

14 September 2022



Timothy Hugh West
1/33 Avalon Parade
AVALON BEACH NSW 2107

Dear Sir/Madam

Application Number: Mod2022/0395
Address: Lot 17A DP 350345 , 42 Beatty Street, BALGOWLAH HEIGHTS
NSW 2093
Proposed Development: Modification of Development Consent DA2020/1263 granted for
Alterations and additions to a dwelling house

Please find attached the Notice of Determination for the above mentioned Application.

Please be advised that a copy of the Assessment Report associated with the application is available on Council's website at www.northernbeaches.nsw.gov.au

Please read your Notice of Determination carefully and the assessment report in the first instance.

If you have any further questions regarding this matter please contact the undersigned on 1300 434 434 or via email quoting the application number, address and description of works to council@northernbeaches.nsw.gov.au

Regards,



Adam Croft
Planner

NOTICE OF DETERMINATION

Application Number:	Mod2022/0395
Determination Type:	Modification of Development Consent

APPLICATION DETAILS

Applicant:	Timothy Hugh West
Land to be developed (Address):	Lot 17A DP 350345 , 42 Beatty Street BALGOWLAH HEIGHTS NSW 2093
Proposed Development:	Modification of Development Consent DA2020/1263 granted for Alterations and additions to a dwelling house

DETERMINATION - APPROVED

Made on (Date)	09/09/2022
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The request to modify the above-mentioned Development Consent has been approved as follows:

A. Add Condition No.1A - Modification of Consent - Approved Plans and supporting Documentation to read as follows:

The development must be carried out in compliance (except as amended by any other condition of consent) with the following:

a) Modification Approved Plans

Architectural Plans - Endorsed with Council's stamp		
Drawing No.	Dated	Prepared By
A01 Site & Roof Plan	Issue Q, 2 September 2022	THW Architects
A02 Level 1 Floorplan	Issue Q, 2 September 2022	THW Architects
A03 Level 2 Floorplan	Issue Q, 2 September 2022	THW Architects
A04 Level 3 Floorplan	Issue Q, 2 September 2022	THW Architects
A10 North Elevation	Issue Q, 2 September 2022	THW Architects
A11 South Elevation	Issue Q, 2 September 2022	THW Architects
A12 East Elevation	Issue Q, 2 September 2022	THW Architects
A13 West Elevation	Issue Q, 2 September 2022	THW Architects
A20 Section 1	Issue Q, 2 September 2022	THW Architects
A21 Section 2	Issue Q, 2 September 2022	THW Architects

Reports / Documentation – All recommendations and requirements contained within:		
Report No. / Page No. / Section No.	Dated	Prepared By
Bush Fire Hazard Assessment Report	Issue 3, 26 July 2022	The Fire Consultants

b) Any plans and / or documentation submitted to satisfy the Conditions of this consent.

c) The development is to be undertaken generally in accordance with the following:

Reason: To ensure the work is carried out in accordance with the determination of Council and approved plans.

B. Add Condition 9A. Aboriginal Heritage to read as follows:

9A. Aboriginal Heritage

If in undertaking excavations or works any Aboriginal site or object is, or is thought to have been found, all works are to cease immediately and the applicant is to contact the Aboriginal Heritage Officer for Northern Beaches Council, and the Cultural Heritage Division of the Department of Planning and Environment.

Any work to a site that is discovered to be the location of an Aboriginal object, within the meaning of the National Parks and Wildlife Act 1974, requires a permit from the Director of the Department of Planning and Environment.

Reason: Aboriginal Heritage Protection.

C. Delete Condition 7A. Privacy Screen to read as follows:

7A. DELETED

Important Information

This letter should therefore be read in conjunction with DA2020/1263 dated 26 February 2021 and Mod2021/0880 dated 16 March 2022.

Please note that on site works cannot proceed unless a Construction Certificate application for the modified proposal has been lodged with and approved by Council or an accredited certifier, and relevant conditions of the Development Application have been carried out.

Right to Review by the Council

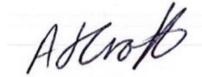
You may request Council to review this determination of the application under Division 8.2 of the Environmental Planning & Assessment Act 1979. Any Division 8.2 Review of Determination application must be lodged on the NSW Planning portal within 28 days of this determination, to enable the assessment and determination of the application within the 6 month timeframe.

Right of Appeal

Section 8.10 of the Environmental Planning and Assessment Act confers on an applicant who is not satisfied with the determination of the Consent Authority a right of appeal to the Land and Environment Court within 6 months of determination.

NOTE: A fee will apply for any request to review the determination.

Signed On behalf of the Consent Authority



Name Adam Croft, Planner

Date 09/09/2022