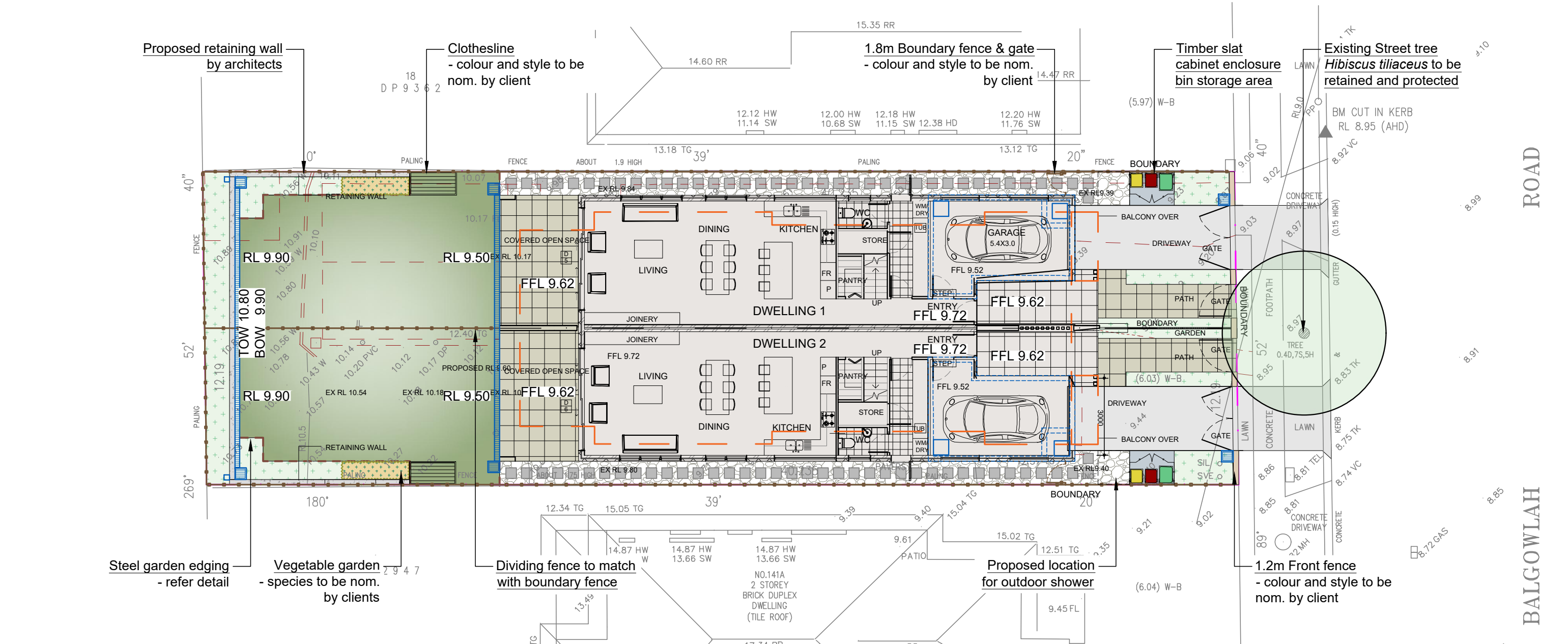




LOCATION PLAN

Scale: NTS



OTHER LANDSCAPE ITEMS

- Steel Garden Edging - refer detail
- Turf area - refer detail
- Stepping stones with pebbles in gaps - refer detail
- Vegetable garden - species to be nom. by clients
- Retaining / raised planter wall - refer detail
- 1.2m Front fence - colour and style to be nom. by client
- 1.8m Gate and fence - colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected

LANDSCAPE CALCULATIONS

SITE AREA: 490.4m²
(DENSITY SUB-ZONE 3)

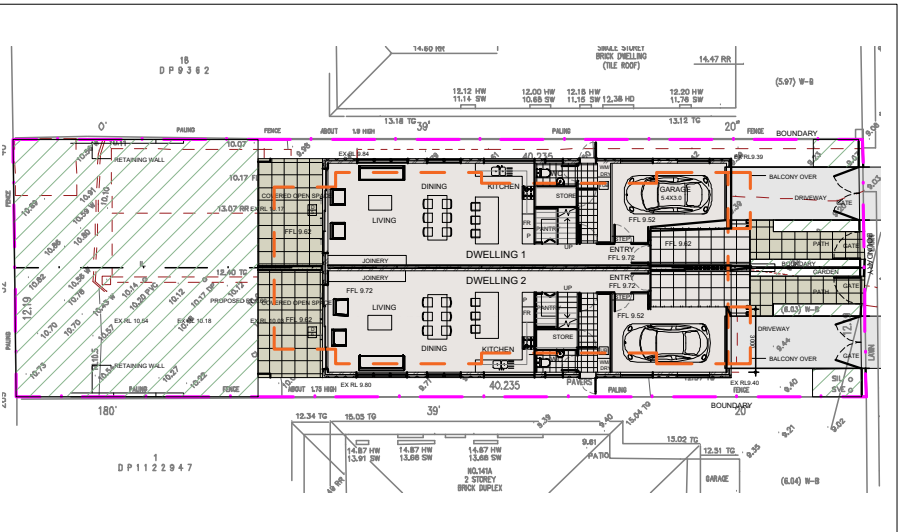
REQUIRED OPEN SPACE AREA: 268.6m² (55%)

PROPOSED OPEN SPACE AREA: 268.6m² (55%)

REQUIRED LANDSCAPE AREA: 94.01m²
(35% OF OPEN SPACE AREA)

PROPOSED LANDSCAPE AREA: 154.6m²
(COMPLIANT)

LANDSCAPE AREA INCLUDE IN CALCULATION:



General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONCEPT
(ABN: 75 623 405 630)
This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner.
If the status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Concept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.
These plans and associated IP remain the property of Sulphurcrest Enterprises (T/A Concept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.

AILA Associate
AILA 3741 are involved in the design and construction of your project.
DIAL 1100 BEFORE YOU DIG

SCALE:
Bar Scale
0 1 2 3 4 5m
1:150 @ A3

REV	DATE	NOTATION/AMENDMENT
A	30.7.2021	Preliminary plan prepared for review

COUNCIL: NORTHERN BEACHES
CLIENT: NONIE VANESS & PASA SAGLAM
ARCHITECT: SCOPE ARCHITECTS
STATUS / ISSUE: DA - ISSUE A

Conzept Landscape Architects
www.conzept.net.au
enquiries@conzept.net.au
Phone: 9922 5312
Suite 101, 506 Miller St
CAMMERAY NSW 2062

TITLE: HARDSCAPE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT
143 BALGOWLAH RD
BALGOWLAH

DWG.No: LPDA 22 - 031 / 1
DATE: JULY 2021
DRAWN: R.H
CHECKED: R.F

LEGEND & SCHEDULE

NOTES:
1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

Botanical Name: *Backhousia citriodora*
Common Name: Lemon myrtle (Native)
Pot size: 75Ltm
Mature H x S: 6m x 4m
Qty Required: 2

Botanical Name: *Plumeria acutifolia*
Common Name: Frangipani (Exotic)
Pot size: 75Lt
Mature H x S: 5m x 4m
Qty Required: 2

SHRUBS AND HEDGES

Botanical Name: *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 16

Botanical Name: *Viburnum odoratissimum*
Common Name: Sweet Viburnum (Exotic)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 2

Botanical Name: *Gardenia augusta 'Magnifica'*
Common Name: Gardenia (Exotic)
Pot size: 200mm
Mature H x S: 1.5-2m x 1m
Qty Required: 18

GRASSES / GROUNDCOVERS

Botanical Name: *Liriope muscari*
Common Name: Lily Turf (Exotic)
Pot size: 140mm
Mature H x S: 0.35m x 0.35m
Qty Required: 16

Botanical Name: *Trachelospermum Jasminoides*
Common Name: Star Jasmine (Exotic)
Pot size: 140mm
Mature H x S: 0.3m x 0.6m
Qty Required: 5/m2 (3.6m2 total)

SAMPLE IMAGES

Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



Backhousia citriodora



Plumeria acutifolia



Syzygium 'Resilience'



Viburnum odoratissimum



Gardenia augusta 'Magnifica'

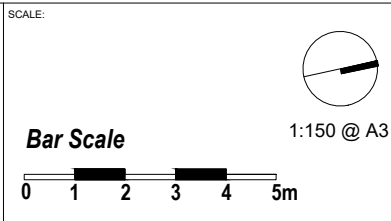


Liriope muscari



Trachelospermum jasminoides

General Notes:
Figured dimensions take precedence to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONCEPT
(ABN: 75 623 405 630)
This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner.
If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Concept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.
These plans and associated IP remain the property of Sulphurcrest Enterprises (T/A Concept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.

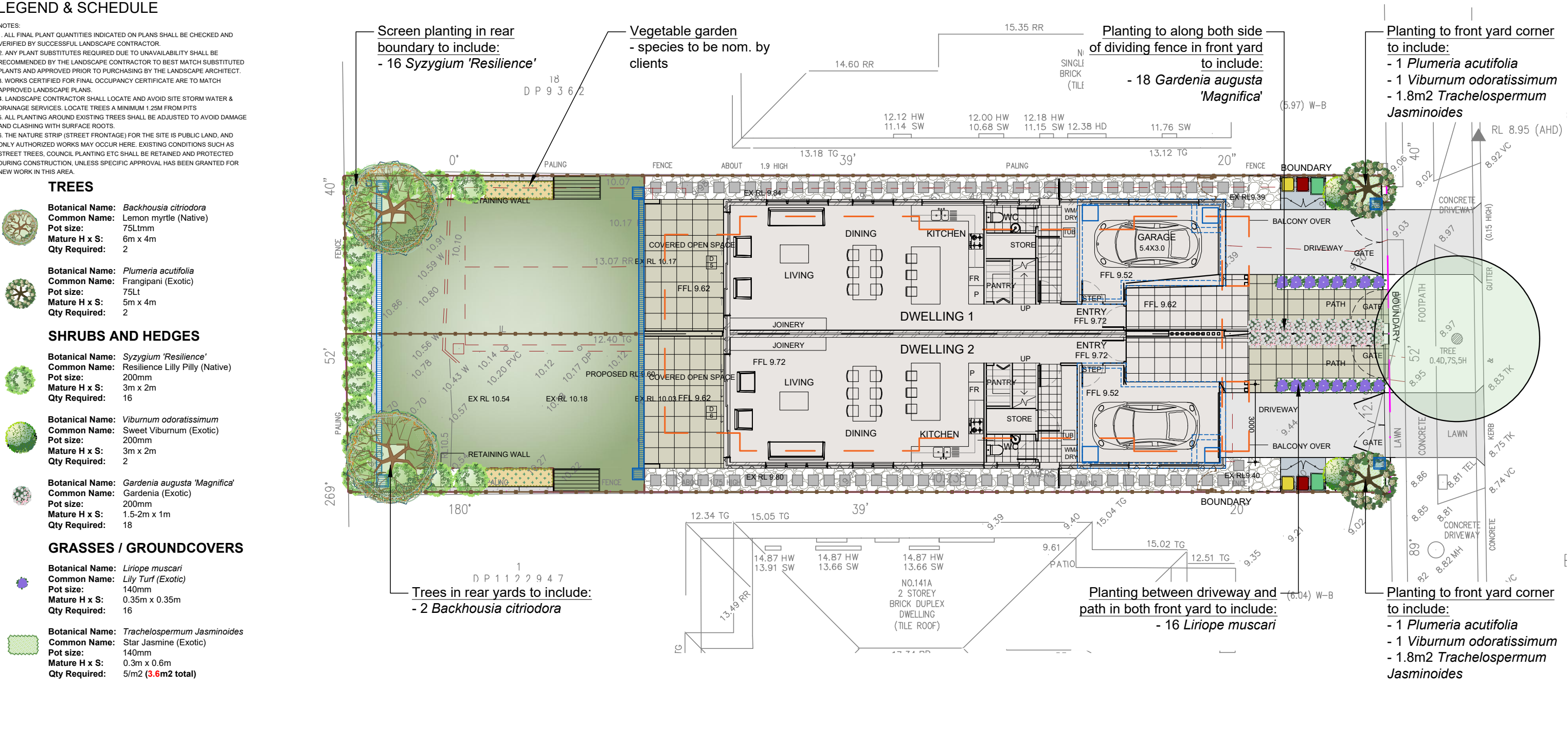


REV	DATE	NOTATION/AMENDMENT
A	30.7.2021	Preliminary plan prepared for review

COUNCIL	NORTHERN BEACHES
CLIENT	NONIE VANESS & PASA SAGLAM
ARCHITECT	SCOPE ARCHITECTS
STATUS / ISSUE	DA - ISSUE A



TITLE:	LANDSCAPE PLAN	DWG.No:	LPDA 22 - 031 / 2
		DATE:	JULY 2021
		DRAWN:	R.H
		CHECKED:	R.F



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

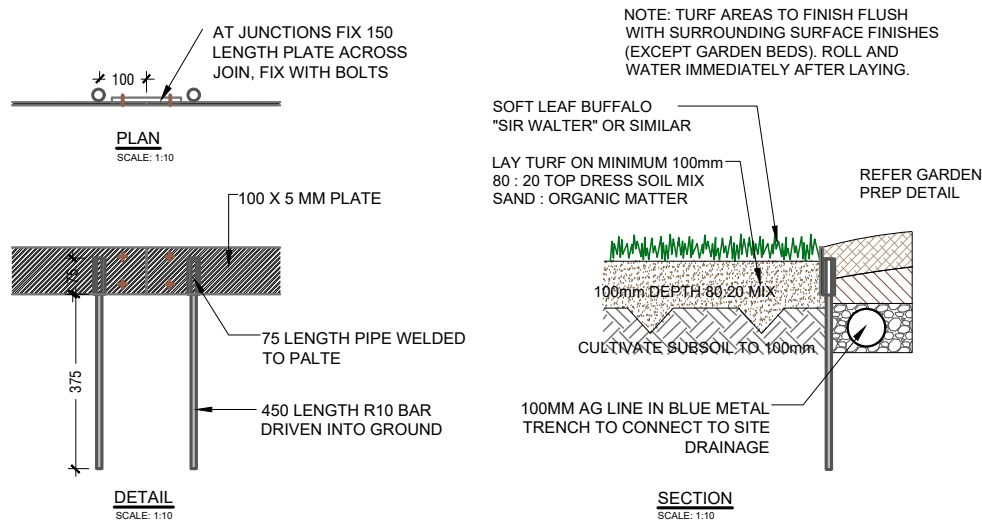
This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **NORTHERN BEACHES** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site

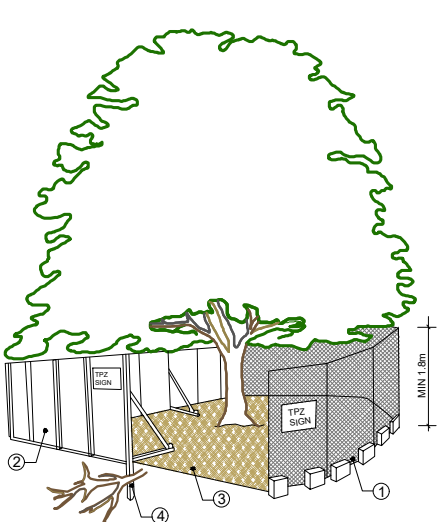
one-drip rated native plants (**acceptable for BASIX planting**).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

NORTHERN BEACHES approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

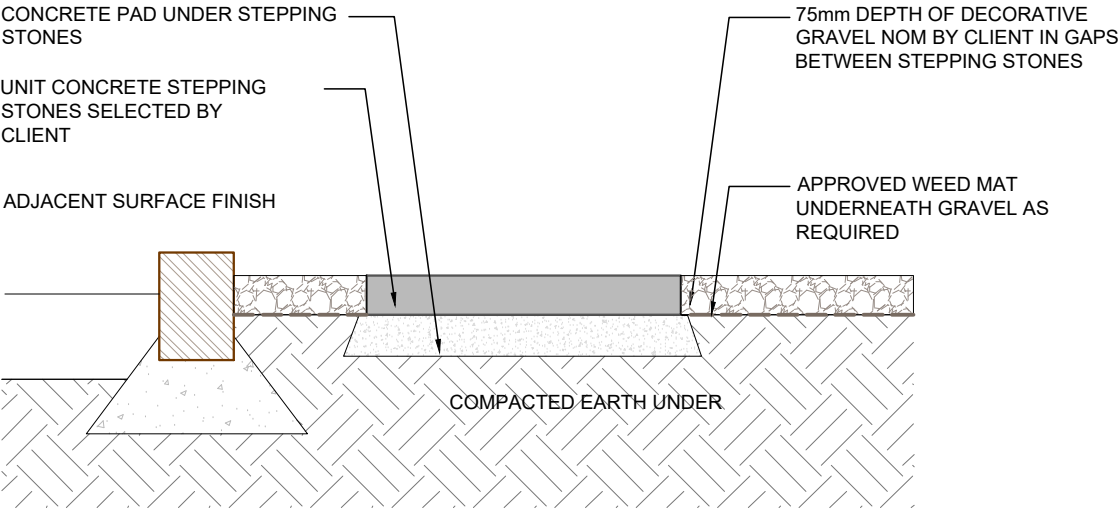


STEEL EDGE DETAIL
SCALE: 1:10

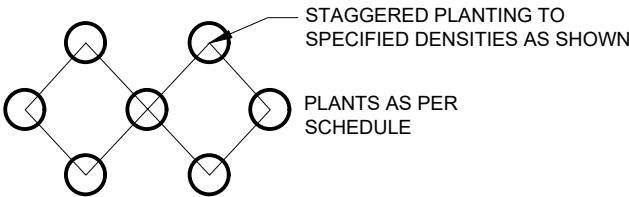


PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

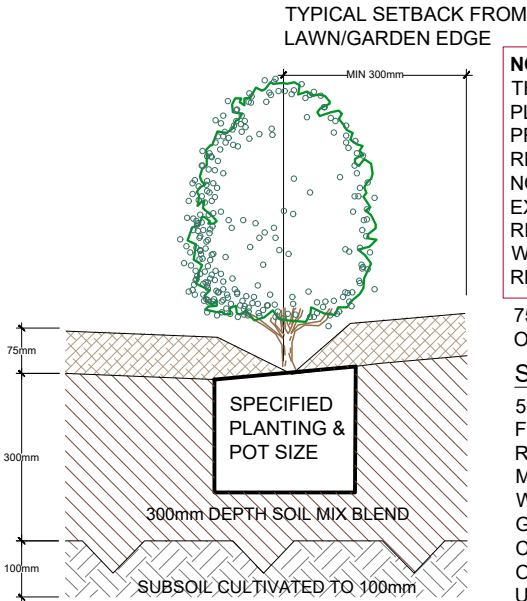
TREE PROTECTION ZONE
N.T.S



STEPPING STONES IN GRAVEL
SCALE 1:10

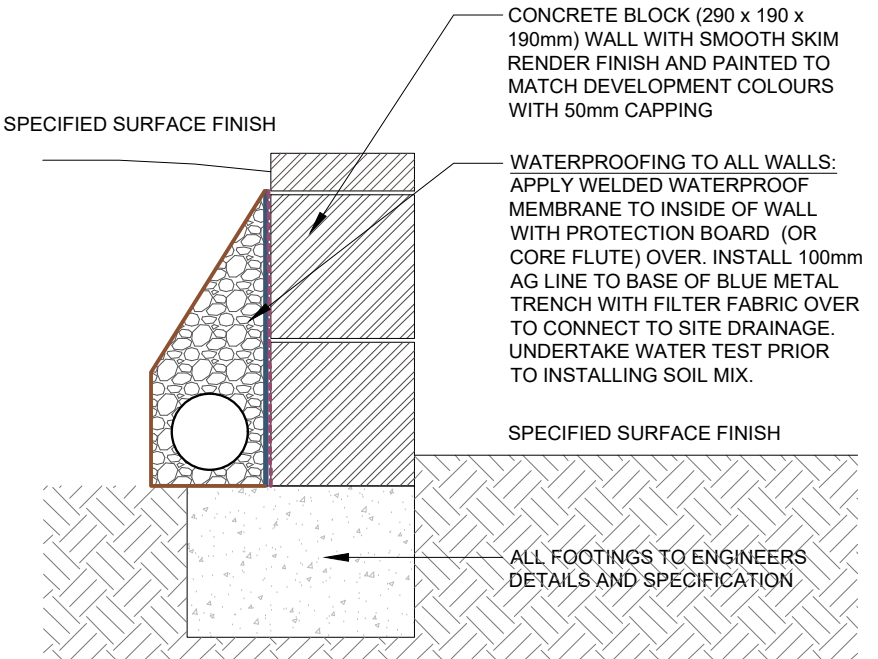


MASS PLANTING SETOUT
N.T.S



TYPICAL GARDEN PREPARATION DETAIL
SCALE 1:10

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



TYPICAL RETAINING WALL DETAIL
SCALE 1:10

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
Copyright Sulphurest Enterprises Pty Ltd Trading as CONZEPT
(ABN: 75 623 405 630)
This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner.
If the Status of this drawing is not signed off For Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Concept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.
These plans and associated IP remain the property of Sulphurest Enterprises (T/A Concept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.



SCALE:

AS SHOWN @ A3

REV	DATE	NOTATION/AMENDMENT
A	30.7.2021	Preliminary plan prepared for review

COUNCIL	NORTHERN BEACHES
CLIENT	NONIE VANESS & PASA SAGLAM
ARCHITECT	SCOPE ARCHITECTS
STATUS / ISSUE	DA - ISSUE A



TITLE:	DETAILS
	PROPOSED RESIDENTIAL DEVELOPMENT
	143 BALGOWLAH RD BALGOWLAH

DWG.No:	LPDA 22 - 031 / 3
DATE:	JULY 2021
DRAWN:	R.H
CHECKED:	R.F

