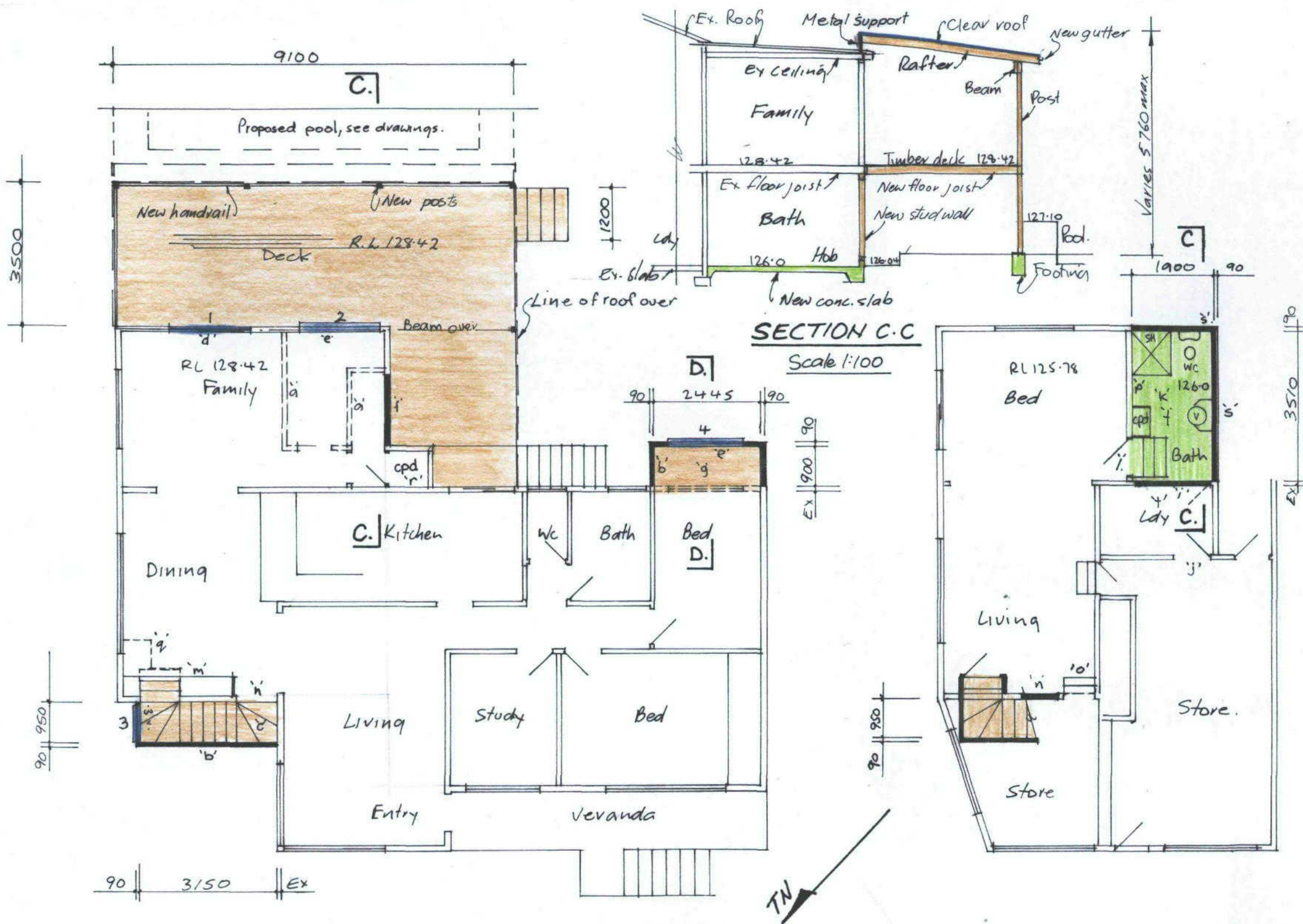
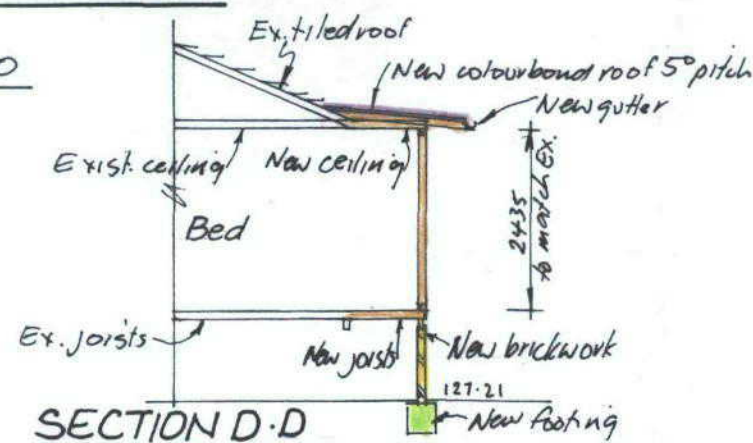




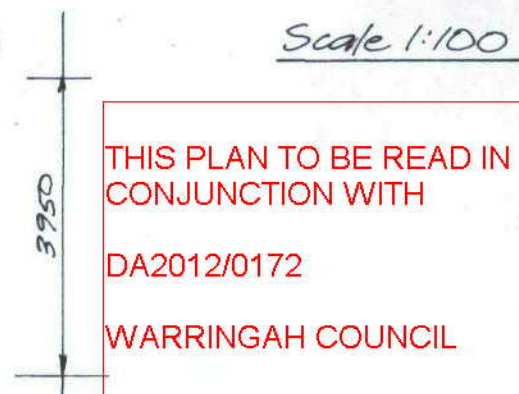
GROUND FLOOR PLAN

Scale 1:100

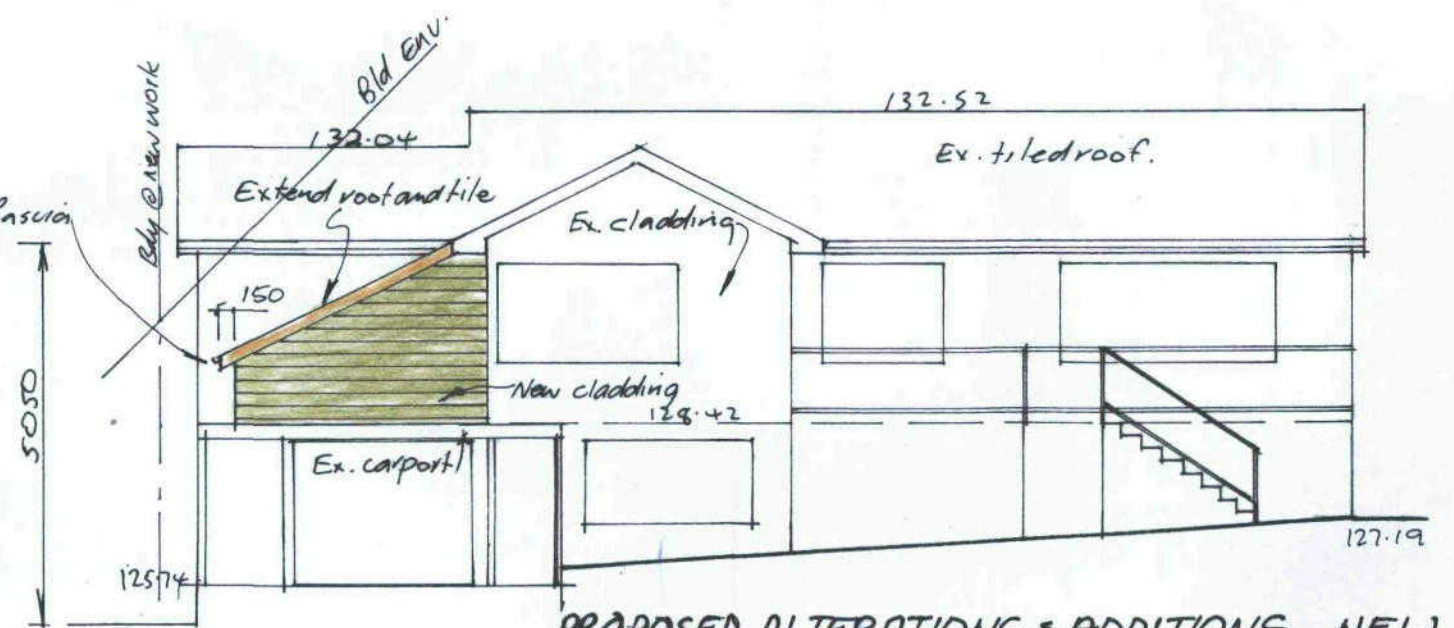
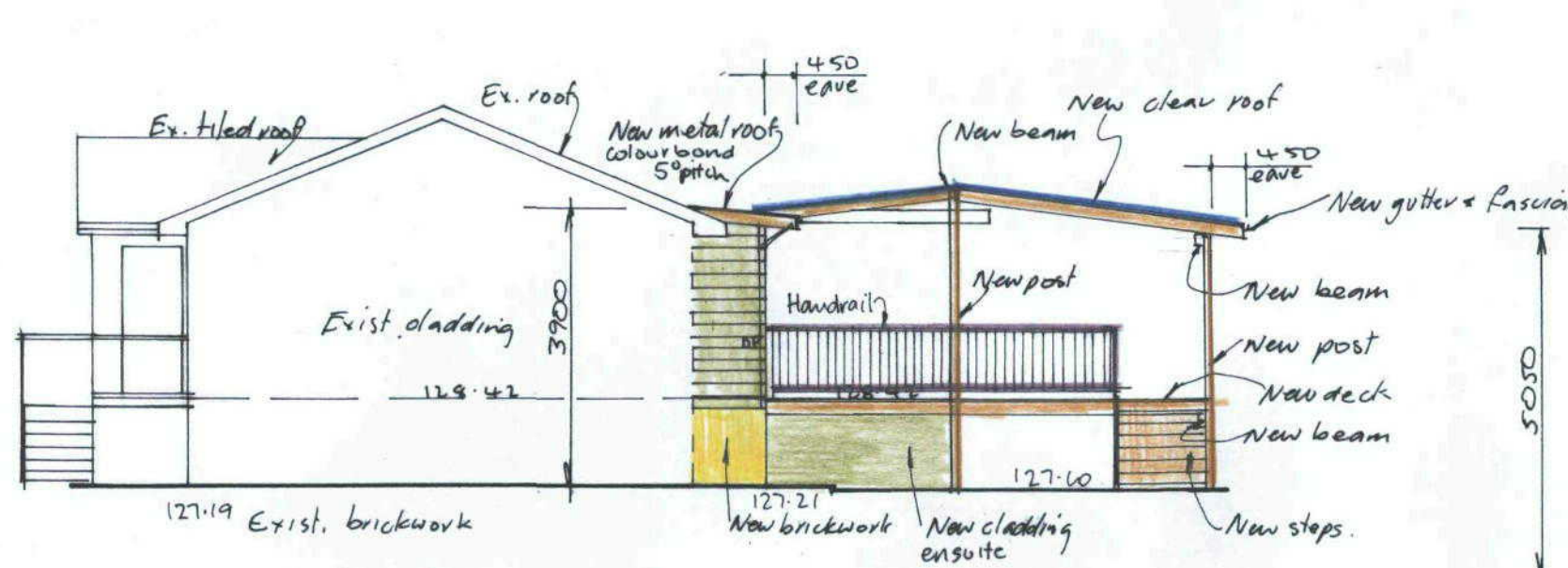
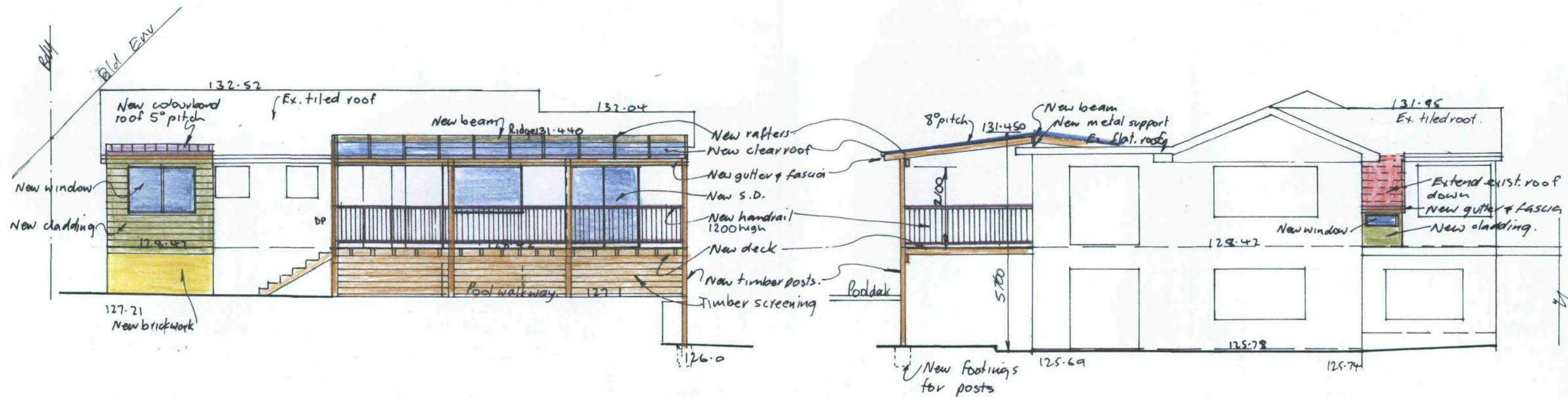


LOWER GROUND FLOOR PLAN

Scale 1:100



PROPOSED ALTERATIONS & ADDITIONS, NEW SWIMMING POOL AND COVERED DECK.
AT N°13 KARABAH PL. FRENCH'S FOREST
FOR MR. & MRS. ROSS-CLIFT.
FLOOR PLANS & SECTIONS.
Scale 1:100 Date 12.2.12 Drawn by R Conway
Phone: 99732343 Drawing N°12/2/1.



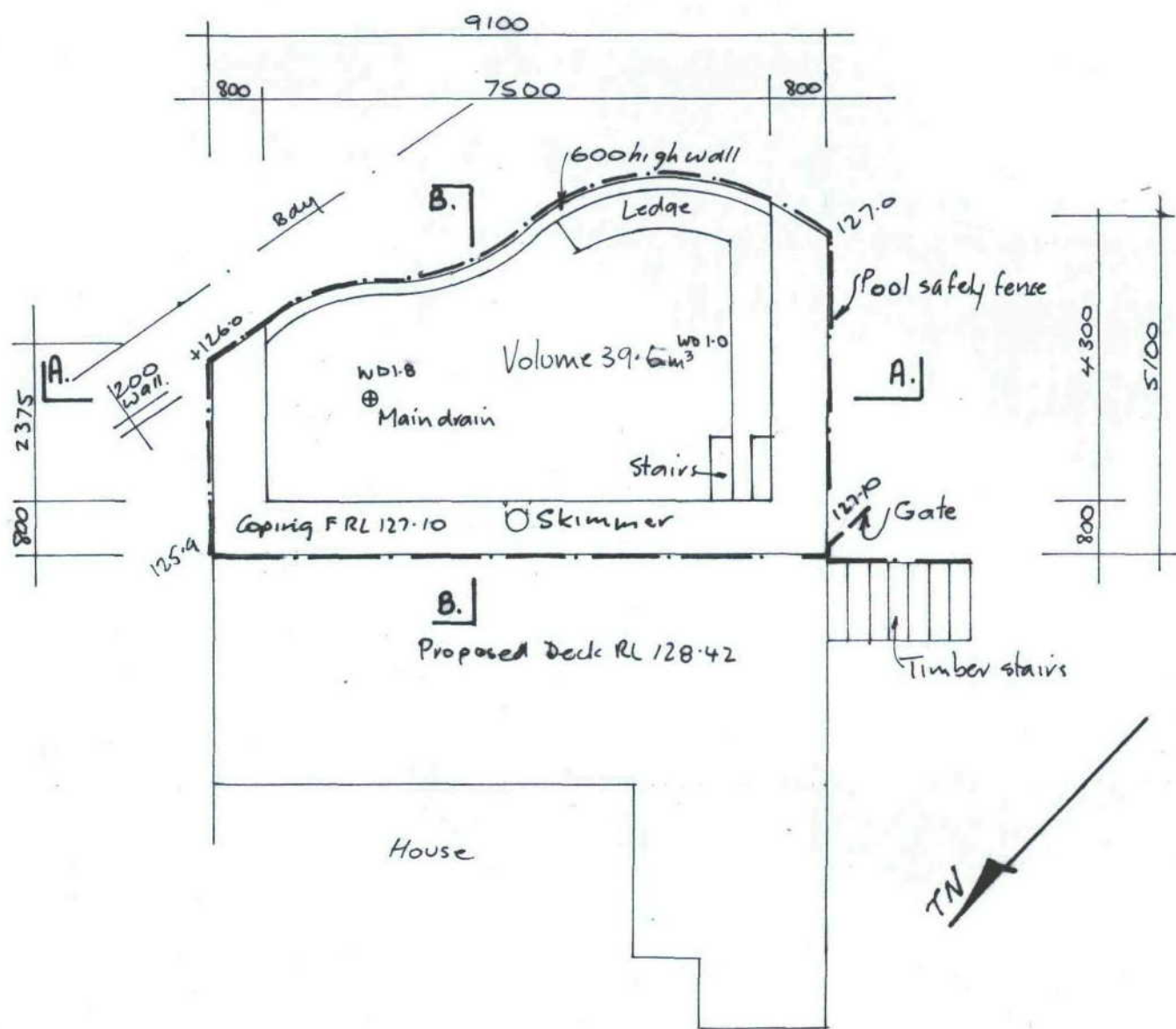
PROPOSED ALTERATIONS & ADDITIONS, NEW
SWIMMING POOL AND COVERED DECK
AT N°13 KARABAH PL. FRENCH'S FOREST
FOR MR. & MRS. ROSS-CLIFT
ELEVATIONS.

Scale 1:100 Date 12.2.12 Drawn by R Conway
Phone: 9973 2343 Drawing N° 12/2/2

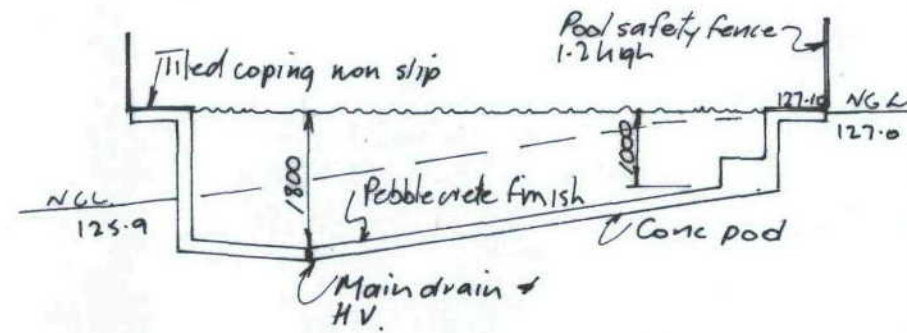
THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2012/0172

WARRINGAH COUNCIL

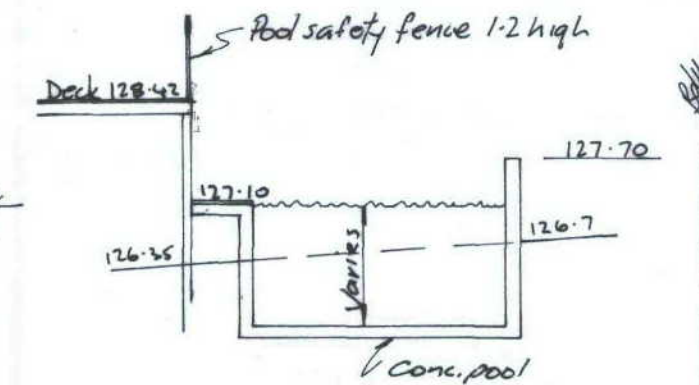


POOL PLAN
Scale 1:100



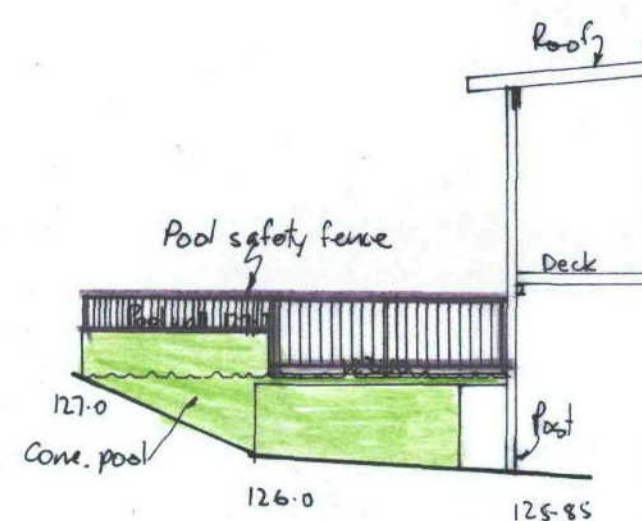
SECTION A-A

Scale 1:100



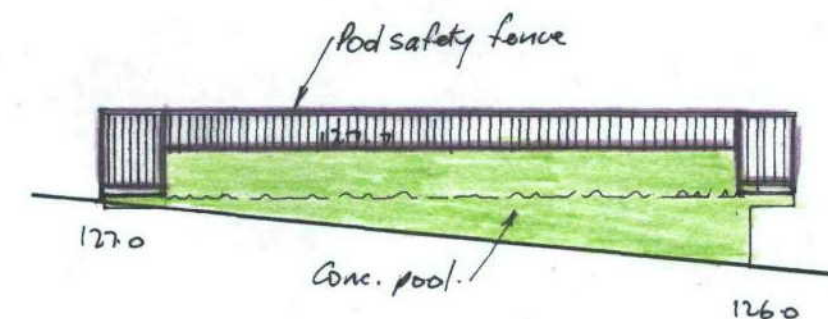
SECTION B-B

Scale 1:100



NORTH ELEVATION

Scale 1:100



EAST ELEVATION

Scale 1:100

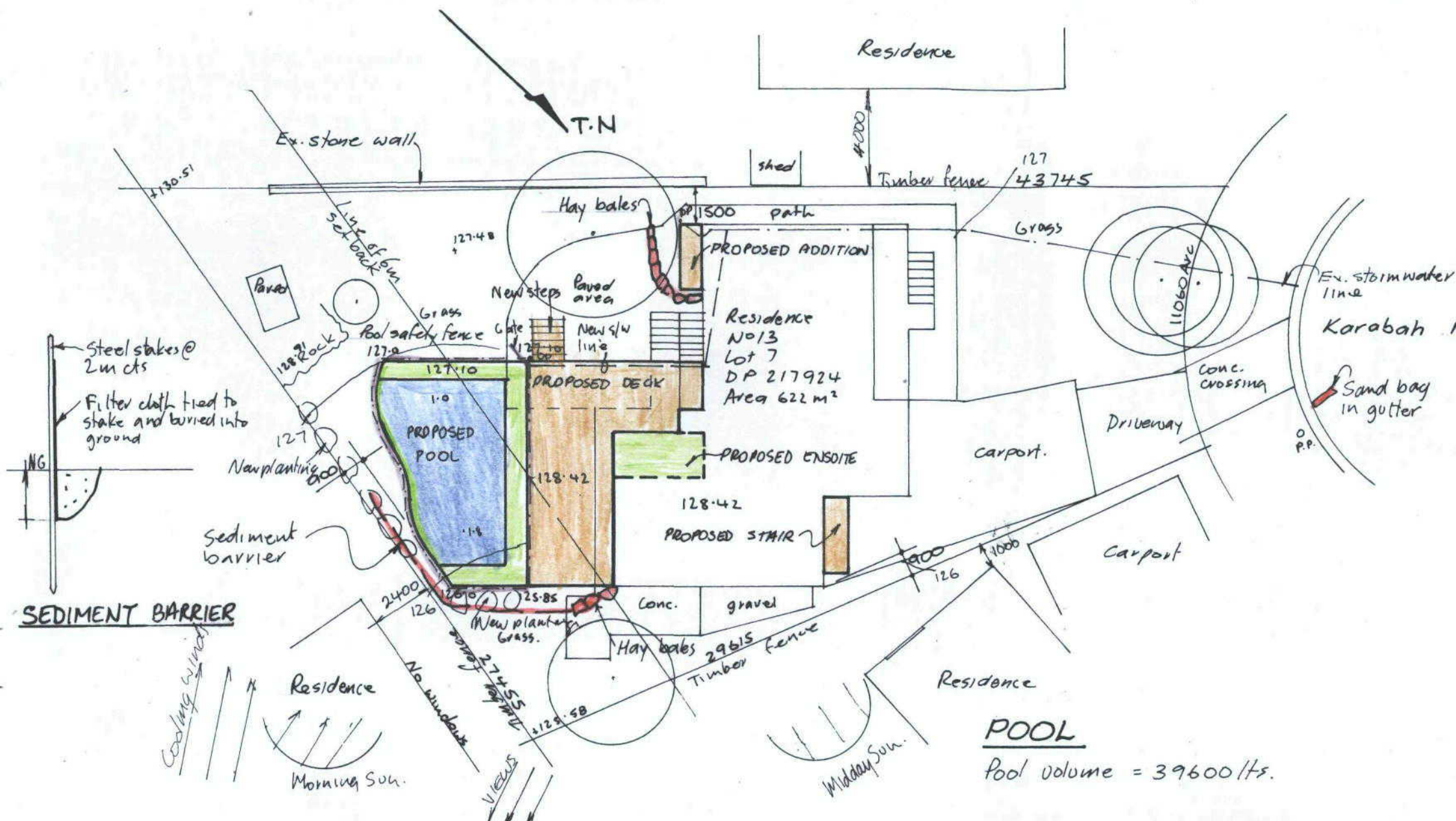
THIS PLAN TO BE READ IN
CONJUNCTION WITH
DA2012/0172
WARRINGAH COUNCIL

PROPOSED ALTERATIONS & ADDITIONS, NEW
SWIMMING POOL AND COVERED DECK
AT N°13 KARABAH PL. FRENCHS FOREST
FOR MR. & MRS. ROSS-CLIFT

POOL DETAILS.

Scale 1:100 Date 12.2.12
Phone: 99732343

Drawn by R. Conway
Drawing N°12/2/3



SITE & SITE ANALYSIS PLAN

CALCULATIONS

Site area	= 622 m ²
Exist. site coverage	= 307.34 m ² = 49.41%
Proposed site coverage	= 341.74 m ² = 54.94%
Landscaped area	= 280.26 = 45.05%
New site coverage	= 344 m ²
Pool volume	= 39600 lts.
Area of 6m. rear setback	= 154.8 m ²
Area of 6m rear setback covered	= 47.14 m ² = 30% < 50%. Complies.

Scale 1:200

THIS PLAN TO BE READ IN CONJUNCTION WITH

DA2012/0172

WARRINGAH COUNCIL

POOL

Pool volume = 39600 lts.

SEDIMENT CONTROL

A filter cloth system shall be used around the lower part of the pool excavation
Hay bales shall be used on paved areas
Sand bags shall be placed in gutter.

EXTERNAL FINISHES

Walls - Hardie Plank - similar to ex.
Foundation walls - brick commons
Roof over deck - Clear - Poly carbonate
Roof over house - tiles or colourbond.
Handrails - Steel. black
Decking - Merbeau
Screen - Merbeau.
Windows - Aluminium - Grey.

All colours are to match exist. house.

NOTES AND SPECIFICATION

1. All dimensions shall be checked on site prior to ordering materials.
2. All workmanship and materials shall comply with SAA codes and the B.C.A.
3. New deck shall be timber
4. New pool shall be concrete
5. New handrails shall be metal incl. pool fence
6. New cladding shall be Hardie Plank similar to existing cladding
7. New windows and sliding doors shall be aluminium.
8. New flat roofs shall be colourbond.
9. New roof over new stair shall be tiled
10. New bathroom floor shall be concrete
11. New roof over deck shall be clear
12. Pool backwash shall be piped to sewer
13. All damaged grass areas shall be repaired after construction.
14. Pool volume shall be 39600 lts
15. New bath room shall be connected to ex. sewer.
16. New internal stairs shall be timber
17. New internal linings shall be gyprock or villa board
18. Pool shall have an internal finish of pebblecrete
19. Coping shall be non-slip tiles.
20. Pool safety fence shall be 1200 high.

WASTE MANAGEMENT PLAN

All waste shall be trucked to Kimbriki to be recycled where possible.
Exist. tiles and bricks shall be reused in new building works.

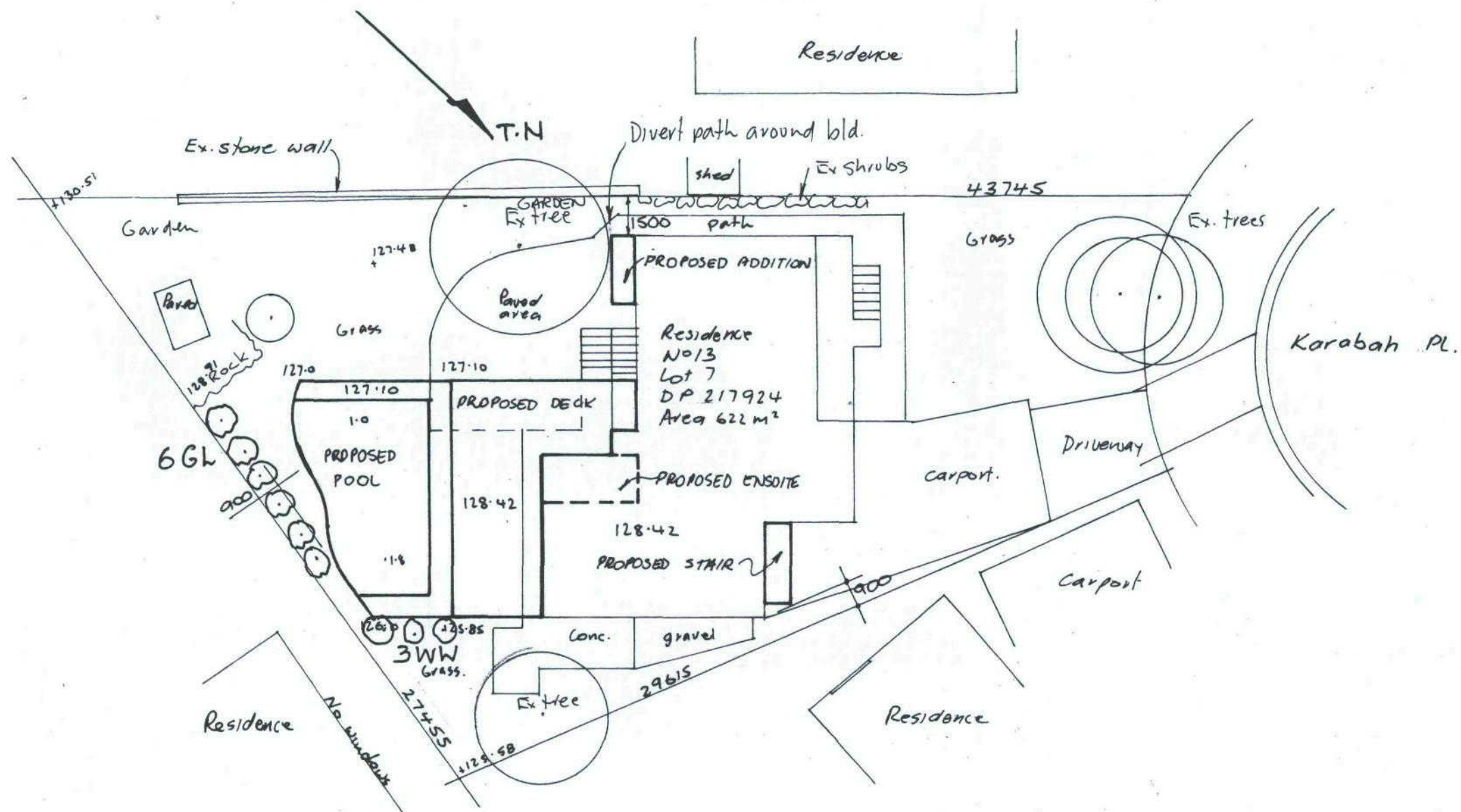
DRAINAGE

The exist stormwater drains to Councils K & G and is in working order.
The new clear roof shall be connected to the exist. system with a new line run under the new deck and exist. house.

PROPOSED ALTERATIONS & ADDITIONS, NEW SWIMMING POOL AND COVERED DECK
AT N°13 KARABAH PL. FRENCH'S FOREST
FOR MR. & MRS. ROSS - CLIFT

SITE & SITE ANALYSIS PLAN

Scale 1:200 Date: 12.2.12 Drawn by R. Lowry
Phone: 99732343 Drawing N° 12/2/4.



Scale 1:200

PLANT SCHEDULE

SYMBOL	NAME	COMMON NAME	HEIGHT	POT SIZE	NUMBER
GL	Grevillea linariifolia	White Spider Flower	2.0m	Tube	6
WW	Westringia "Wynyardie Gem"		1.5m	Tube	3

NOTE

All existing trees, grass & garden areas to remain
All damaged areas to be repaired after construction.

PROPOSED ALTERATIONS & ADDITIONS, NEW
SWIMMING POOL AND COVERED DECK
AT N°13 KARABAH PL FRENCHS FOREST
FOR MR. & MRS. ROSS-CLIFT

LANDSCAPE PLAN

Scale 1:200 Date 12.2.12 Drawn by R Conway

Phone 99732343

Drawing No 12/2/5

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 39.6 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SE	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SE	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	NE	0.225	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	SE	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A132825

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General

Date of issue: Thursday, 16, February 2012

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning & Infrastructure

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rick's Drafting Pty. Ltd.

ABN (if applicable): 18 665 911 582

Project address

Project name	ROSS-CLIFT
Street address	13 Karabah Place Frenchs Forest 2086
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 217924
Lot number	7
Section number	0

Project type

Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

12/2/6