS B.Arch(Hon) Assoc Dip Surv.
Building Designer
GS DESIGN
ABN:93 370 632 963
0424 428 602



VIEW FROM WHALE BEACH ROAD

SECTION 4.55 AMENDMENT SCHEDULE

- Pool Plant Room relocated to Western side of Garage.
- Lift added to the rear, North East.
- Ground Floor Kitchen Rear Wall moved back 700mm.
- Increased Glazing at front door, W-01, Eastern Facade.
- Increased Glazing, sliding door WD-05, Western Facade.
- Gas Fire Place added to Living.
- Winders added to Internal Stair Ground to First Floor.
- Access door to rear added in Bathroom on First Floor.
- Minor window changes W12, W13, W14, Northern Facade.
- Wall colour proposed to be Lexicon Half.
- Skylight to Stairwell.

SECTION 4.55 AMENDMENTS SHOWN CLOUDED & COLOURED

REFER TO GEOTECHNICAL INVESTIGATION REPORT
Ref:J3109 WHITE GEOTECHNICAL ENGINEERS

REFER TO STORMWATER DESIGN DOCUMENTATION
Ref:201222 D00-D11 NB CONSULTING ENGINEERS

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 SECTION 3 & 7,
PLUS SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

LEGEND

LANDSCAPE AREA

PRIVATE OPEN SPACE

ROOF/SURFACE AREA
DIRECTED TO
RAINWATER/OSD TANK

VIEW TO WHALE
BEACH & PACIFIC

PREVAILING WIND
SOUTHERLY - COOL

PREVAILING WIND
NORTHEAST - WARM

NOTES

EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES

"WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING

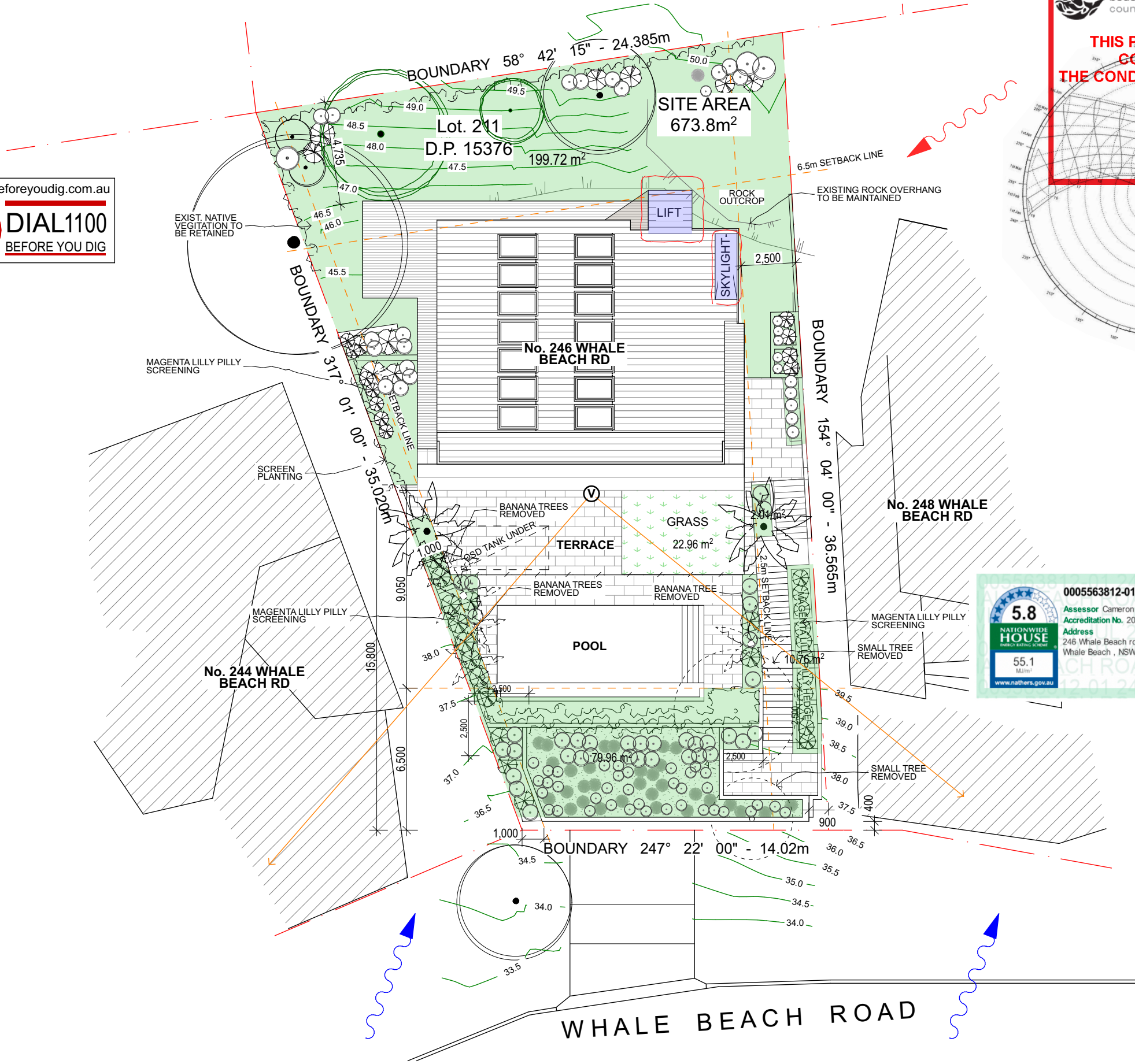
ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN THE BASIX CERTIFICATE No.1163311S_02

LANDSCAPE AREA

LOCATION	AREA (m²)
Rear Yard & East & West Flanks	199.7
Grass Area on Terrace	23.0
Front Garden & Planters	80.0
East Planter Hedge	10.8
East Planter Cabbage Tree Palm	2.0
6% of Site Area (Pool Terrace)	40.4
Total Landscape Area	355.9
SITE AREA	673.8
Landscape % of Site Area	52.8%

www.dialbeforeyoudig.com.au

DIAL1100
BEFORE YOU DIG



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2021/0696

5.8
NATIONWIDE
HOUSE
ENERGY RATING 5.8
55.1
MJ/m²

0005563812-01 01 Jul 2021
Assessor Cameron McFadzean
Accreditation No. 20758
Address 246 Whale Beach road, Whale Beach, NSW, 2107
www.nathers.gov.au

ABSA
Accreditation No. 20758
Assessor Name Cameron McFadzean
Assessor Number 20758
Assessor Signature
hstar.com.au

1

Site Plan

1:200

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV DATE AMENDMENT
A JULY 2021 SECTION 4.55 APPLICATION

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SITE PLAN &
SITE ANALYSIS PLAN

SCALE
1:200@A3

PROJECT NO.
1232

DRAWN BY
GS

PLOT DATE
6/8/21

DRAWING NO.
MOD-02


REVISION
A



0005563812-01 01 Jul 2021
Assessor Cameron McFadzean
Accreditation No. 20758
Address
246 Whale Beach road,
Whale Beach, NSW, 2107

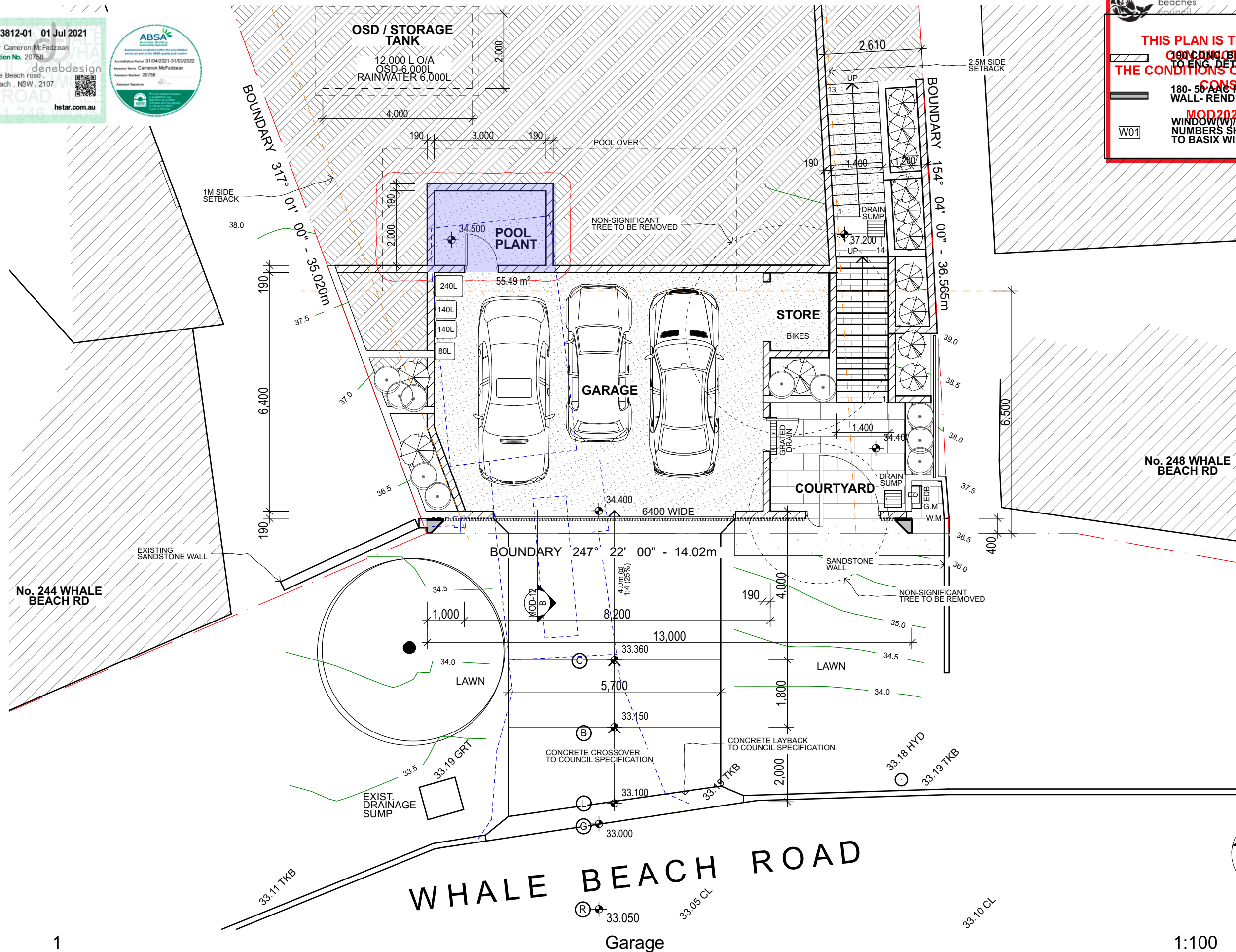


hstar.com.au



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0696

WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's



NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV	DATE	AMENDMENT
A	JULY 2021	SECTION 4.55 APPLICATION




Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
GARAGE

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	6/8/21
PROJECT NO.	DRAWING NO.	REVISION
1232	MOD-03	A

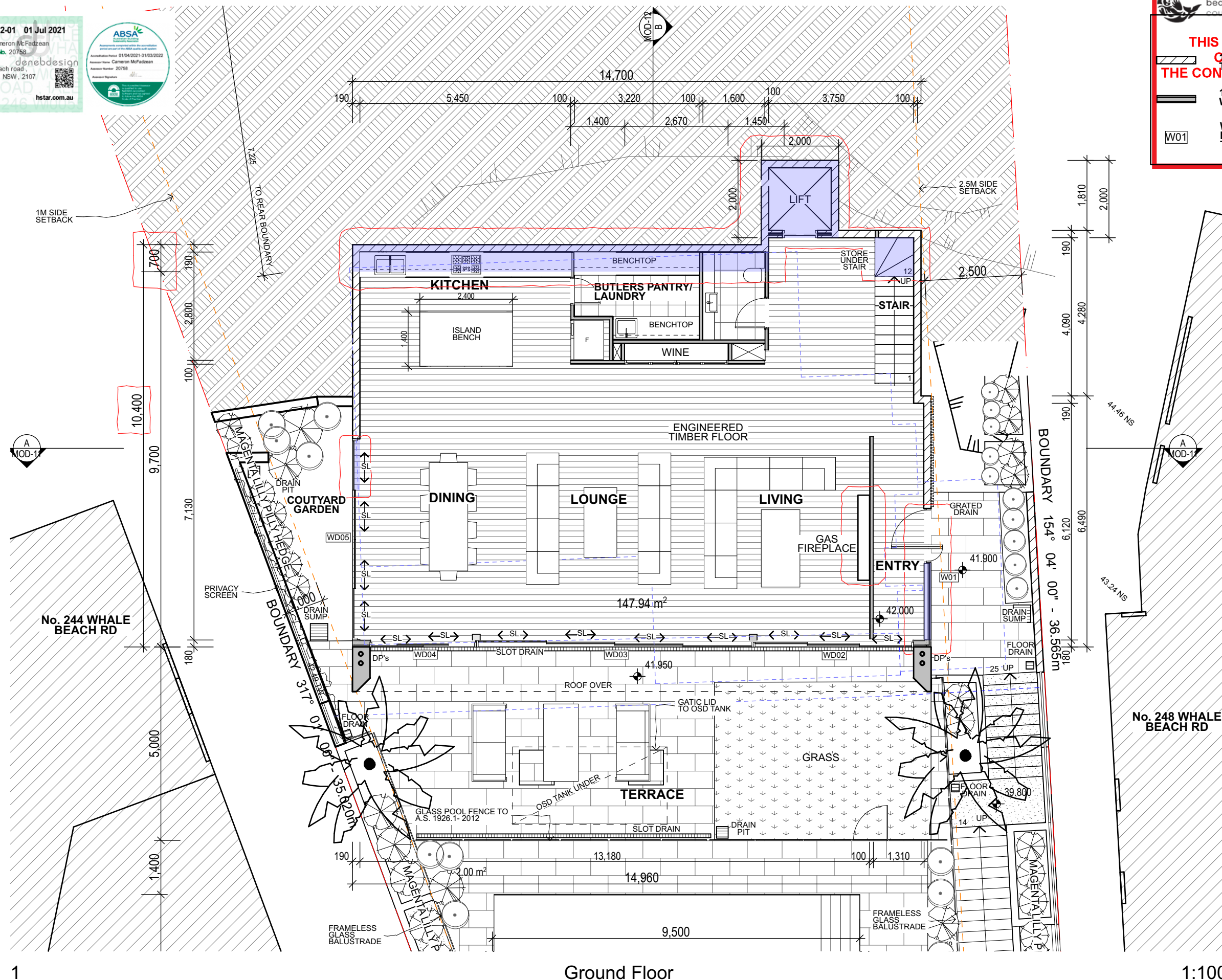




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0696

180-50 AAC PANEL TIMBER STUD WALL- RENDER & PAINT

WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's



1

Ground Floor

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

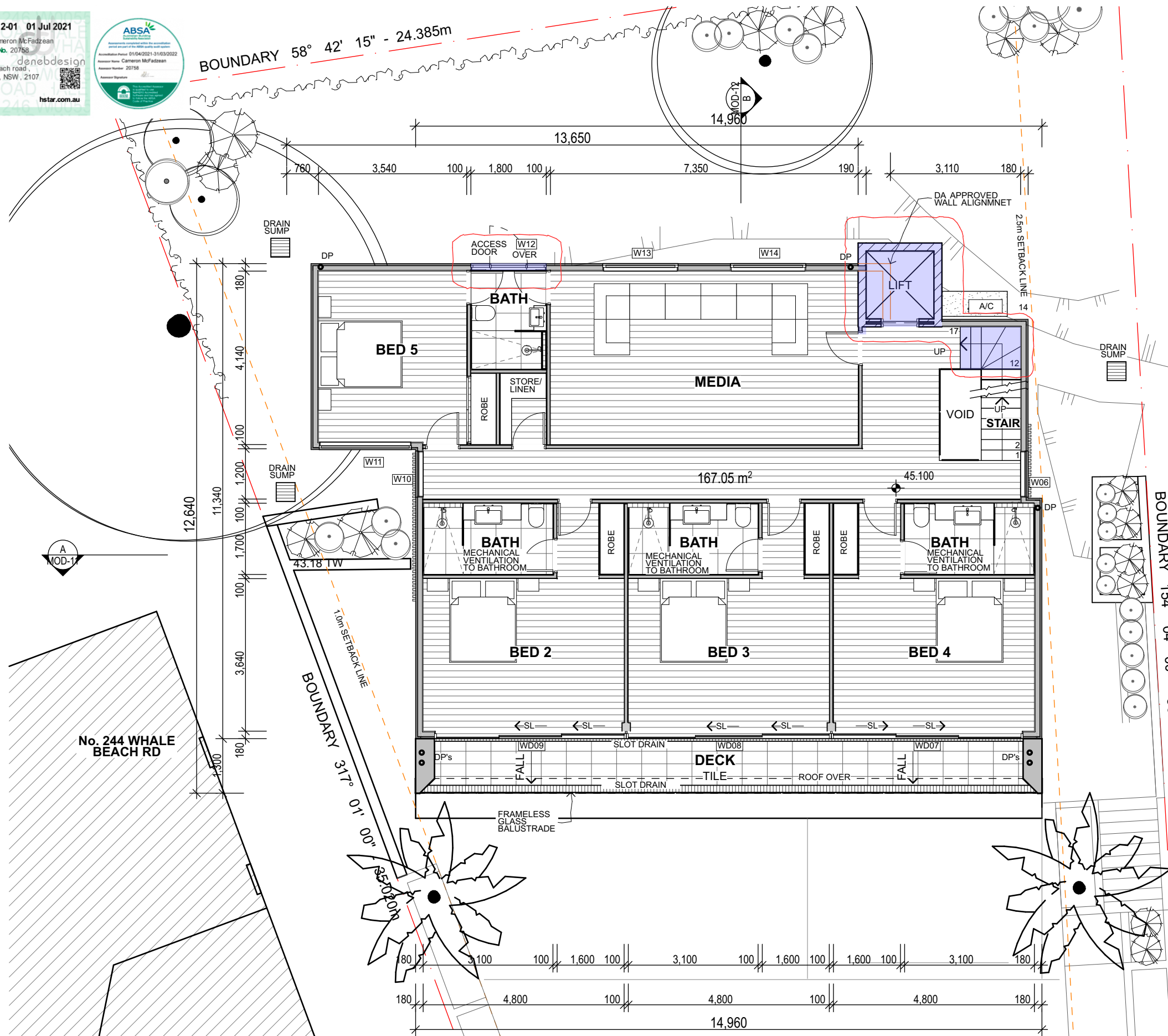
REV	DATE	AMENDMENT
A	JULY 2021	SECTION 4.55 APPLICATION



Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE		
GROUND FLOOR		
SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	6/8/21
PROJECT NO.	DRAWING NO.	REVISION
1232	MOD-04	A



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0696

WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's

1

First Floor

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV	DATE	AMENDMENT
A	JULY 2021	SECTION 4.55 APPLICATION

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au


PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
FIRST FLOOR PLAN

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	6/8/21

PROJECT NO.	DRAWING NO.	REVISION
1232	MOD-05	A

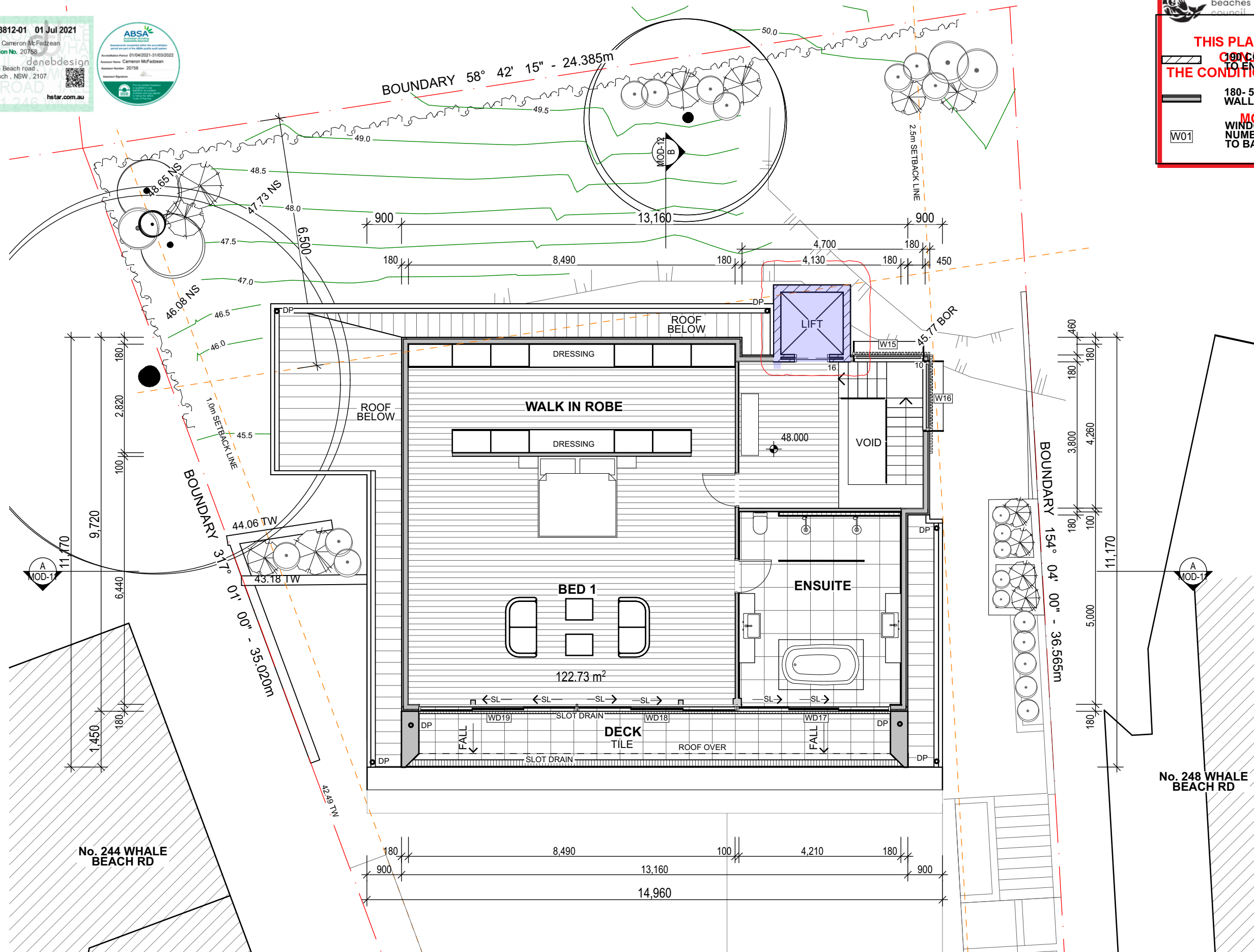




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0696

180-50 AAC PANEL TIMBER STUD WALL- RENDER & PAINT

WINDOW(W)/GLASS DOOR (WD) NUMBERS SHOWN CORRESPOND TO BASIX WINDOW/DOOR No's



1

Second Floor

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV	DATE	AMENDMENT
A	JULY 2021	SECTION 4.55 APPLICATION



Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SECOND FLOOR PLAN

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	6/8/21

PROJECT NO.	DRAWING NO.	REVISION
1232	MOD-06	A



northern
beaches
council

THIS PAIN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT

1 SANDSTONE
2 RENDER - DULUX
3 VERTICALLY SPOTTED GUM

MOD2021/0696



grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

DRAWING TITLE		
ELEVATION		
SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	6/8/21
PROJECT NO.	DRAWING NO.	REVISION
1232	MOD-07	A



northern
beaches
council

1 SANDSTONE - ECO OUTDOOR-
CRACKENBACK

2 RENDER - DULUX
LEXICON QUARTER B11

3 VERTICAL TIMBER SCREENING
SPOTTED GUM

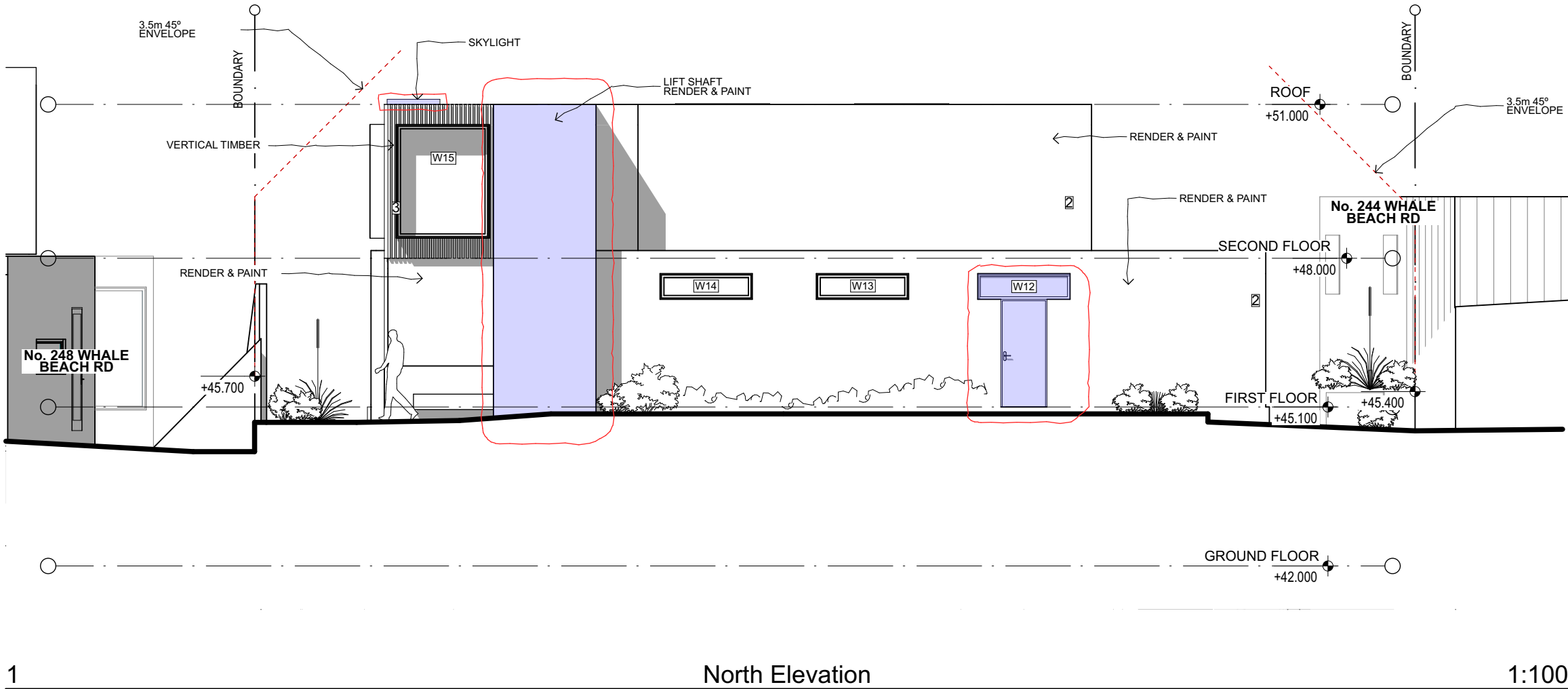
THIS DRAWING IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2021/0696

ALL CONSTRUCTION THIS FACADE TO MEET **BAL 29** - AS 3959 - 2018 &
SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION - 2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

SCHEDULE OF EXTERNAL FINISHES

AREA	SUBSTRATE	FINISH	COLOUR
Walls - Ground Floor	Conc Block/ Dincell	Render & Paint	Dulux-Lexicon Quarter B11
Walls - First Floor/Second Floor	AAC Panel Stud Frame	Render & Paint	Dulux-Lexicon Quarter B11
Roof	Custom Orb Steel - Trimdeck	Colorbond	Colorbond Windspray
Window/Glass Door Frame	Aluminium	Powdercoat	Woodland Grey
Walls/ Garage, Ground, First & Second	Vertical Timber on spacing frame	Pre-finished	Natural - Spotted Gum
Retaining Walls	Conc. Block-Dincell	Eco - Outdoor-Crackencak	Natural Sandstaone

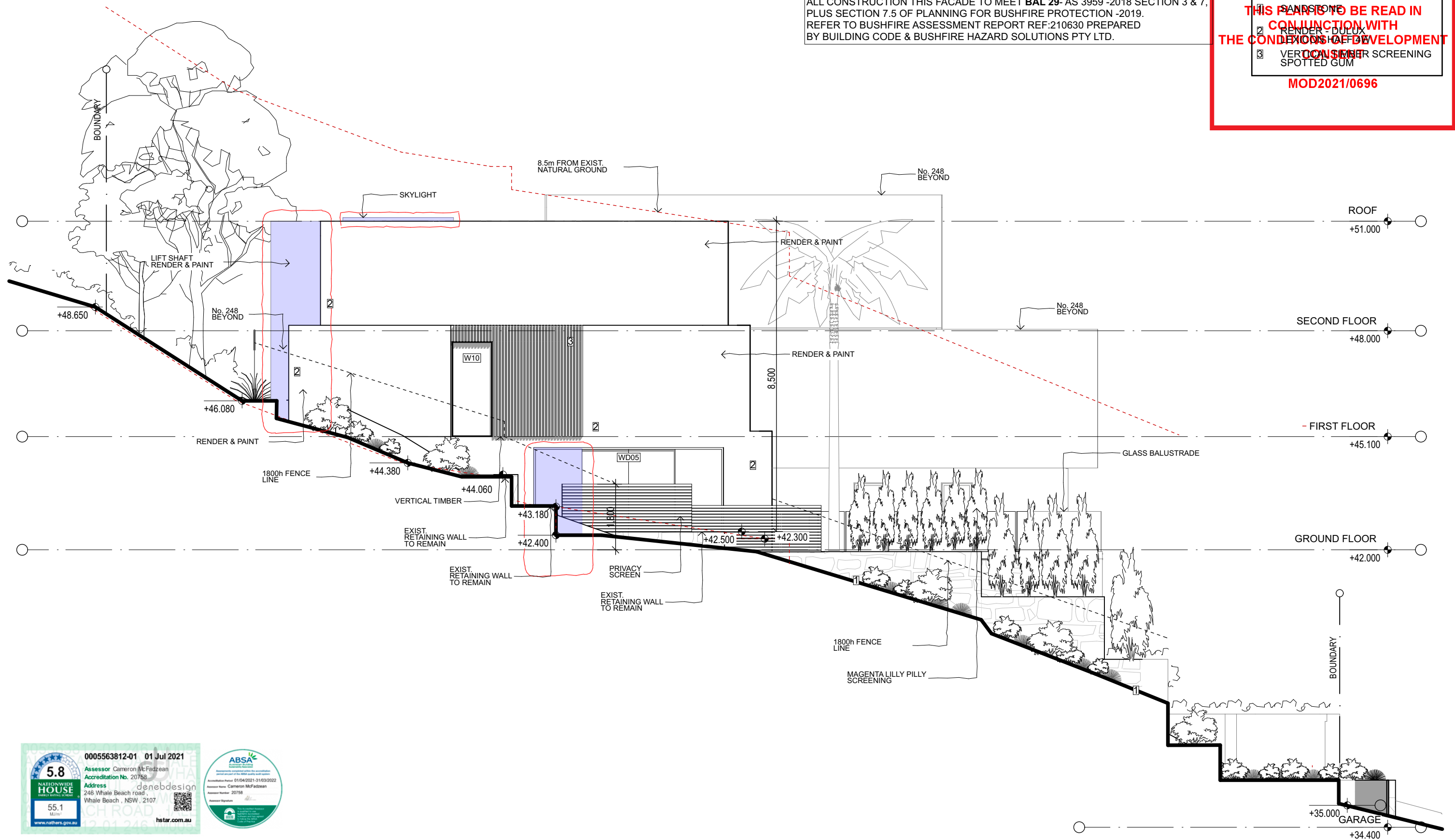


ALL CONSTRUCTION THIS FACADE TO MEET **BAL 29**- AS 3959 -2018 SECTION 3 & 7, PLUS SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019. REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

1 SANDSTONE
2 RENDER - DULUX
3 VERTICAL TIMBER SCREENING SPOTTED GUM

MOD2021/0696



1

West Elevation

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV DATE
A JULY 2021

AMENDMENT
SECTION 4.55 APPLICATION

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
ELEVATION

SCALE
1:100@A3

PROJECT NO.
1232

DRAWN BY
GS

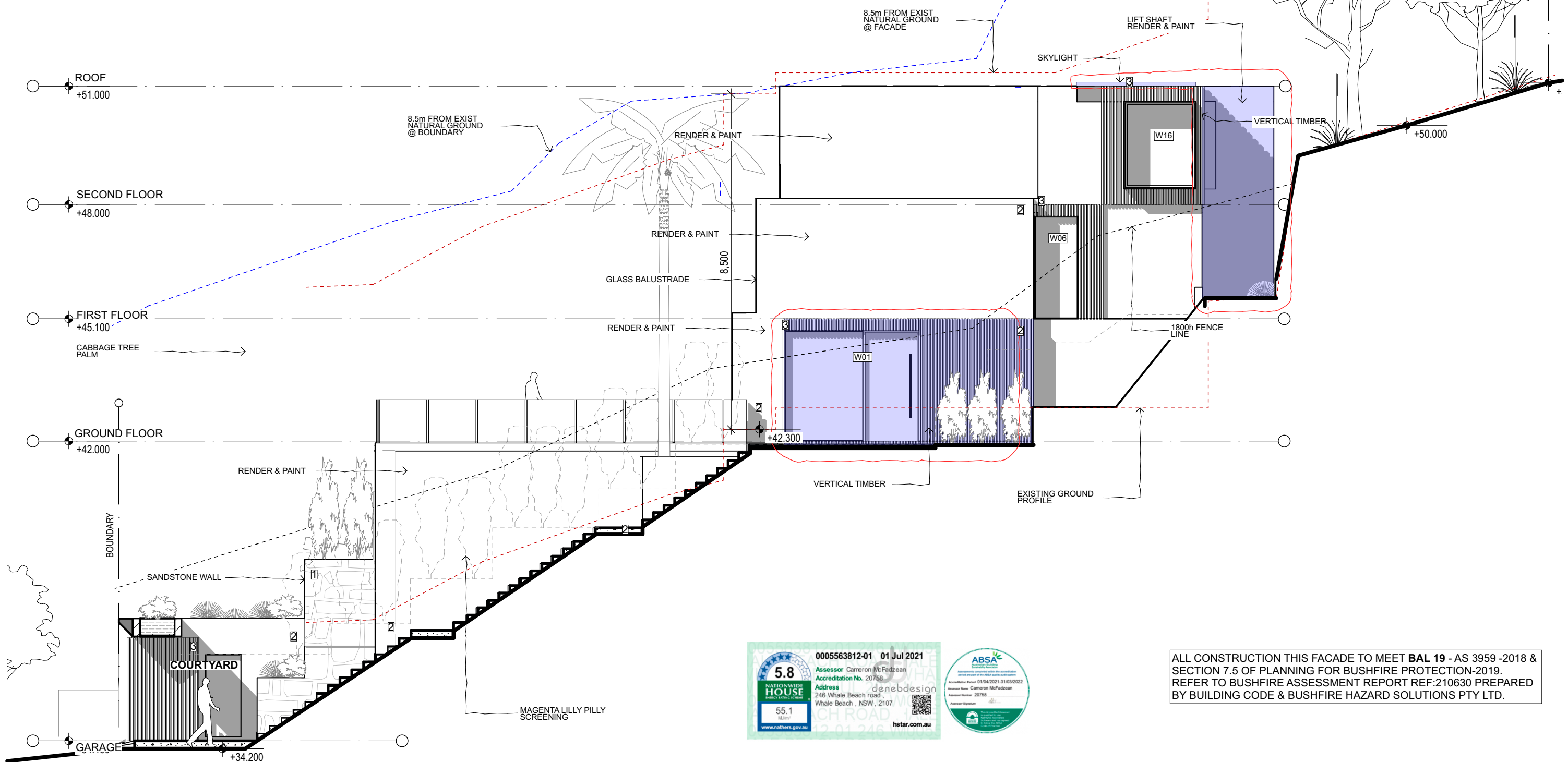
PLOT DATE
6/8/21

DRAWING NO.
MOD-09

REVISION
A

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
MOD2021/0696

- 1 SANDSTONE
- 2 RENDER - DULUX
LEXICON HALF 4W
- 3 VERTICAL TIMBER SCREENING
SPOTTED GUM



East Elevation

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV DATE AMENDMENT
A JULY 2021 SECTION 4.55 APPLICATION

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
ELEVATION

SCALE
1:100@A3

PROJECT NO.
1232

DRAWN BY
GS

PLOT DATE
6/8/21

DRAWING NO.
MOD-10


REVISION
A

ALL CONSTRUCTION THIS FACADE TO MEET BAL 19 - AS 3959 -2018 & SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION-2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.



REFER TO INSULATION SPECIFICATION,
NATHERS CERTIFICATE AND BASIX CERTIFICATE

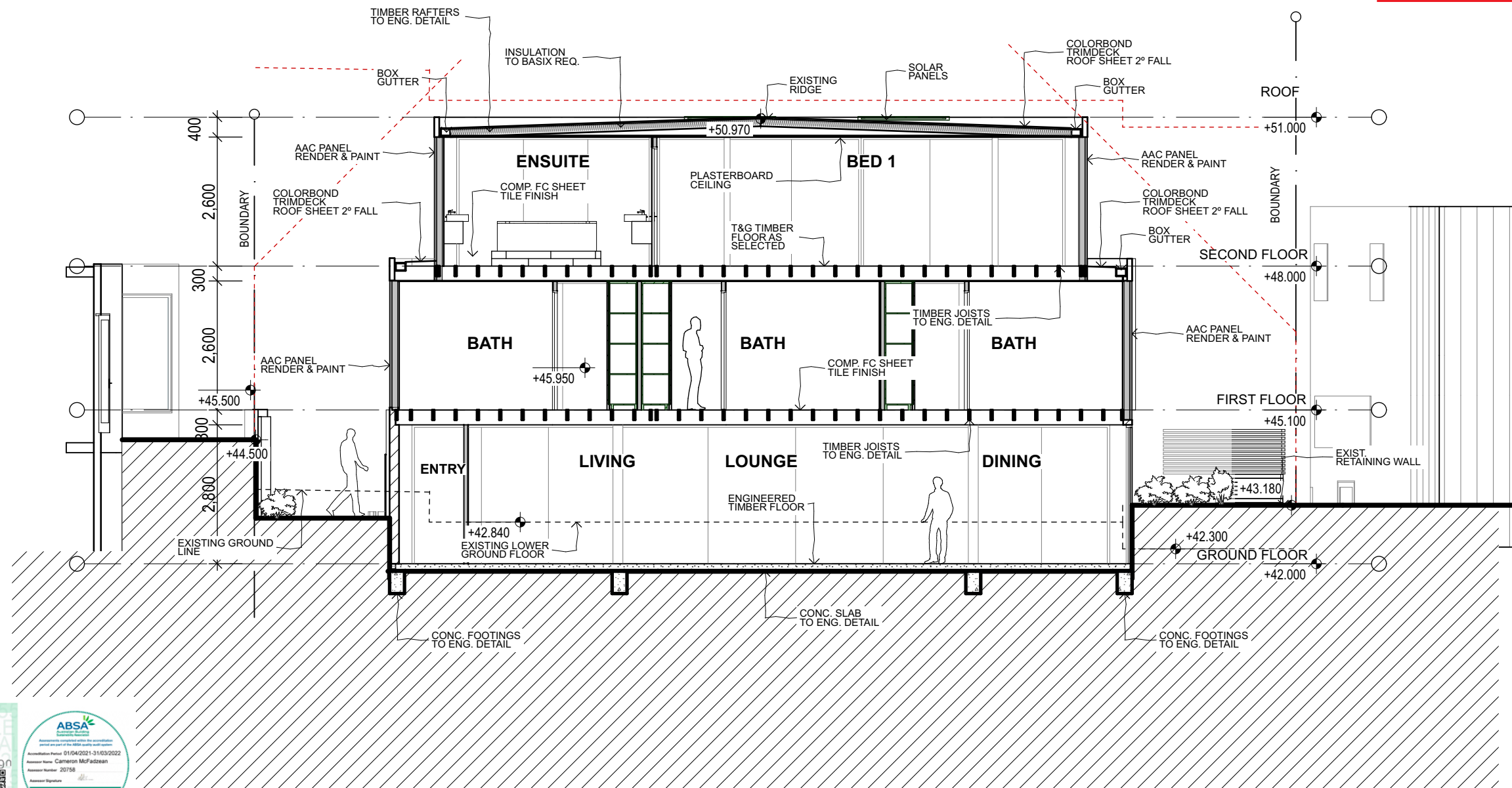
ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 &
SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONCEPTUAL DEVELOPMENT
CONSENT**

**150 CONC. BLOCK / DINCCELL
TO ENG. DETAIL**

**180 AAC PANELS
WALL- RENDER & PAINT**



1

Section A:A

1:100

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 SECTION 3 & 7,
PLUS SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV DATE
A JULY 2021

AMENDMENT
SECTION 4.55 APPLICATION



Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SECTION A:A

SCALE
1:100@A3

PROJECT NO.
1232

DRAWN BY
GS


PLOT DATE
6/8/21

DRAWING NO.
MOD-11

REVISION
A

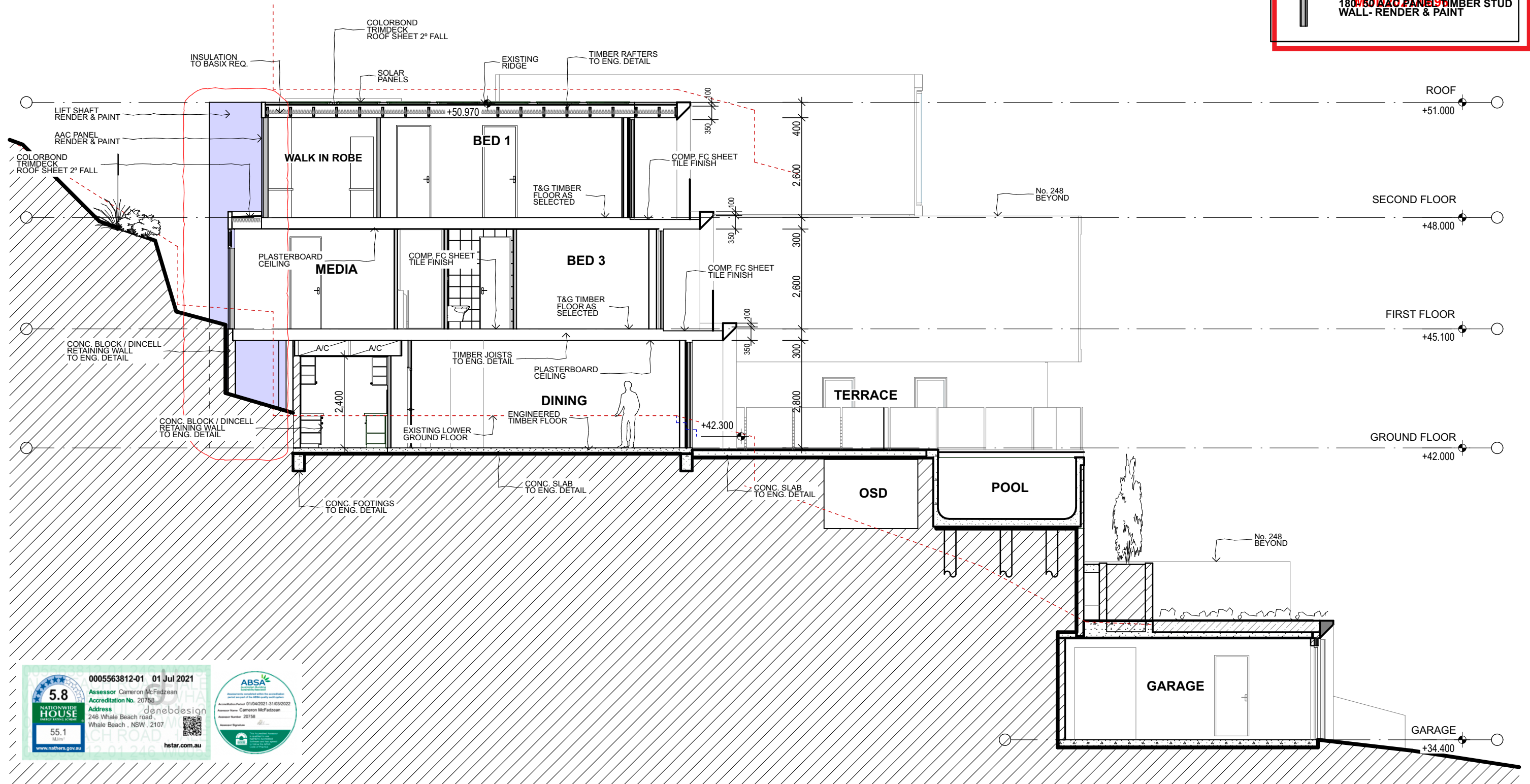
REFER TO INSULATION SPECIFICATION,
NATHERS CERTIFICATE AND BASIX CERTIFICATE

ALL CONSTRUCTION TO MEET BAL 29 & BAL 19 - AS 3959 -2018 &
SECTION 7.5 OF PLANNING FOR BUSHFIRE PROTECTION -2019.
REFER TO BUSHFIRE ASSESSMENT REPORT REF:210630 PREPARED
BY BUILDING CODE & BUSHFIRE HAZARD SOLUTIONS PTY LTD.

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE COMBUSTIBLE DEVELOPMENT
CONSENT**

**1800 AAC 2 PANE 1800
WALL- RENDER & PAINT**



1

Section B:B

1:100

NOTES
This drawing shall be read in conjunction with all other drawings and specifications for the project.
Any discrepancies shall be referred to the building designer for clarification before proceeding with work.
All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site.
Figured dimensions to be used rather than scaling.
All building work must be carried out in accordance with the National Construction Code (NCC) of Australia and all relevant Australian Standards.
CAD Ref: 246 Whale Beach Rd MOD02.pln
Grant Seghers Design

REV DATE AMENDMENT
A JULY 2021 SECTION 4.55 APPLICATION

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Bertucci Residence
246 Whale Beach Road
WHALE BEACH NSW 2107
Lot 211 DP 15376
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SECTION B:B

SCALE
1:100@A3

PROJECT NO.
1232

DRAWN BY
GS

PLOT DATE
6/8/21

DRAWING NO.
MOD-12

REVISION
A

NOTES:

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH THE
CONDITIONS OF DEVELOPMENT
CONSENT.
ALUMINIUM FRAMED WINDOWS
POWDERCOAT FINISH COLOUR TBA
MOD2021/0696

REFER TO
BASIX CERTIFICATE No.1163311S_02



INSULATION SPECIFICATION

External Wall - R1.7 added throughout, other than the garage

7.0 m² Concrete Block No Insulation
72.5 m² Concrete Block to earth No Insulation
204.1 m² AAC Cavity Panel Direct Fix Bulk Insulation R1.70
73.7 m² Concrete Block to earth Bulk Insulation R1.70
13.7 m² Concrete Block Bulk Insulation R1.70

Internal Wall – R1 added throughout other than the garage

10.8 m² Cavity wall, direct fix plasterboard, single gap No Insulation
257.1 m² Cavity wall, direct fix plasterboard, single gap Bulk Insulation, Air Gap R 1.0

External Floor – R1 added throughout other than the garage

73.4 m² Concrete Slab on Ground 100mm Bare No Insulation
147.4 m² Concrete Slab on Ground 100mm Cork Tiles or Parquetry 8mm Bulk Insulation in Contact with Floor R 1.0
38.4 m² Suspended Concrete Slab 150mm Cork Tiles or Parquetry 8mm Bulk Insulation in Contact with Floor R 1.0

External Ceiling – R4 added throughout

248.0 m² Plasterboard Bulk Insulation R4.0 Unventilated roofspace
11.2 m² Plasterboard No Insulation Unventilated roofspace, Garage

Internal Floor/Ceiling – no insulation

134.4 m² Concrete Above Plasterboard No Insulation
125.5 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area) – anti-con building blanket or equivalent

73.4 m² Concrete Bulk, Reflective Side Down, No Air Gap Above R 0.7 2° slope Skillion roof
185.8 m² Corrugated Iron Bulk, Reflective Side Down, No Air Gap Above R 0.7 2° slope Hip roof

BASIX - WINDOW SCHEDULE					Frame Type	Operation/ Notes
WIn/Door No.	Orientation	Width	Height	W/D opening (m2)		
W01	E	3400	2800	9.5	Aluminium - Powder-coated	Glass Front Door and Side Light
WD02	S	4150	2800	11.62	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD03	S	5760	2800	16.13	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD04	S	4150	2800	11.62	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide - Double Glazed
WD05	W	5200	2800	14.56	Aluminium - Powder-coated	4 panel Sliding Door. Slide/Slide/Slide/Slide
W06	E	1100	2500	2.75	Aluminium - Powder-coated	Fixed
WD07	S	4560	2600	11.91	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Slide
WD08	S	4940	2600	12.74	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD09	S	4560	2600	11.91	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
W10	W	1100	2500	2.75	Aluminium - Powder-coated	Fixed
W11	S	2200	2600	5.72	Aluminium - Powder-coated	Double Hung
W12	N	1800	500	0.9	Aluminium - Powder-coated	Opaque Fixed
W13	N	1800	500	0.9	Aluminium - Powder-coated	Fixed
W14	N	1800	500	0.9	Aluminium - Powder-coated	Fixed
W15	N	1800	2200	3.96	Aluminium - Powder-coated	Fixed
W16	E	1800	2200	3.96	Aluminium - Powder-coated	Fixed
WD17	S	3930	2600	10.22	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD18	S	4400	2600	11.44	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed
WD19	S	3930	2600	10.22	Aluminium - Powder-coated	Sliding Door. Slide/Slide/Fixed

Window – REFER TO SCHEDULE

154.0 m² ALM-004-03 A DEFAULTS Uval 4.30 SHGC 0.53
Glass Air Fill High Solar Gain low-E -Clear
Frame ALM-004 Aluminium Group B DG Air Fill

REFER TO Nationwide House Energy Rating Scheme (Nathers) CERTIFICATE
FOR THE SPECIFIC PERFORMANCE VALUES OF EACH WINDOW AND
EACH WALL, FLOOR, CEILING AND ROOF ELEMENTS.