



Application for Building Certificate
Environmental Planning & Assessment Act, 1979 (as amended)
Section 149A, B, C, D



Effective from 1/7/15 till 30/6/16

Office Use – BC No: BC0025/16

Please Note: Details provided on this form and documents provided will be made public both at Councils Office and via Application Tracking on Councils website. The information will be kept by Council and will be disposed of in accordance with the Local Government Disposal Authority. You are entitled to review your personal information at any time by contacting Council.

Property Description	
Number: <u>26a</u>	Street: <u>Hudson Pde.</u>
Suburb: <u>Clareville</u>	
Lot: <u>1</u>	DP: <u>1186229</u>
Applicant	
Applicants Name: <u>Thomas Luedecke</u>	
Postal Address: <u>PO Box 712</u>	
Suburb: <u>AVALON</u>	Postcode: <u>2107</u>
Phone () _____	Daytime Contact No () _____
Mobile () <u>0404 474 075</u>	Fax () _____
Email: <u>tom @ Kazoo board.com</u>	
You can apply for a building Certificate if you are: (Please tick the appropriate box) ☐ I am the owner of the building ☒ I have the owners consent to lodge this application (see below) ☐ I am the purchaser under a contract for the sale of the property ☐ I am the owner's or purchasers solicitor or agent ☐ We are a public authority which has notified the owner of its intention to apply for the certificate	
Signature: <u>[Signature]</u>	Date: <u>2-12-15</u>
For access to the building please contact: <u>Tom Luedecke</u>	
Phone: _____	Mobile: <u>0404 474 075</u>

Accompanying Information to be submitted with Application		
Checklist	Documents Required	Office Use
✓	A detailed survey prepared by a Registered Surveyor clearly showing the location of the structures and/or works on the site. The date of the survey is irrelevant in so far as the information contained therein is still current.	
	Where the property is identified on either Pittwater Councils Geotechnical Risk Management Map 2003 and/or Pittwater Councils Coastal Hazard map 97-003 as being Bluff Management Areas A geotechnical Engineers report prepared in accordance with Councils Interim Geotechnical Risk management policy is to be provided, together with completed form 4 & 4a pursuant to that policy	
When this application relates to unapproved structures or works the following information is required:		
	A detailed survey prepared by a Registered Surveyor clearly showing the site & location of the structures on the property and any nearby structures on adjacent properties together with floor levels, finish surface levels and the like. (A detail and contour survey as required to accompany Development Applications as outlined on Councils Development Application form will satisfy this requirement).	✓
	1 set of Works as constructed plans. These plans should be prepared by a suitably qualified professional e.g. Architect/Draftsman and clearly annotate the unapproved structures and/or works as to their compliance with the relevant Council Development controls.	✓
	12 x A4 reduced copies of works as constructed plans for neighbour notification.	N/A
	Certification as to the structural and/or Geotechnical adequacy of the structures and/or works as built. All built structures will require certification as to their structural integrity by a qualified Structural Engineer, all earthworks and foundations will require certification by a qualified & experienced Geotechnical Engineer as to their adequacy.	✓
	Certificate by an appropriately qualified person that the structures and/or works comply with the Building Code of Australia and appropriate Australian Standards.	✓
	Council may require additional information to enable appropriate assessment and determination of the Building Certificate.	N/A
Office Use		
Receipt No: <u>393136</u> Date: <u>15/3/2016</u>		

Privacy and Personal Information Protection Notice

This information is provided under the Environmental Planning & Assessment Act 1979 voluntarily by the applicant and is collected for the assessment of the application. Failure to provide this information will prevent Council processing your application and may lead to your application being rejected. This information is intended only for Officers of Pittwater Council and will be stored in accordance with Pittwater Council's compliant Records Management System (ECM) and the State Records Act 1998 (NSW). This information may be accessed by Council Officers or by requests under the Government Information (Public Access) Act 2009 (NSW). You have a right to access your personal information under the Privacy and Personal Information Protection Act 1998 (NSW) by application to Pittwater Council and to have that information updated or corrected.

Owners Consent

Owner/s Name/s: Airick Graveline

Postal Address: PO Box 712

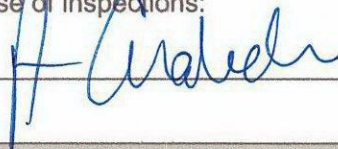
Suburb: Avalon

Postcode: 2107

Phone () _____ Mobile () 0430 126 266

Email: Airick @ kazooboard.com

I/We consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections:

Signature: 

Certificate Type

☐ Whole Property

☐ Whole Building i.e: _____

☐ Part Building i.e _____

☐ Pool , Fencing & Access _____

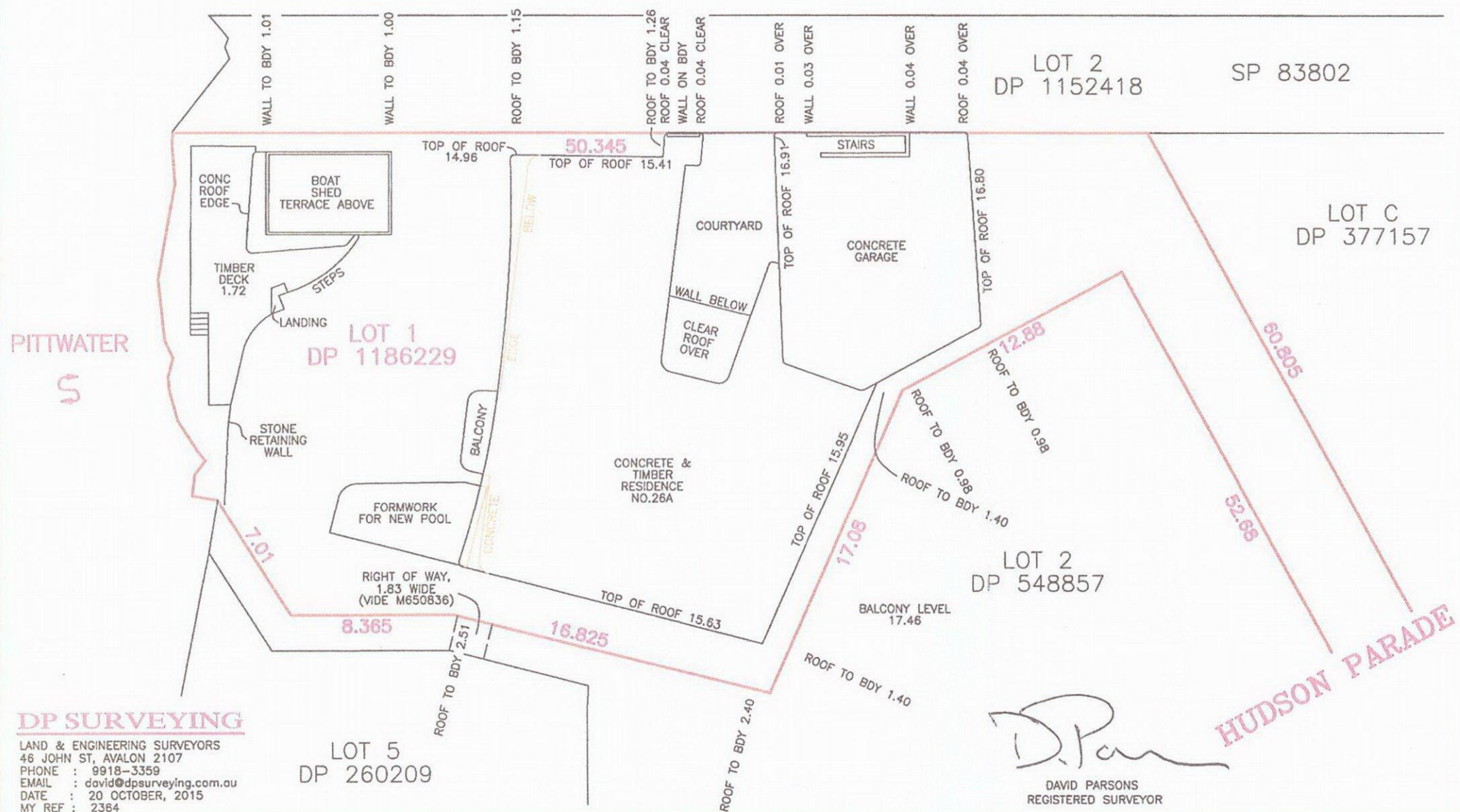
☒ Unauthorised works deck at waterfront (see S96 mod. Approval No 264/13/324)

Processing Fees

Fee Description	Detail	Code	Fee
Class 1 & 10 (& class 2 buildings with only 2 dwellings)	\$250	FHEA	
Class 2-9 buildings - floor area less than 200m ²	\$250	FHEA	
Class 2-9 buildings - floor area > 200m ² to 2000 m ²	\$250 + \$0.50 per m ² > 200 m ²	FHEA	
Class 2-9 buildings - floor area > 2000m ²	\$1165 + \$0.75 per m ² > 2000 m ²	FHEA	
For unauthorised works, one of the above certificate fees will apply in addition to the following:			
Development Application, Construction Certificate and Notification fees OR CDC fees apply based on the cost of works	\$860	FHEA	
Notification (required for unapproved works)	\$270	TADV	
Notification Sign (required for unapproved works)	\$40	NOPD	

PLAN
OF
NEW RESIDENCE
AT
CLAREVILLE

LOT 6
DP 3632



DP SURVEYING
LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON 2107
PHONE : 9918-3359
EMAIL : david@dpsurveying.com.au
DATE : 20 OCTOBER, 2015
MY REF : 2384

D. Parsons
DAVID PARSONS
REGISTERED SURVEYOR

9 December, 2015

Tom Luedecke
PO Box 712
Avalon NSW 2107

Dear Tom,

RE: GEOTECHNICAL ASSESSMENT: SECTION 96 APPLICATION - 26A HUDSON PARADE, AVALON, NSW.

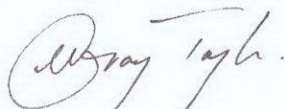
This letter refers to the Section 96 application to replace the waterfront grass terrace with a ground level timber deck that cantilevers over the stone seawall.

Subject to the design and construction for the new deck being undertaken in accordance with our previous geotechnical report (REF: P1203455JR01V01 dated July 2012) and expected coastal conditions (i.e. wave run up and swash, tidal influences, coastal erosion, etc.) we confirm that no amended geotechnical assessment for the site is required.

If you have any queries please do not hesitate to contact our office.

For and on behalf of

MARTENS & ASSOCIATES PTY LTD



GRAY TAYLOR

Project Manager / Environmental Engineer

World Class Sustainable Engineering Solutions

Environmental

EIS & REF
Streams & rivers
Coastal
Groundwater
Catchments
Bushfire
Monitoring

Geotechnics

Foundations
Geotechnical survey
Contamination
Hydrogeology
Mining
Terrain analysis
Waste management

Water

Supply & storage
Flooding
Stormwater & drainage
Wetlands
Water quality
Irrigation
Water sensitive design

Wastewater

Treatment
Re-use
Biosolids
Design
Management
Monitoring
Construction

Civil

Earthworks
Excavations
Pipelines
Roads
Pavements
Parking
Structures

Head Office

Suite 201, 20 George Street
Hornsby NSW 2077, Australia
Ph 02 9476 9999 Fax 02 9476 8767

> mail@martens.com.au

www.martens.com.au
MARTENS & ASSOCIATES P/L
ABN 85 070 240 890 ACN 070 240 890

Re: Deck at 26a Hudson Pde Clareville - waterfront

Date 2/12/2015

touchwood db
po box 712
avalon NSW 2107

Tom Luedecke
0404 474 075

abn 52 092 836 167
licence # 264462C

The construction of the waterfront deck meets the Building Code of Australia and appropriate Australian Standards.

Yours Sincerely

Tom Luedecke

Builders Licence # 57082S

9th Dec 2015

T. Luedecke & A. Graveline
26A Hudson Parade
Clareville
NSW 2107

**NEW RESIDENCE
26A HUDSON PARADE CLAREVILLE
STRUCTURAL WORKS CERTIFICATION
Job No 130103**

Barrenjoey Consulting Engineers Pty Ltd inspected the following components (during construction) of the recently completed residence at the above site address and are satisfied these works are adequate to withstand the loads likely to be imposed –

- Boatshed – foundations, ground floor slab and roof slab
- Residence – foundations, ground floor slab, first floor slab and roof slab
- Garage – foundations, ground floor slab and roof slab

Should further information regarding this matter be required please contact our office as outlined below.

Regards
BARRENJOEY CONSULTING ENGINEERS Pty Ltd



DEC 2015

Per
Lucas Molloy (Director)
BE CPEng NPER

PO Box 672
Avalon NSW 2107
P: 9918 6264 M: 0418 620 330
E: lucasbce@bigpond.com

PITTWATER

3-5 RIVERVIEW ROAD

1 RIVERVIEW
ROAD BOATSHED

nom. 18441

12665

9900

nom. 9444 setback

nom. 6095 access
corridor to boatshed



PITTSBURGH COUNCIL

APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

**THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.**

exg tree #7 to be removed

2%

garden

A HUDSON PARADE

roof garden

existing hedge

roof garden

26 HUDSON PARADE

24 HUDSON PARADE

Avalon
Sailing Club

access road for
Avalon Sailing Club

timber ramp



S96 Site Plan
1 : 250

139 PALMGROVE ROAD
AVALON BEACH NSW 2107

t: 02 9918 3843
f: 02 9918 3492
m: 0418 627 024

richard@richardcolearchitecture.com.au
www.richardcolearchitecture.com.au

reeminated architect Richard Cole B.Sc./Arch (Hons.) B.Arch.(Hons.) Reg. 746 6278

No.	Revision Description	Date
O	Section 96 Boatshed Access Deck	02-12-1

CLAREVILLE HOUSE

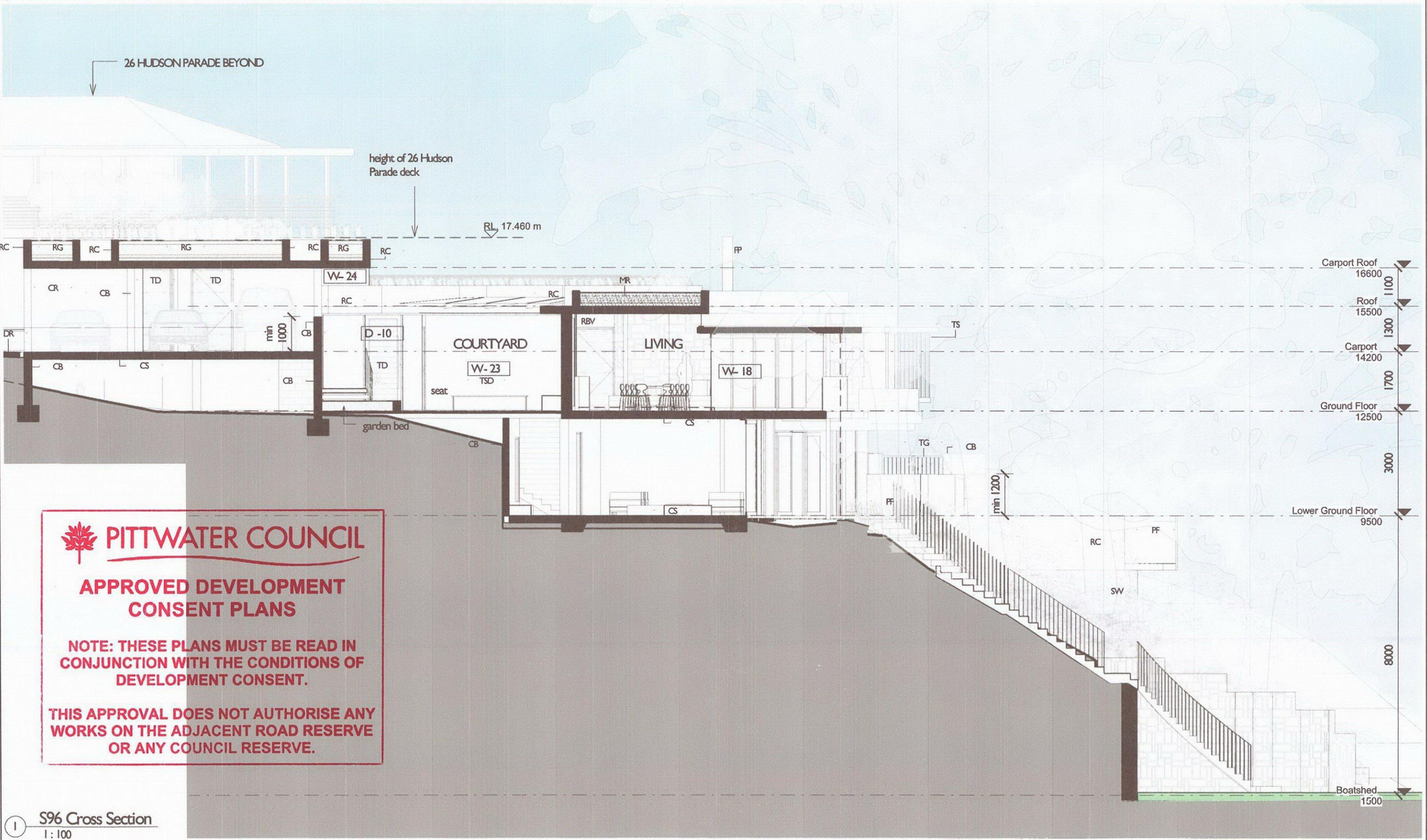
SECTION 96
26a HUDSON PARADE CLAREVILLE
NSW 2107

Anick Graveline

Site Plan

Project number	1112	Checked by	Checker
Date	2nd December 2015	Scale	1 : 250
Drawn by	Author		596 02

596 02



PITTWATER COUNCIL

**APPROVED DEVELOPMENT
CONSENT PLANS**

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S96 Cross Section
1:100

139 PALMGROVE ROAD
AVALON BEACH NSW 2107

t: 02 9918 3843
f: 02 9918 3492
m: 0418 627 024

richard@richardcolearchitecture.com.au
www.richardcolearchitecture.com.au

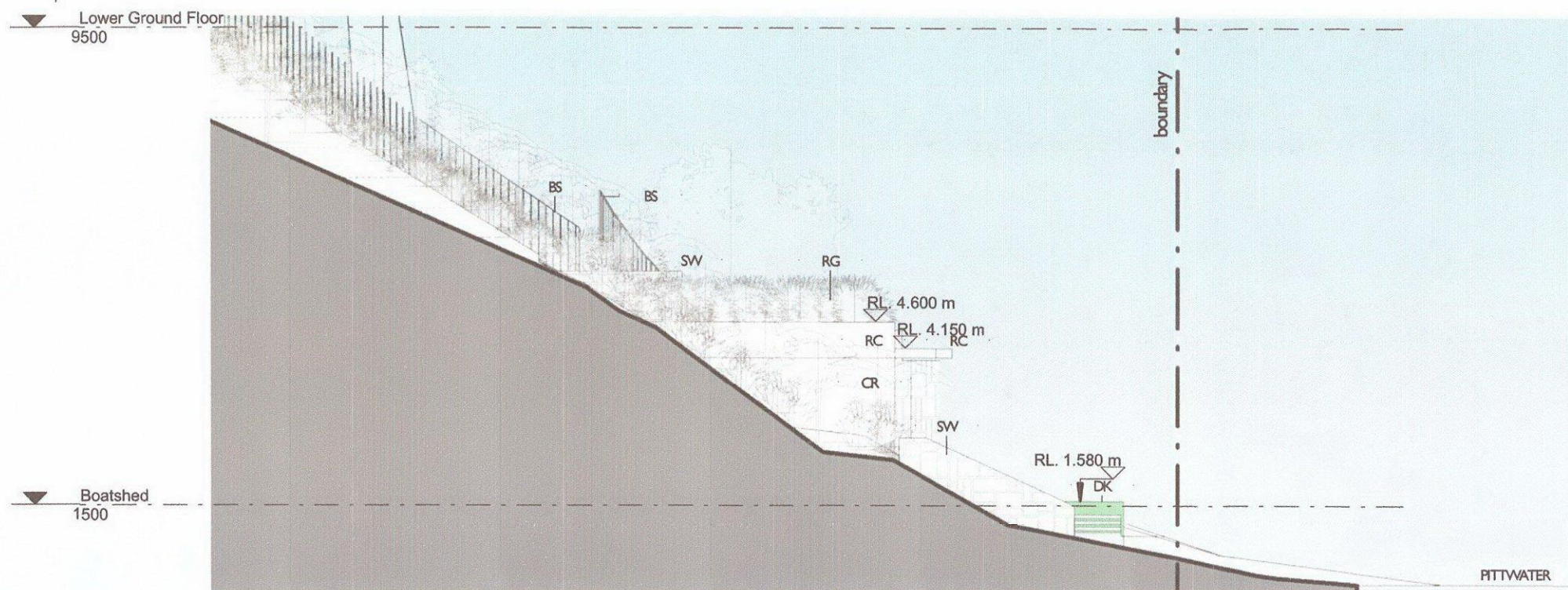
architects & interior designers
registered architects - Richard Cole & Associates Pty Ltd (ABN 61 611 111 111)
registered architects - Richard Cole & Associates Pty Ltd (ABN 61 611 111 111)

No.	Revision Description	Date
0	Section 96 Boatshed Access Deck	02-12-15

CLAREVILLE HOUSE
SECTION 96
26a HUDSON PARADE CLAREVILLE
NSW 2107
for
Anick Graveline

Cross Section

Project number	1112	Checked by	Checker
Date	2nd December 2015	Scale	1:100
Drawn by	Author		S96 06



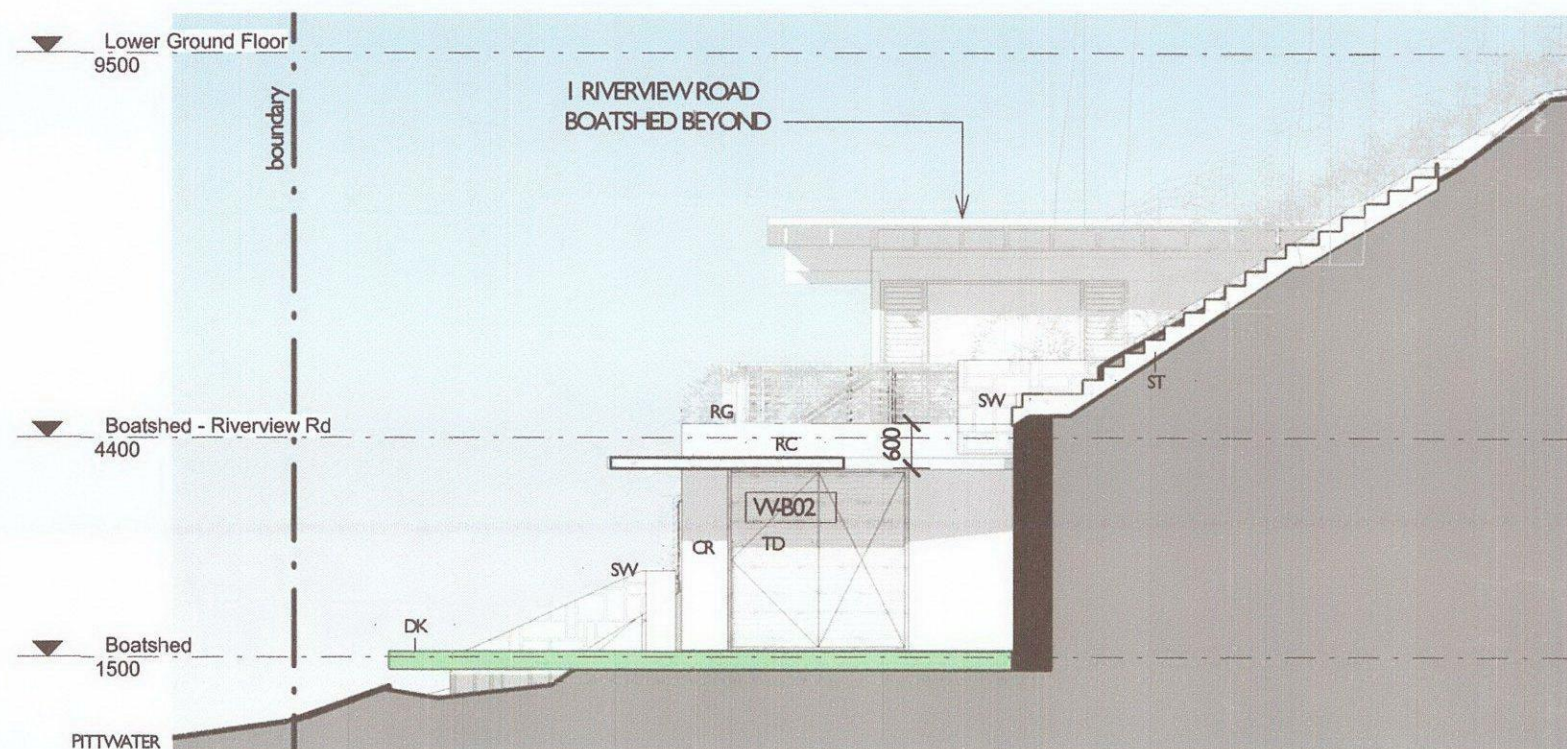
1 S96 Boatshed North Elevation
1:100



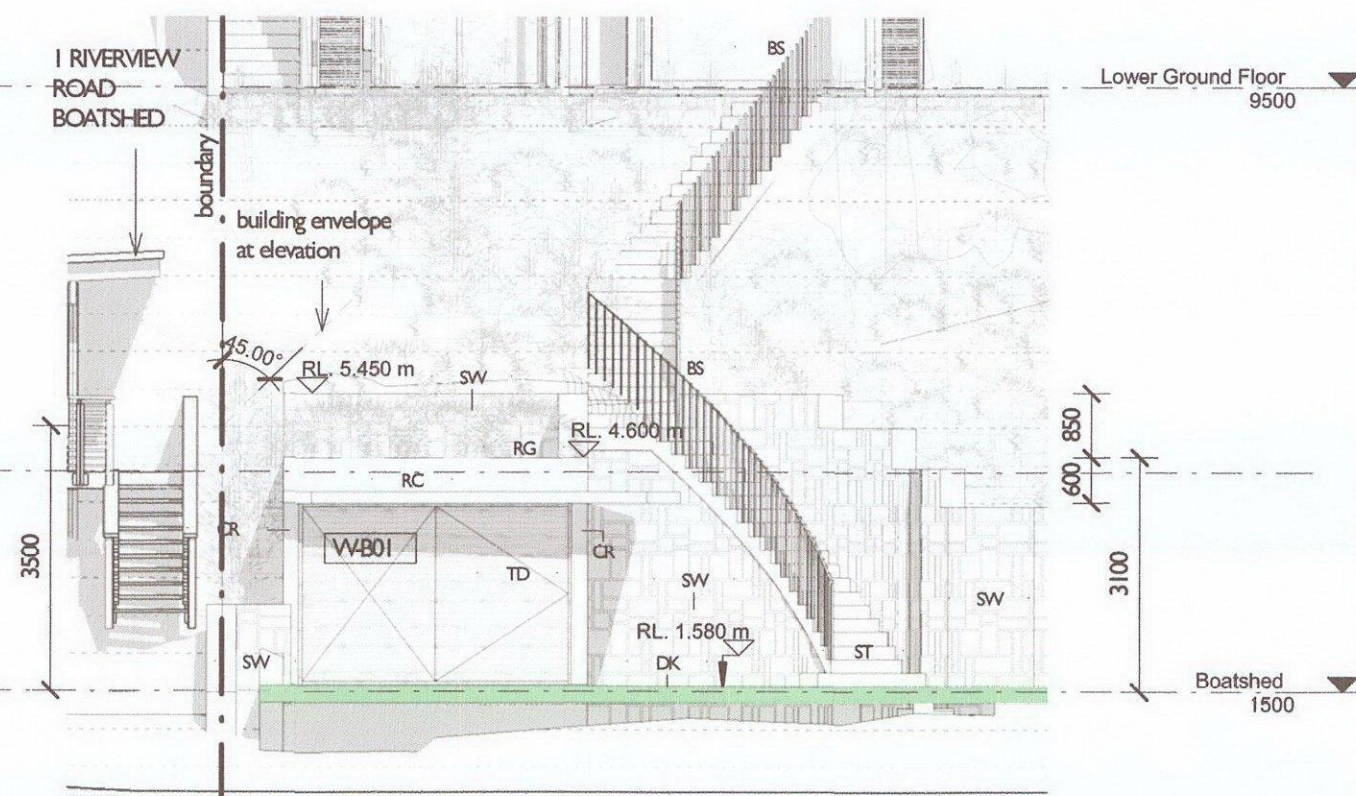
APPROVED DEVELOPMENT CONSENT PLANS

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2 S96 Boatshed South Elevation
1:100



3 S96 Boatshed West Elevation
1:100



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richard@richardcolearchitecture.com.au
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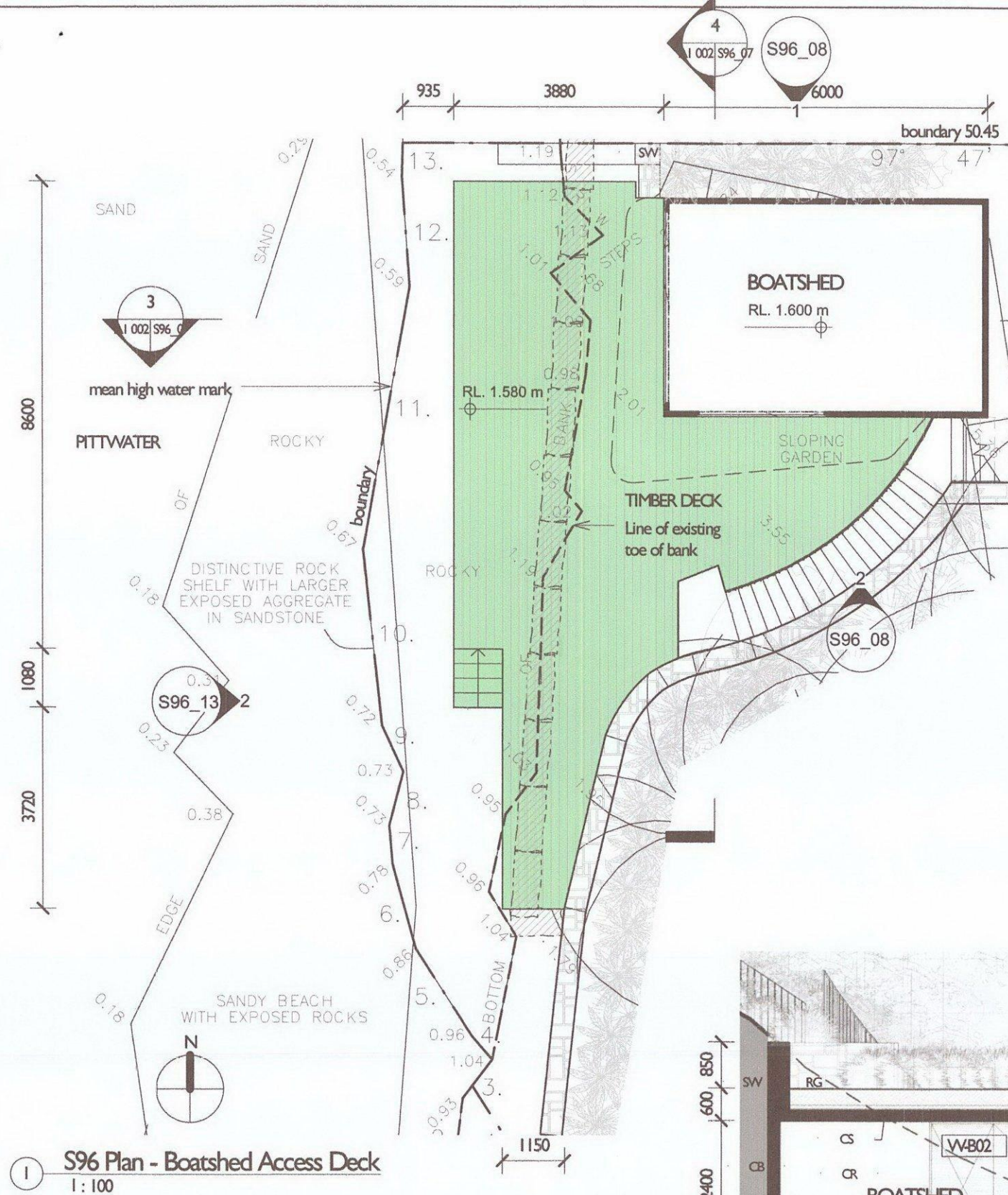
www.02 9918 4133 or 02 9918 4133
registered architect: Richard Cole B.S.A. (No. 118 4133) or 02 9918 4133

No.	Revision Description	Date
0	Section 96 Boatshed Access Deck	02-12-15

CLAREVILLE HOUSE
SECTION 96
26a HUDSON PARADE CLAREVILLE
NSW 2107
for
Anick Graveline

Boatshed Elevations

Project number	1112	Checked by	Checker
Date	2nd December 2015	Scale	1:100
Drawn by	Author		S96_08

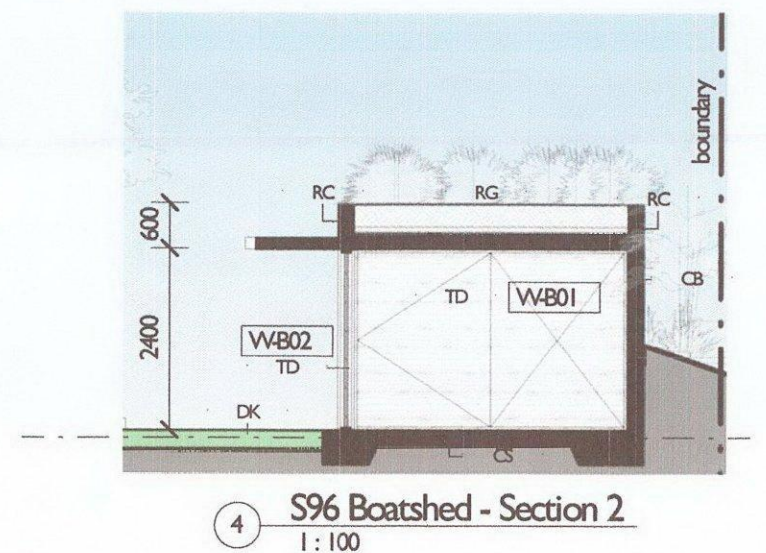
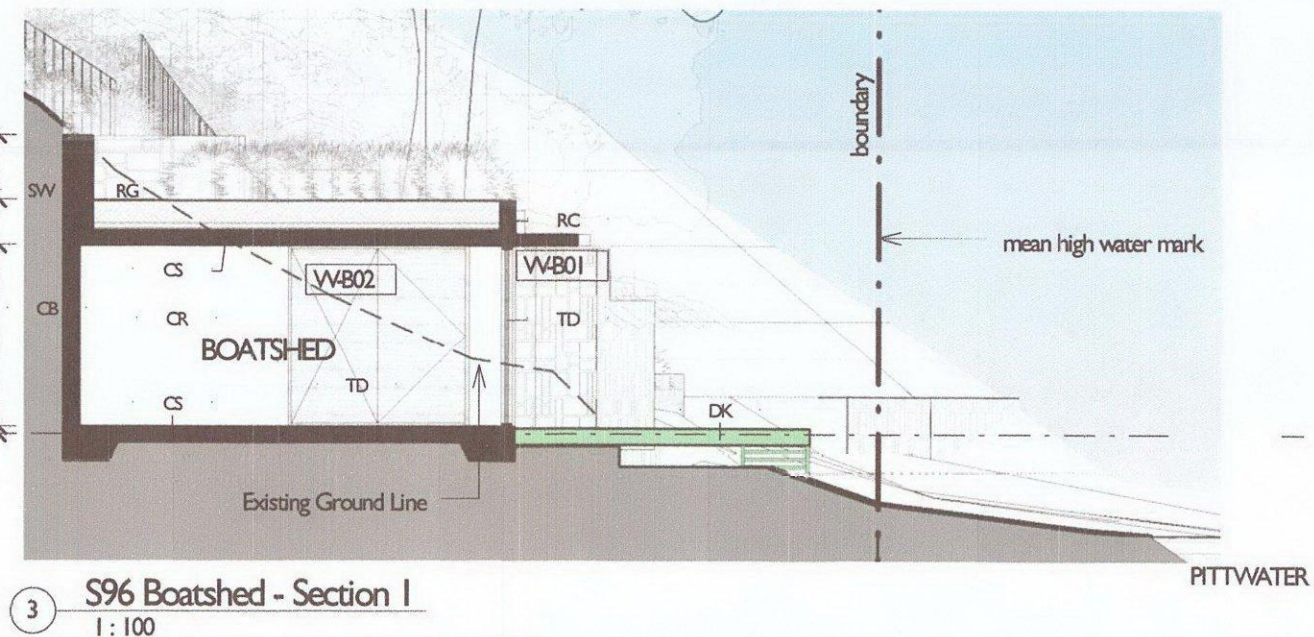
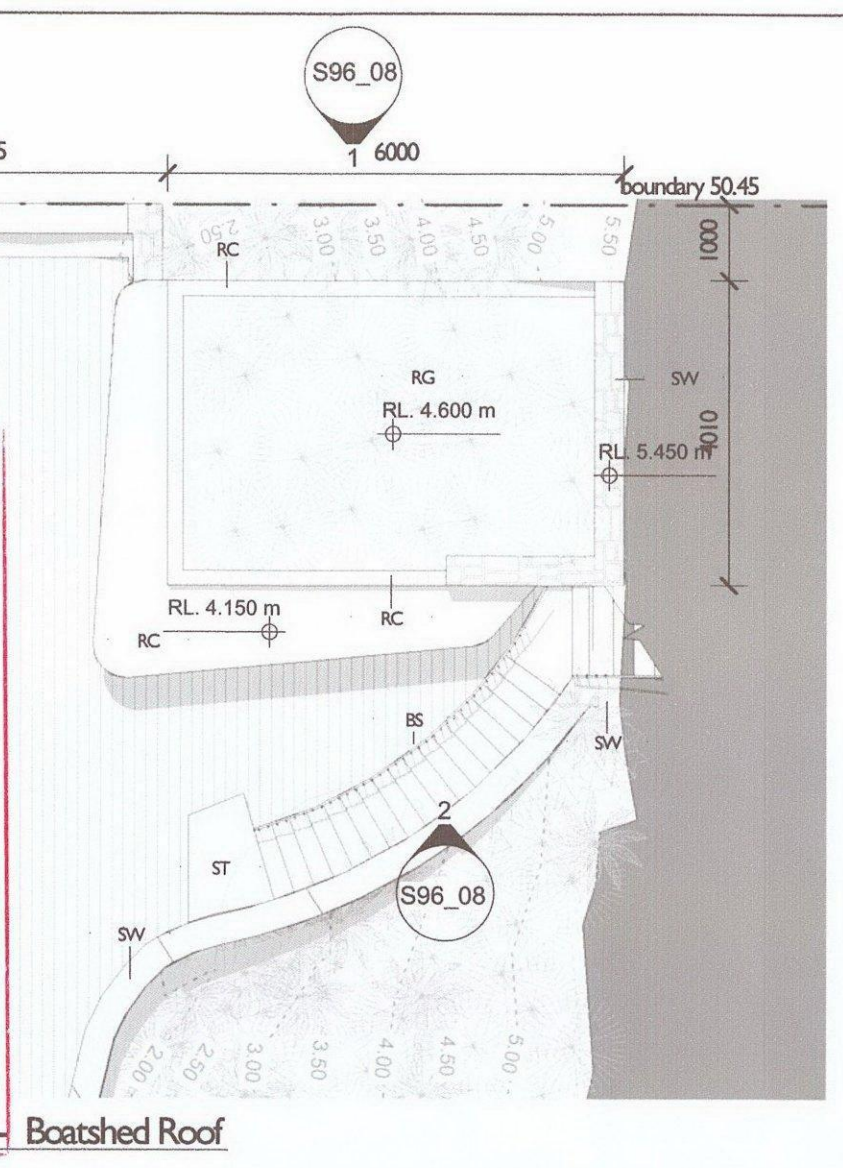


PITTWATER COUNCIL

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www.richardcolearchitecture.com.au

architects - richard cole & associates (pty) ltd
NSW 139 Palmgrove Road, Avalon Beach NSW 2107

No.	Revision Description	Date
0	Section 96 Boatshed Access Deck	02-12-15

CLAREVILLE HOUSE
SECTION 96
26a HUDSON PARADE CLAREVILLE
NSW 2107
for Anick Graveline

Boatshed Plans & Sections

Project number	1112	Checked by	Checker
Date	2nd December 2015	Scale	1:100
Drawn by	Author		S96_07