HANNING RESIDENCE

7 ROCK BATH ROAD, PALM BEACH

DRAWING SCHEDULE

AD0000 COVER SHEET & AREA SCHEDULE
AD0100 SITE PLAN & ANALYSIS
AD0101 EXISTING SURVEY

AD0201 DEMOLITION PLAN - GROUND
AD0202 DEMOLITION PLAN - LEVEL 1

AD1100 GARAGE LEVEL PLAN
AD1101 GROUND FLOOR PLAN
AD1102 LEVEL 1 PLAN
AD1103 ROOF PLAN

AD1200 WALL SETOUT - GARAGE LEVEL PLAN
AD1201 WALL SETOUT - GROUND FLOOR PLAN
AD1202 WALL SETOUT - LEVEL 1 PLAN

AD1300 CONC SETOUT - GARAGE LEVEL PLAN
AD1301 CONC SETOUT - GROUND FLOOR PLAN
AD1302 CONC SETOUT - LEVEL 1 PLAN

AD1401 RCP - GROUND FLOOR PLAN
AD1402 RCP - LEVEL 1 PLAN

AD2001 ELEVATIONS - NORTH ELEVATION
AD2002 ELEVATIONS - EAST ELEVATION
AD2003 ELEVATIONS - SOUTH ELEVATION
AD2004 ELEVATIONS - WEST ELEVATION

AD3001 SECTION A
AD3002 SECTION B
AD3003 SECTION C

DETAIL SECTION 01 - FAMILY ROOM
DETAIL SECTION 02 - LIVING ROOM & BALCONY

AD6001 DOOR SCHEDULE
AD6002 WINDOW SCHEDULE
AD6003 WALL TYPES DRAWING

AD6800 LANDSCAPE AREA CALCULATIONS DIAGRAM

ID7010 KITCHEN DETAILS - SHEET 01
ID7011 KITCHEN DETAILS - SHEET 02
ID7012 KITCHEN DETAILS - SHEET 03
ID7013 KITCHEN DETAILS - SHEET 04
ID7020 LIVING ROOM FIREPLACE DETAILS
ID7030 POWDER ROOM DETAILS
ID7040 LAUNDRY
ID7050 FAMILY ROOM FIREPLACE DETAILS
ID7051 LIVING ROOM FIREPLACE DETAILS
ID7060 STAIR DETAILS - SHEET 01
ID7061 STAIR DETAILS - SHEET 02
ID7070 STUDY
ID7080 MASTER BED DETAILS
ID7090 MASTER ENSUITE DETAILS - SHEET 01
ID7091 MASTER ENSUITE DETAILS - SHEET 02
ID7092 MASTER ENSUITE DETAILS - SHEET 03
ID7093 MASTER ENSUITE DETAILS - SHEET 04
ID7100 BEDROOM DETAILS - SHEET 01
ID7110 BEDROOM DETAILS - SHEET 02
ID7111 BEDROOM DETAILS - SHEET 03
ID7120 BATHROOM DETAILS 01
ID7130 BATHROOM DETAILS 02
ID7131 BATHROOM DETAILS 03
ID7132 BATHROOM DETAILS 04
ID7160 ARCHITRAVE DETAILS

PROJECT SUMMARY

ADDRESS	7 ROCK BATH ROAD, PALM BEACH NSW 2108
LOT & DP	LOT 346 D.P. 16362
SITE AREA	800.7m² (BY CALC) 746.1m² (BY TITLE)

	REQUIREMENTS	EXISTING	PROPOSED	COMPLIANT
LEP				
ZONING	E4 ENVIRONMENTAL LIVING	E4	E4	YES
MAXIMUM HEIGHT	8.5m	4.8m	UNCHANGED	YES
HAZARDS				
BUSHFIRE PRONE AREA	VEGETATION CATEGORY 1	-	-	(REFER BUSHFIRE REPORT)
GEOTECHNICAL HAZARD	-	-	-	(REFER GEOTECH REPORT)
DCP				
SIDE SETBACKS - SIDE 1	1m	UNCHANGED	UNCHANGED	YES
SIDE SETBACKS - SIDE 2	2.5m	1.6m	UNCHANGED	NO
FRONT SETBACK	6.5m	5.2m (POOL PAVED AREA)	3.7m (POOL PAVED AREA)	NO
REAR SETBACK	6.5m	1m	UNCHANGED	NO
LANDSCAPE COVERAGE	60% (480.4m²)	37.5% (300.8m²)	53.7%(430m²)	NO

BUILDING AREA

LEVEL	EXISTING	PROPOSED
GROUND	127	122.8
LEVEL 1	139	142
TOTAL m2	**266**	**264.8**

BASIX ASSESMENT

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A335983

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 10, December 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning & Environment

Description of project

Project address	
Project name	7 ROCK BATH ROAD
Street address	7 ROCK BATH ROAD Street PALM BEACH 2108
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 16362
Lot number	346
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at $50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Dylan Farrell Design

ABN (if applicable): 89611535132

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1006 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 179.3 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 38.7 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
flat ceiling, flat roof: framed	ceiling: R2.32 (up), roof: foil/sarking	light (solar absorptance < 0.475)

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	N	33	0	0	external louvre/blind (adjustable)	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	N	5	0	0	external louvre/blind (adjustable)	improved aluminium, single toned,

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
						(U-value: 6.39, SHGC: 0.56)
W3	N	7.5	0	0	external louvre/blind (adjustable)	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	N	4.6	0	0	external louvre/blind (adjustable)	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	N	7.5	0	0	external louvre/blind (adjustable)	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W6	N	7.5	0	0	external louvre/blind (adjustable)	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W7	N	3.9	3	1.5	none	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W8	N	10.1	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W9	N	10.1	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W10	N	0.8	3.7	1	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	N	0.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	E	3.6	2	1.8	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
W13	S	1.5	2.5	1.1	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W14	S	2.9	2.5	1.1	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	2.9	2.5	1.1	none	standard aluminium, single clear, (or

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
						U-value: 7.63, SHGC: 0.75)
W16	S	2.9	2.5	1.1	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	S	2.2	2	0.8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	W	2.7	2.5	1.4	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construc certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

NOT FOR CONSTRUCTION

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER SPECIFIED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED CLEARANCES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER OR A LICENSED BUILDER. THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ASPECTS NOT SPECIFIED OR TAKEN INTO ACCOUNT FOR OTHER REQUIREMENTS

REVISIONS

REV	DATE	
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE
ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

CLIENT:

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED IN WRITING BY **DYLAN FARRELL DESIGN, PTY LTD.**

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE:
SHEET TITLE: COVER SHEET
DRAWING NUMBER: AD0001

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

CLIENT:

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF DYLAN FARRELL DESIGN, PTY LTD. UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY DYLAN FARRELL DESIGN, PTY LTD.

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:250 @ A3

SHEET TITLE: SITE PLAN

DRAWING NUMBER: AD0100

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

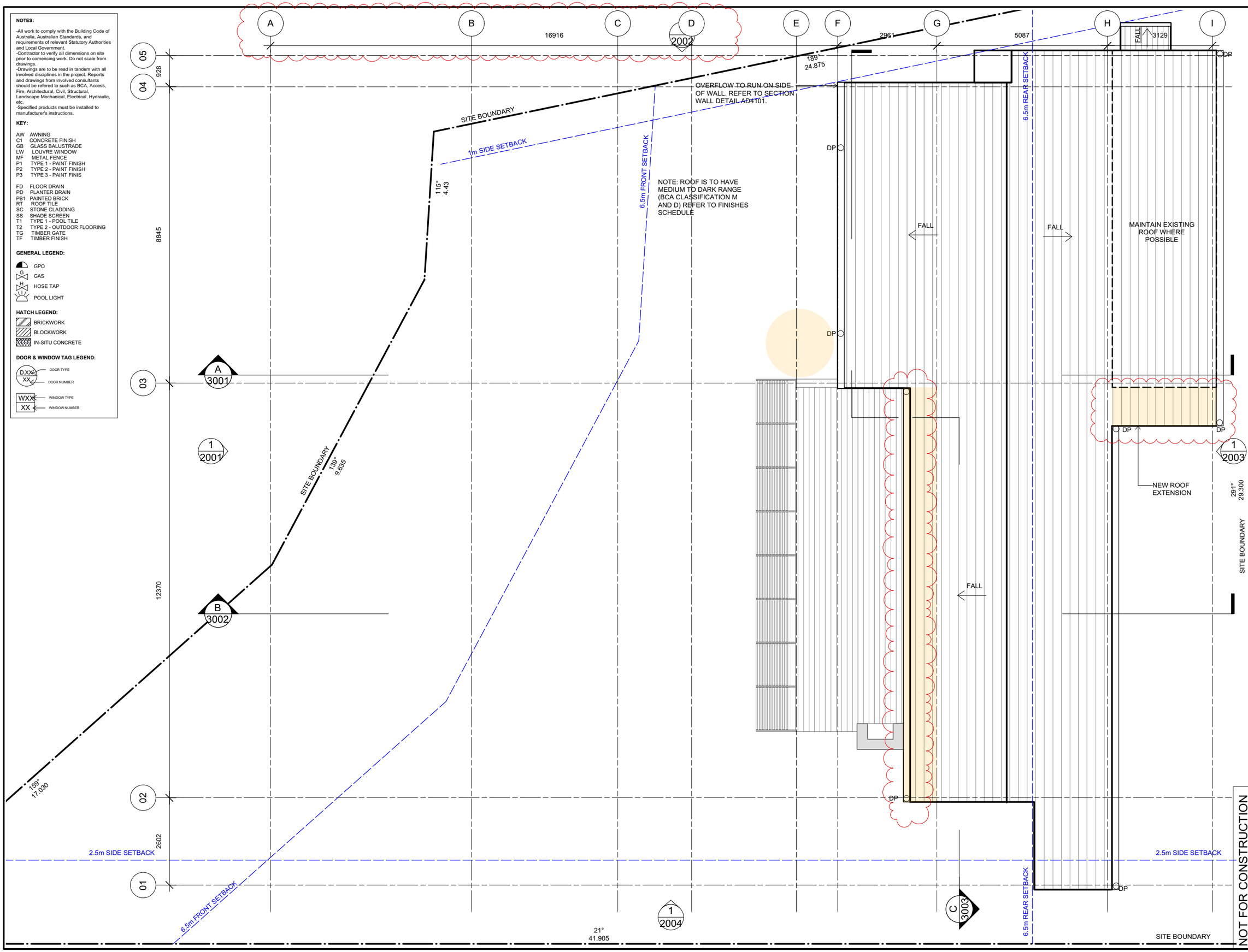
GPO
G GAS
H HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D XX — DOOR TYPE / DOOR NUMBER
WXX — WINDOW TYPE
XX — WINDOW NUMBER



NOT FOR CONSTRUCTION

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL ASPECTS OF THE DESIGN, QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
ROOF PLAN

DRAWING NUMBER:
AD1103

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

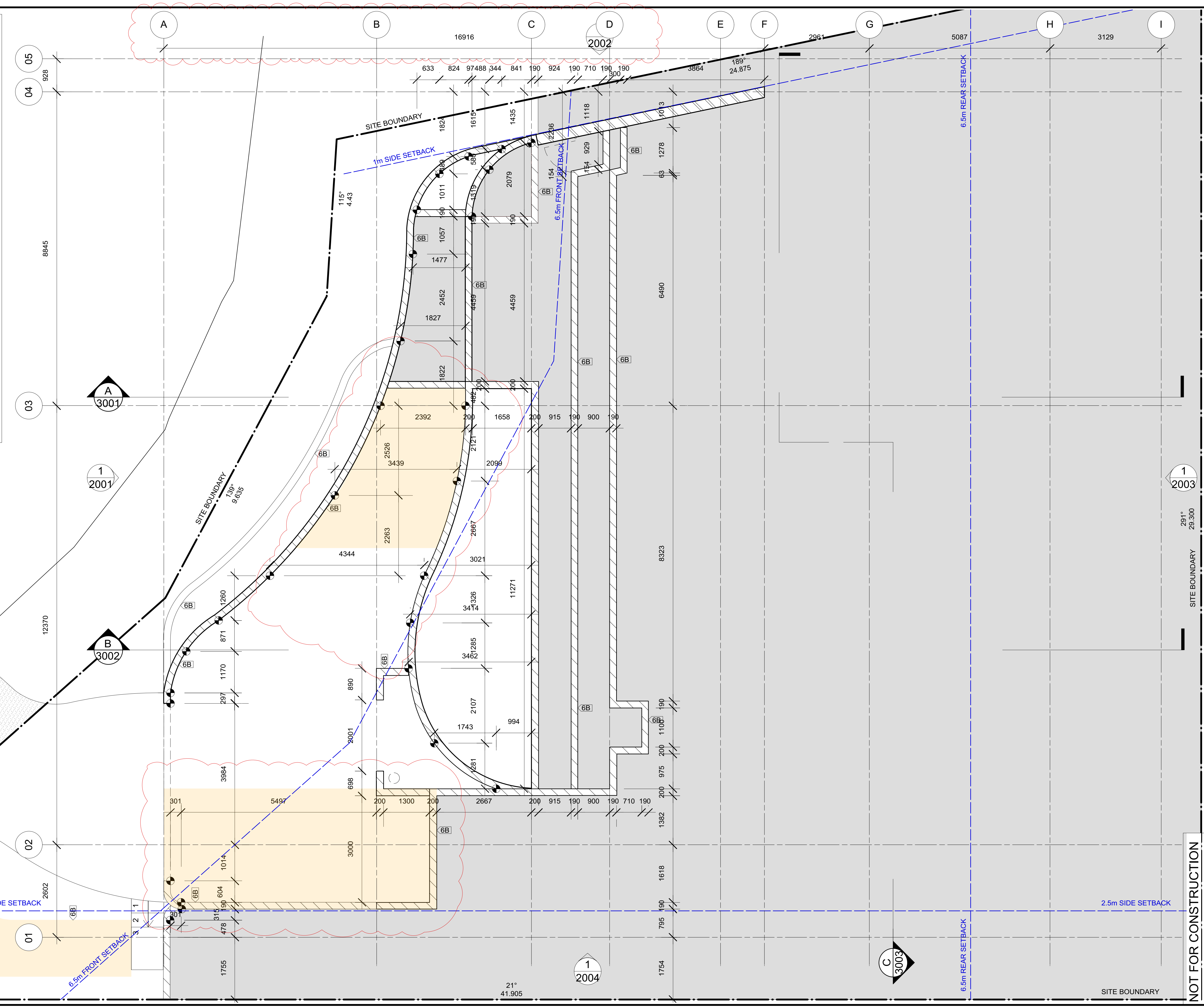
GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D.XX / XX — DOOR TYPE / DOOR NUMBER
WXX / XX — WINDOW TYPE / WINDOW NUMBER



NOT FOR CONSTRUCTION

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

CLIENT:

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

ISSUED FOR:
- [ ] ISSUED FOR INFORMATION
- [x] APPLICATION TO AUTHORITY
- [ ] ISSUED FOR TENDER
- [ ] ISSUED FOR CONSTRUCTION
- [ ] AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
WALL SETOUT - GARAGE LEVEL PLAN

DRAWING NUMBER:
AD1200

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

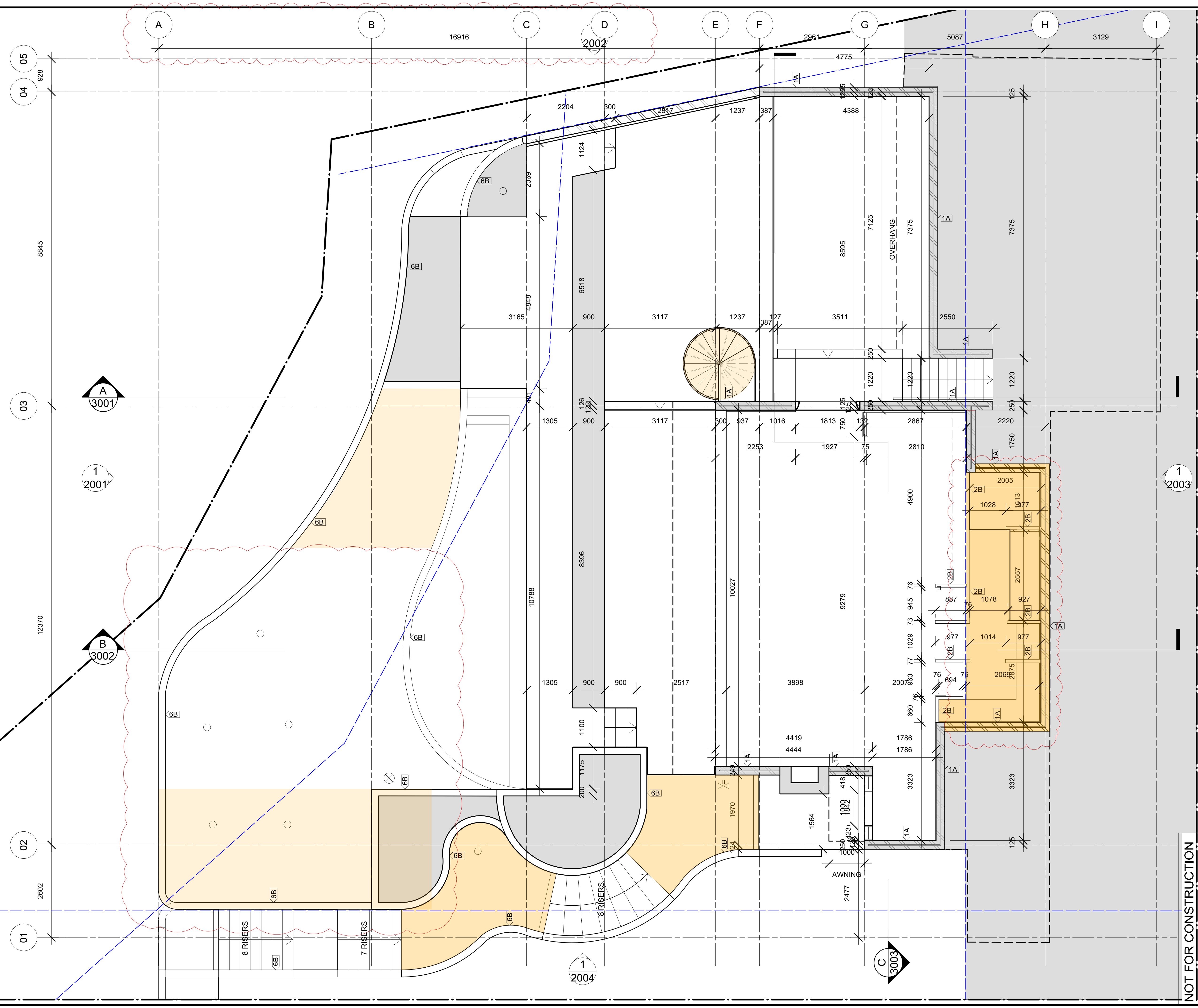
GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DOOR TYPE
DOOR NUMBER
WINDOW TYPE
WINDOW NUMBER



HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF DYLAN FARRELL DESIGN, PTY LTD. UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY DYLAN FARRELL DESIGN, PTY LTD.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

CLIENT:

ISSUED FOR:
ISSUED FOR INFORMATION
APPLICATION TO AUTHORITY
ISSUED FOR TENDER
ISSUED FOR CONSTRUCTION
AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
WALL SETOUT - GROUND FLOOR PLAN

DRAWING NUMBER:
AD1201

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

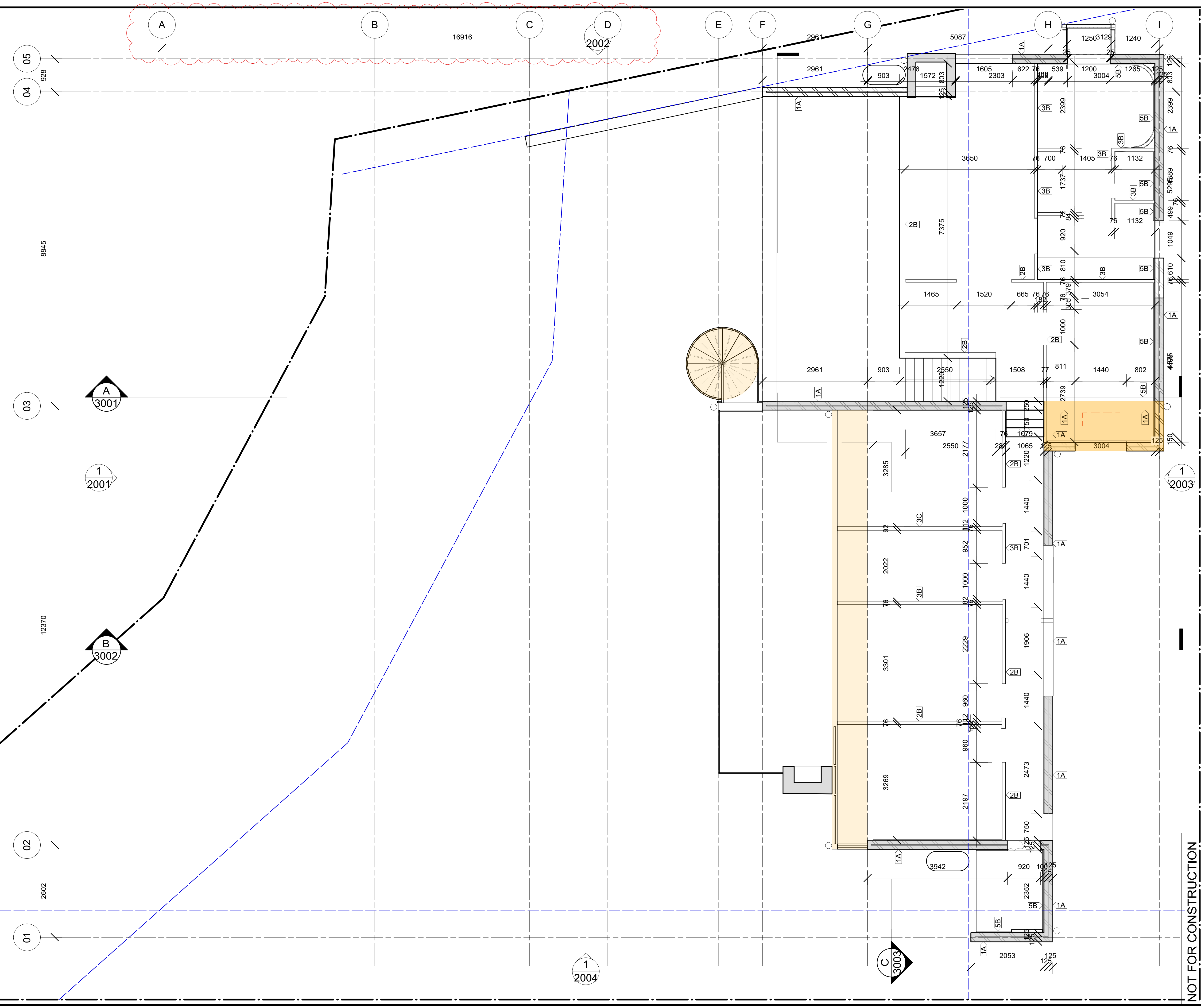
GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D.XX / XX — DOOR TYPE / DOOR NUMBER
WXX / XX — WINDOW TYPE / WINDOW NUMBER



Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

CLIENT:

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

ISSUED FOR:
- [ ] ISSUED FOR INFORMATION
- [x] APPLICATION TO AUTHORITY
- [ ] ISSUED FOR TENDER
- [ ] ISSUED FOR CONSTRUCTION
- [ ] AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:100 @ A3

SHEET TITLE:
WALL SETOUT - LEVEL 01 PLAN

DRAWING NUMBER:
AD1202

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

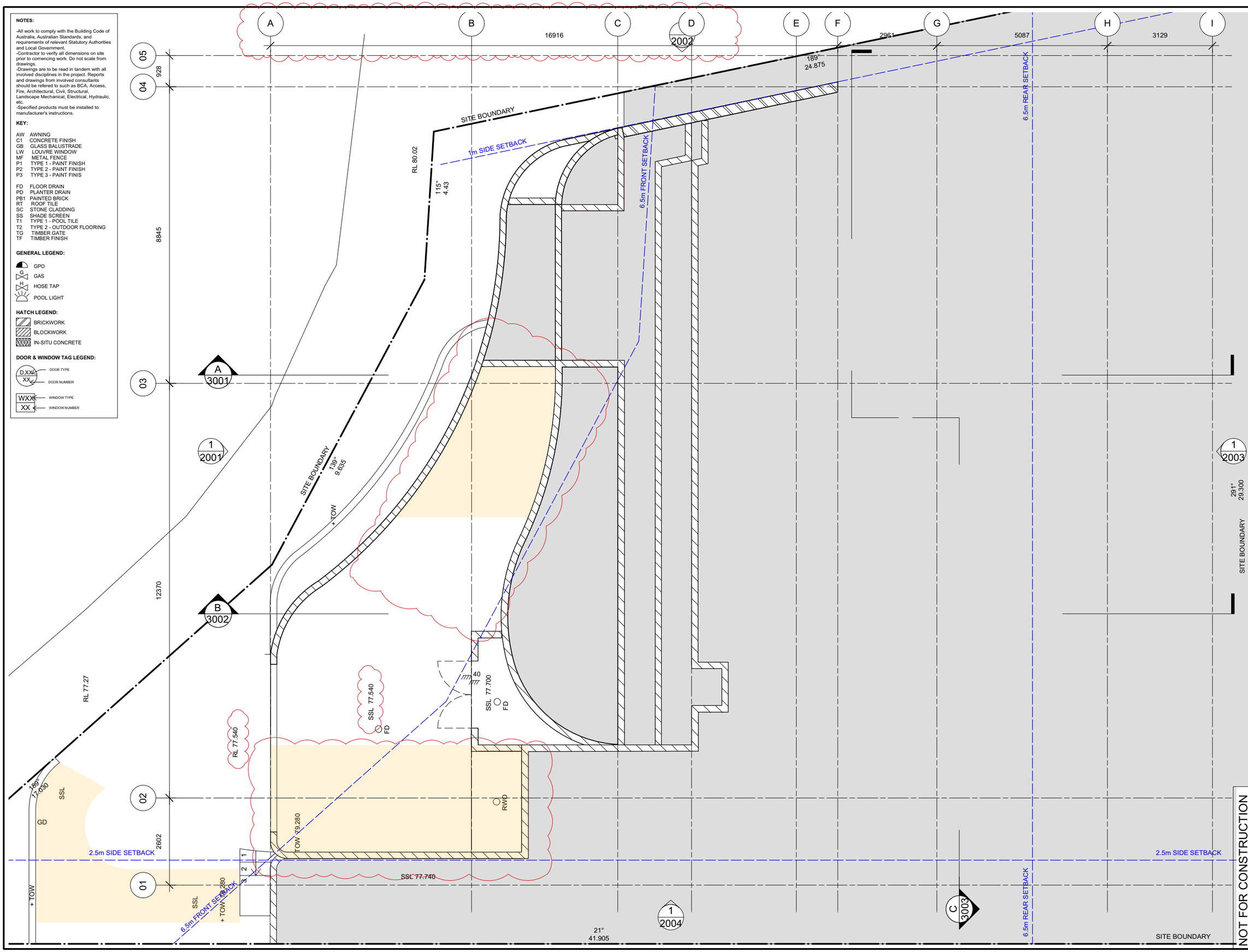
GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DXX — DOOR TYPE
XX — DOOR NUMBER
WXX — WINDOW TYPE
XX — WINDOW NUMBER



Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:

THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS

7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:

- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:

CONCRETE SETOUT - GARAGE LEVEL PLAN

DRAWING NUMBER:

AD1300

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

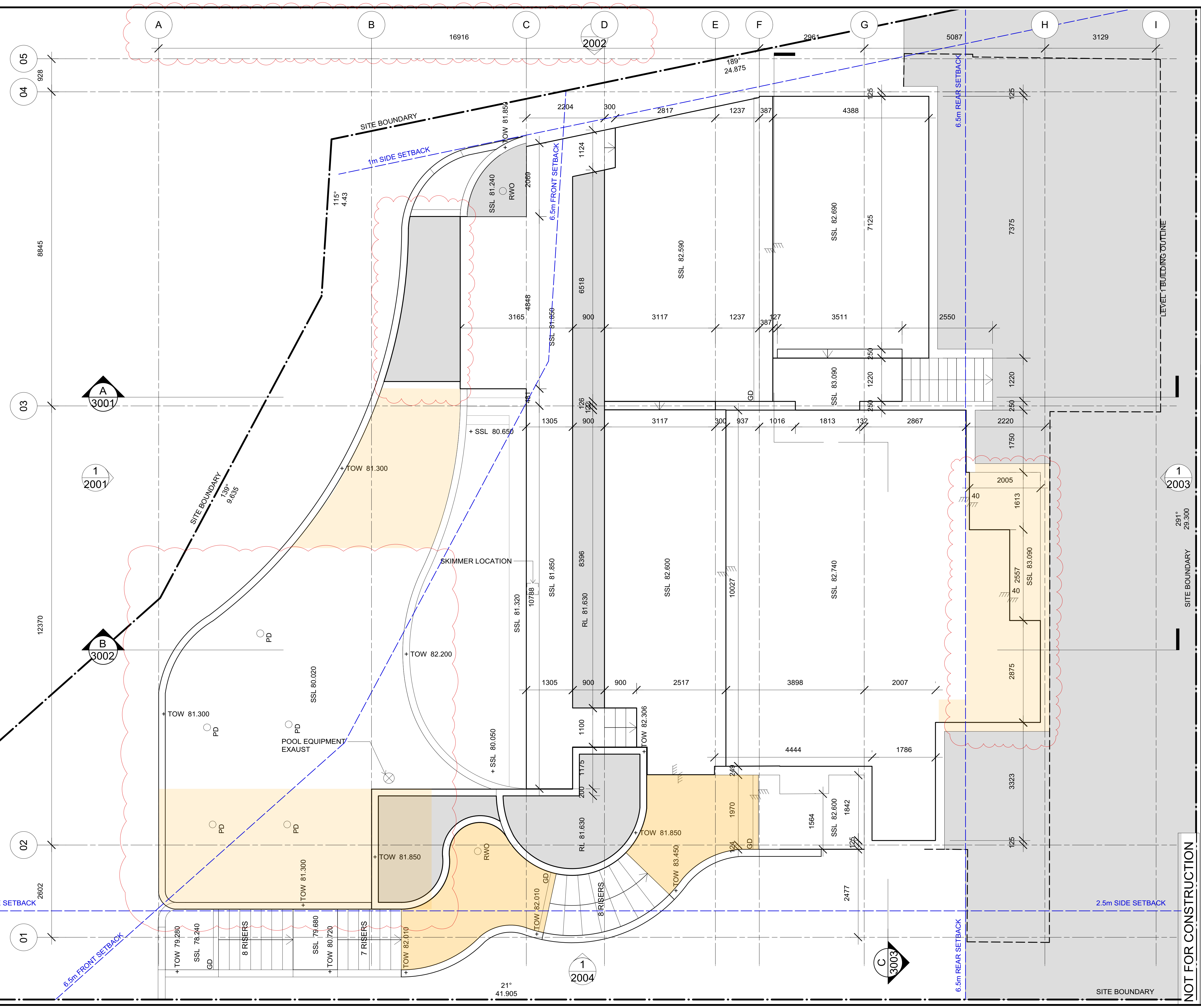
GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DOOR TYPE
DOOR NUMBER
WINDOW TYPE
WINDOW NUMBER



Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
ISSUED FOR INFORMATION
APPLICATION TO AUTHORITY
ISSUED FOR TENDER
ISSUED FOR CONSTRUCTION
AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:100 @ A3

SHEET TITLE:
CONCRETE SETOUT - GROUND FLOOR PLAN

DRAWING NUMBER:
AD1301

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

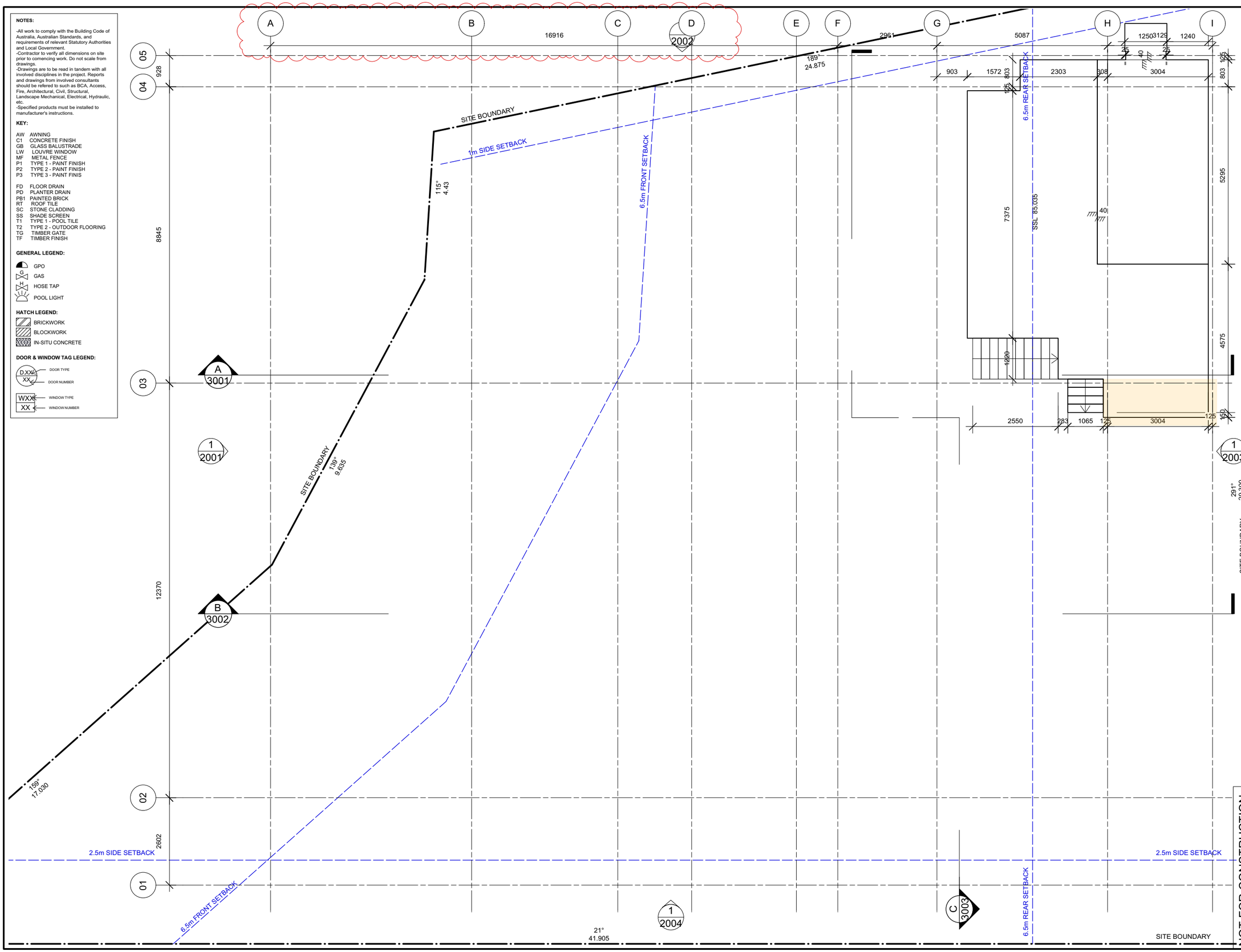
GPO
G GAS
H HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D.XX DOOR TYPE
XX DOOR NUMBER
WXX WINDOW TYPE
XX WINDOW NUMBER



Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:

THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REVISIONS

REV	DATE	
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
CONCRETE SETOUT - LEVEL 01 PLAN

DRAWING NUMBER:
AD1302

NOT FOR CONSTRUCTION

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DXX — DOOR TYPE
XX — DOOR NUMBER
WXX — WINDOW TYPE
XX — WINDOW NUMBER

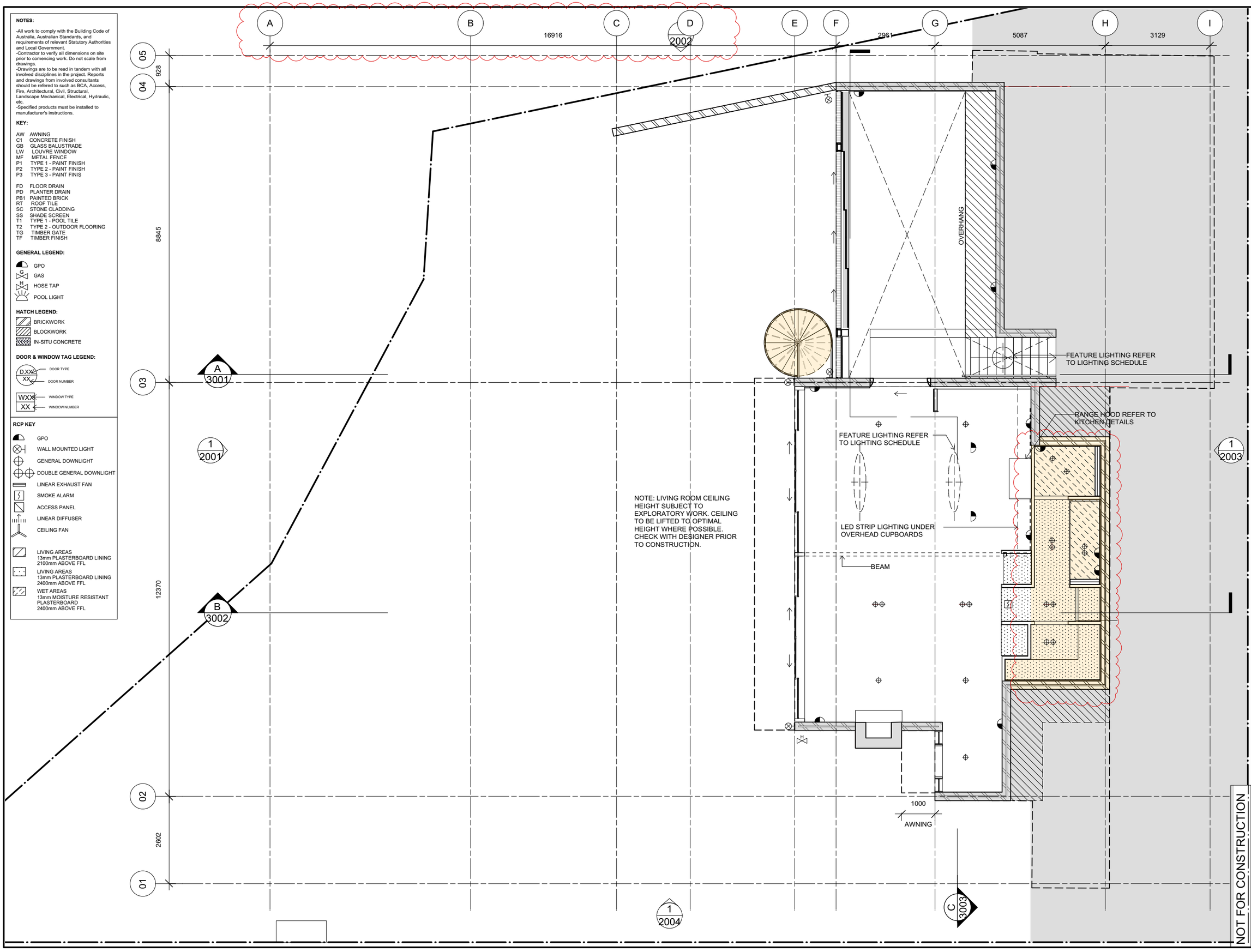
RCP KEY

GPO
WALL MOUNTED LIGHT
GENERAL DOWNLIGHT
DOUBLE GENERAL DOWNLIGHT
LINEAR EXHAUST FAN
SMOKE ALARM
ACCESS PANEL
LINEAR DIFFUSER
CEILING FAN

LIVING AREAS
13mm PLASTERBOARD LINING
2100mm ABOVE FFL

LIVING AREAS
13mm PLASTERBOARD LINING
2400mm ABOVE FFL

WET AREAS
13mm MOISTURE RESISTANT PLASTERBOARD
2400mm ABOVE FFL



NOT FOR CONSTRUCTION

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, CODE ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REVISIONS

REV	DATE	
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS

7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
RCP - GROUND FLOOR PLAN

DRAWING NUMBER:
AD1401

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

FD FLOOR DRAIN
PD PLANTER DRAIN
PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN
T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

GPO
GAS
HOSE TAP
POOL LIGHT

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D.XX DOOR TYPE
XX DOOR NUMBER
WXX WINDOW TYPE
XX WINDOW NUMBER

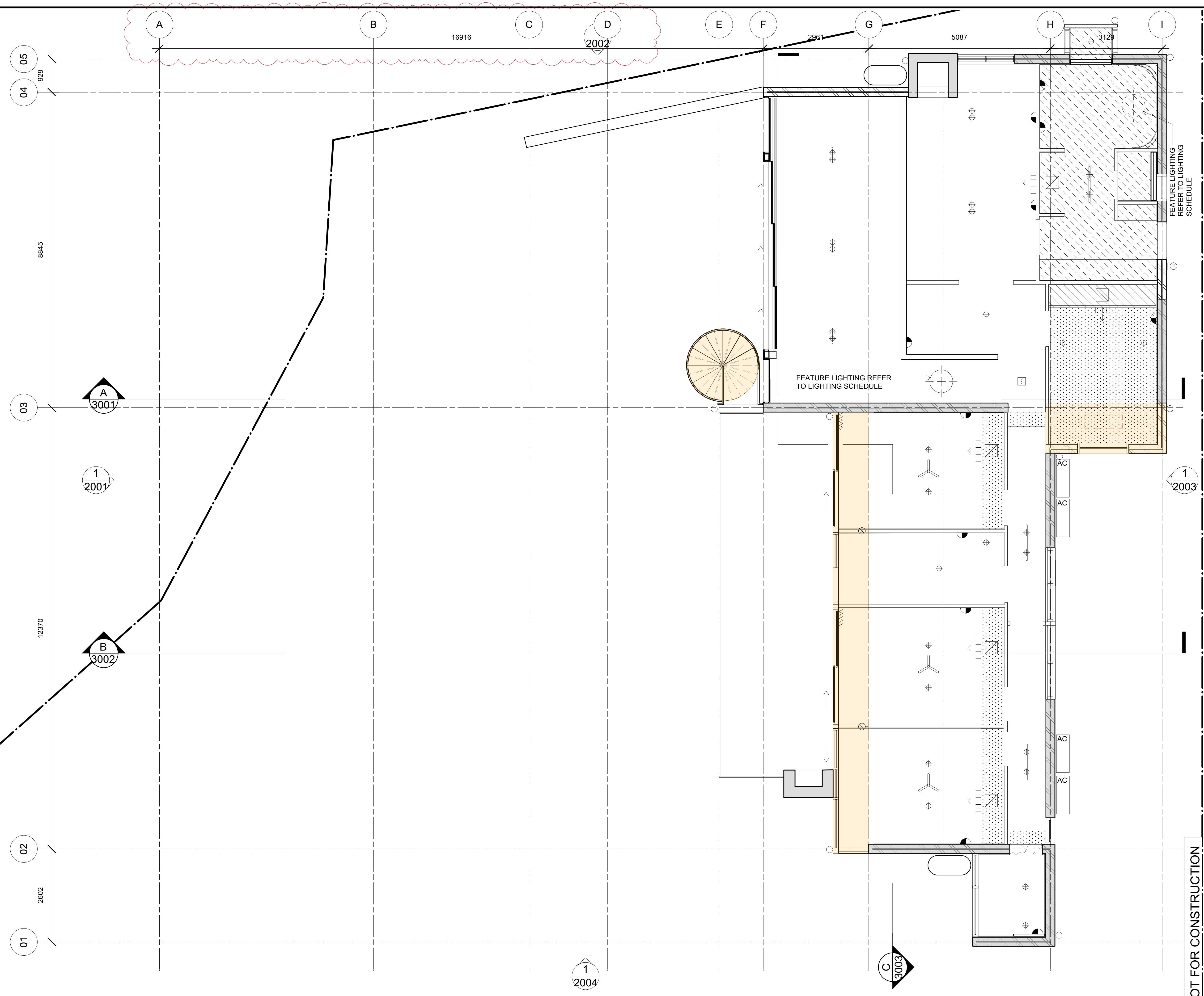
RCP KEY

GPO
WALL MOUNTED LIGHT
GENERAL DOWNLIGHT
DOUBLE GENERAL DOWNLIGHT
LINEAR EXHAUST FAN
SMOKE ALARM
ACCESS PANEL
LINEAR DIFFUSER
CEILING FAN

LIVING AREAS
13mm PLASTERBOARD LINING
2100mm ABOVE FFL

LIVING AREAS
13mm PLASTERBOARD LINING
2400mm ABOVE FFL

WET AREAS
13mm MOISTURE RESISTANT PLASTERBOARD
2400mm ABOVE FFL



Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
ISSUED FOR INFORMATION
APPLICATION TO AUTHORITY
ISSUED FOR TENDER
ISSUED FOR CONSTRUCTION
AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
RCP - LEVEL 01 PLAN

DRAWING NUMBER:
AD1402

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN

T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

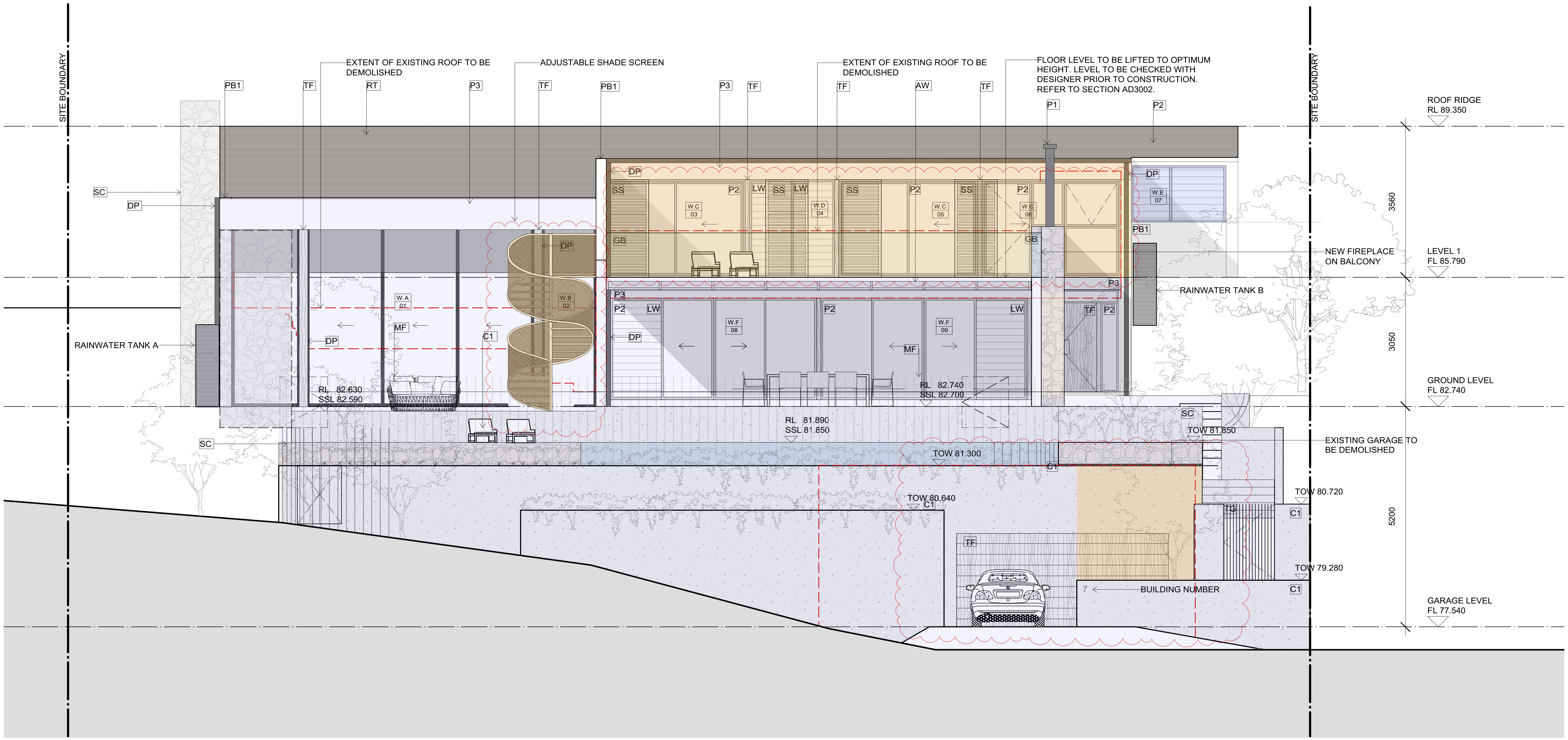
GPO
G GAS
H HOSE TAP

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

D.XX DOOR TYPE
XX DOOR NUMBER
WXX WINDOW TYPE
XX WINDOW NUMBER



NORTH ELEVATION

1
2001
1:100

KEY:

TREE REMOVAL
TREE PROTECTION ZONE
DEMOLITION
NEW CONSTRUCTION
SECTION 4.55 MODIFICATION

NOT FOR CONSTRUCTION

Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
ISSUED FOR INFORMATION
APPLICATION TO AUTHORITY
ISSUED FOR TENDER
ISSUED FOR CONSTRUCTION
AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:100 @ A3

SHEET TITLE:
ELEVATIONS - NORTH ELEVATION

DRAWING NUMBER:
AD2001

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN

T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

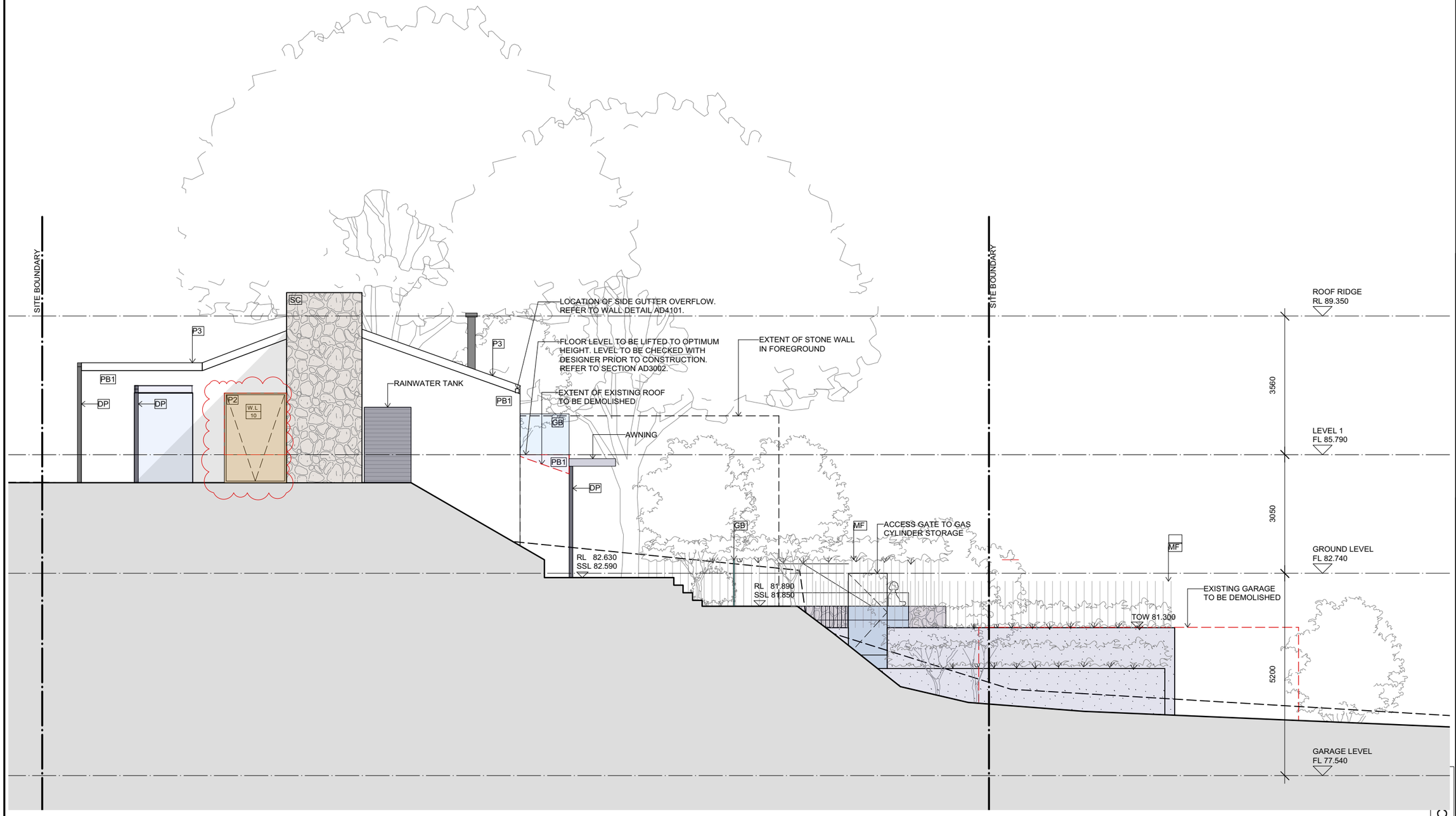
GPO
GAS
HOSE TAP

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DXX — DOOR TYPE
XX — DOOR NUMBER
WXX — WINDOW TYPE
XX — WINDOW NUMBER



1
2002
EAST ELEVATION
1:100

KEY:
- TREE REMOVAL
- TREE PROTECTION ZONE
- DEMOLITION
- NEW CONSTRUCTION
- SECTION 4.55 MODIFICATION

NOT FOR CONSTRUC

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REVISIONS

REV	DATE	
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT: -

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO:	MHR
DATE:	24.09.2019
SCALE:	1:100 @ A3

SHEET TITLE:
ELEVATIONS - EAST ELEVATION

DRAWING NUMBER:
AD2002

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN

T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

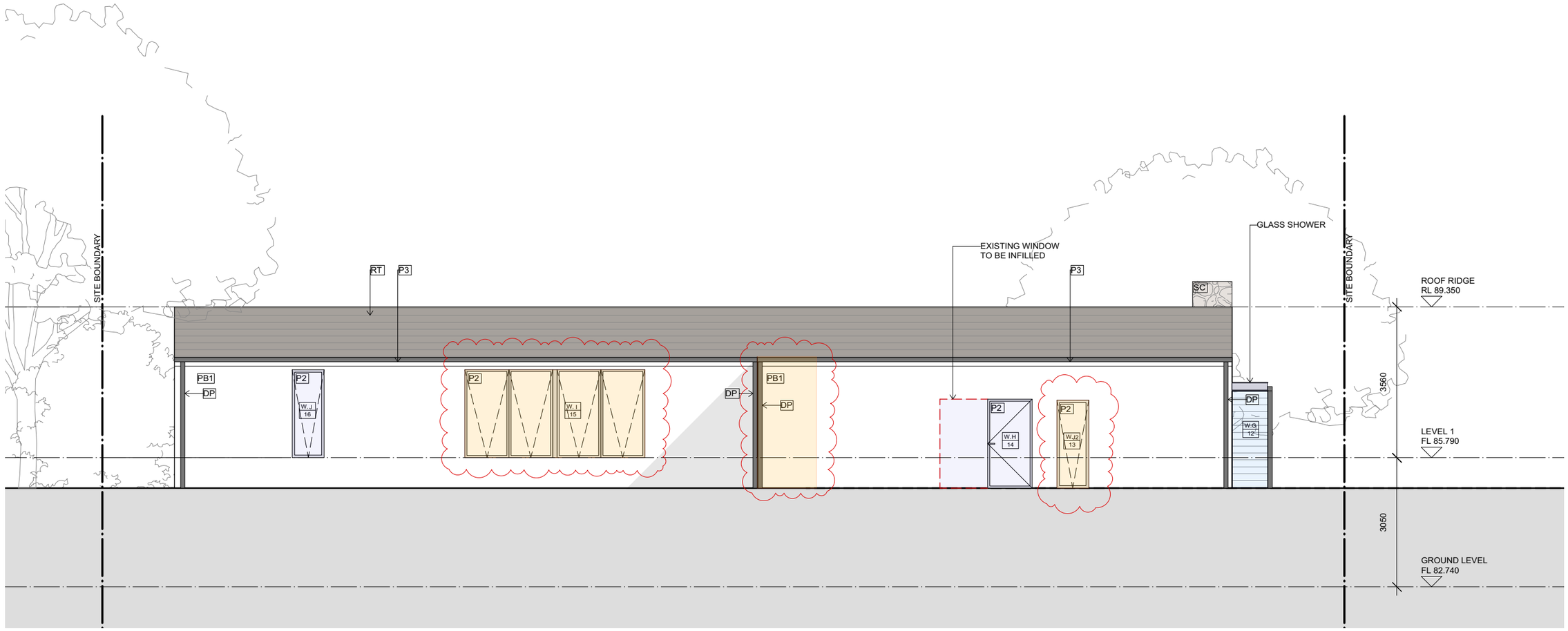
GPO
GAS
HOSE TAP

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DXX — DOOR TYPE
XX — DOOR NUMBER
WXX — WINDOW TYPE
XX — WINDOW NUMBER



1
2003
SOUTH ELEVATION
1:100

KEY:
- TREE REMOVAL
- TREE PROTECTION ZONE
- DEMOLITION
- NEW CONSTRUCTION
- SECTION 4.55 MODIFICATION

NOT FOR CONSTRUCTION

Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REVISIONS

REV	DATE	
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE
ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

CLIENT:

ISSUED FOR:
- ISSUED FOR INFORMATION
- APPLICATION TO AUTHORITY
- ISSUED FOR TENDER
- ISSUED FOR CONSTRUCTION
- AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:100 @ A3

SHEET TITLE:
ELEVATIONS - SOUTH ELEVATION

DRAWING NUMBER:
AD2003

NOTES:

-All work to comply with the Building Code of Australia, Australian Standards, and requirements of relevant Statutory Authorities and Local Government.
-Contractor to verify all dimensions on site prior to comencing work. Do not scale from drawings.
-Drawings are to be read in tandem with all involved disciplines in the project. Reports and drawings from involved consultants should be refered to such as BCA, Access, Fire, Architectural, Civil, Structural, Landscape Mechanical, Electrical, Hydraulic, etc.
-Specified products must be installed to manufacturer's instructions.

KEY:

AW AWNING
C1 CONCRETE FINISH
GB GLASS BALUSTRADE
LW LOUVRE WINDOW
MF METAL FENCE
P1 TYPE 1 - PAINT FINISH
P2 TYPE 2 - PAINT FINISH
P3 TYPE 3 - PAINT FINIS

PB1 PAINTED BRICK
RT ROOF TILE
SC STONE CLADDING
SS SHADE SCREEN

T1 TYPE 1 - POOL TILE
T2 TYPE 2 - OUTDOOR FLOORING
TG TIMBER GATE
TF TIMBER FINISH

GENERAL LEGEND:

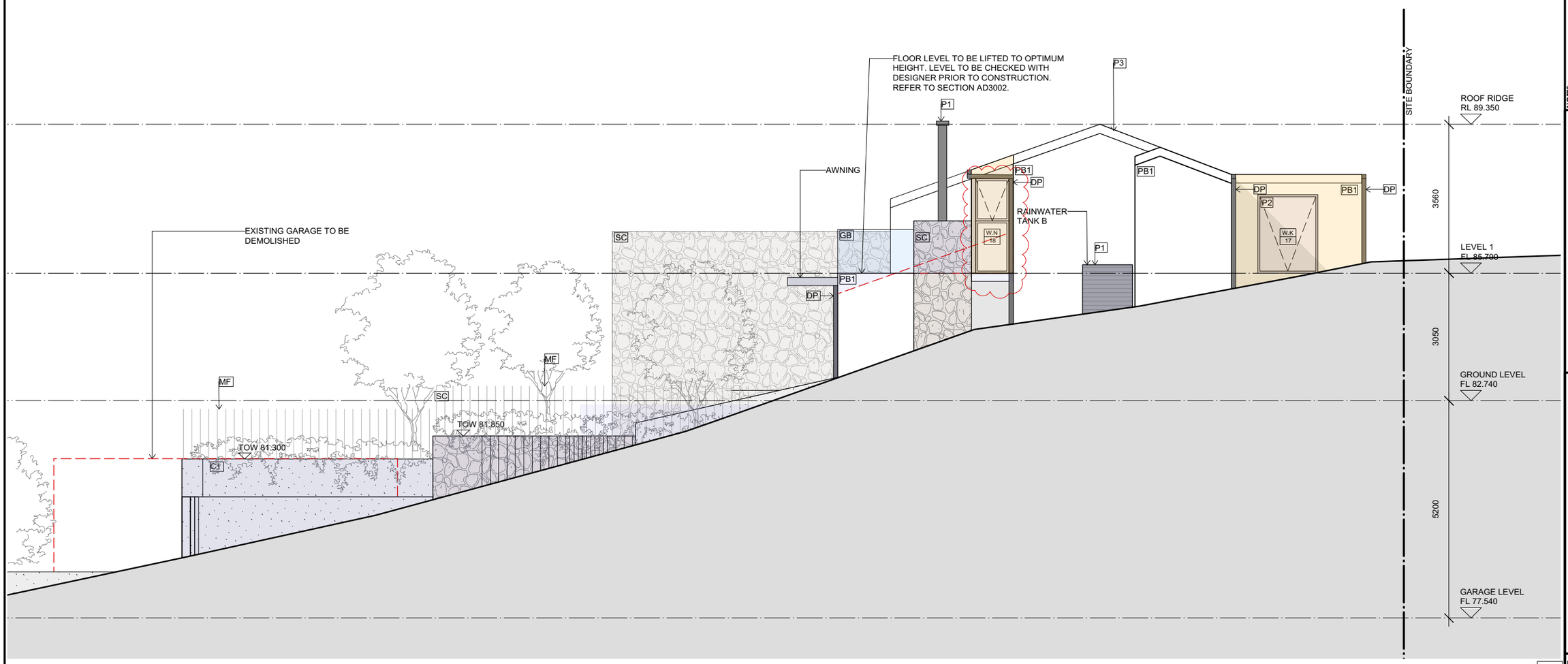
GPO
G GAS
H HOSE TAP

HATCH LEGEND:

BRICKWORK
BLOCKWORK
IN-SITU CONCRETE

DOOR & WINDOW TAG LEGEND:

DXX DOOR TYPE
XX DOOR NUMBER
WXX WINDOW TYPE
XX WINDOW NUMBER



1
2004
WEST ELEVATION
1:100

KEY:
TREE REMOVAL
TREE PROTECTION ZONE
DEMOLITION
NEW CONSTRUCTION
SECTION 4.55 MODIFICATION

NOT FOR CONSTRUCTION

Dylan FARRELL Design
dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETICS STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

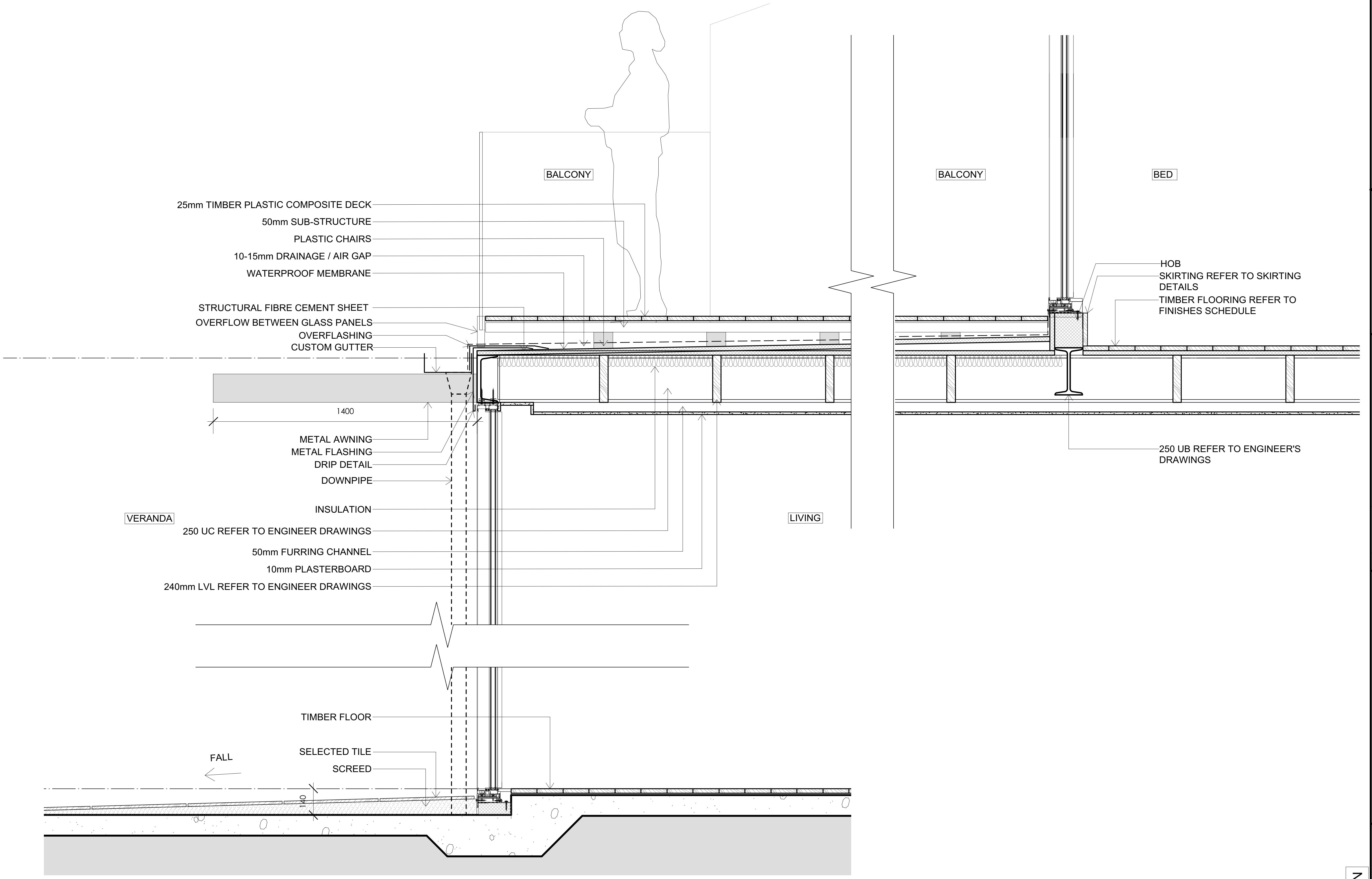
CLIENT:
-

ISSUED FOR:
- [ ] ISSUED FOR INFORMATION
- [ ] APPLICATION TO AUTHORITY
- [x] ISSUED FOR TENDER
- [ ] ISSUED FOR CONSTRUCTION
- [ ] AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:100 @ A3

SHEET TITLE:
ELEVATIONS - WEST ELEVATION

DRAWING NUMBER:
AD2004



1
3001

LIVING ROOM & BALCONY DETAIL SECTION

1:20

FOR CONSTRUCTION

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2010 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

CLIENT:

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

ISSUED FOR:
- [ ] ISSUED FOR INFORMATION
- [x] APPLICATION TO AUTHORITY
- [ ] ISSUED FOR TENDER
- [ ] ISSUED FOR CONSTRUCTION
- [ ] AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE: 1:20 @ A3

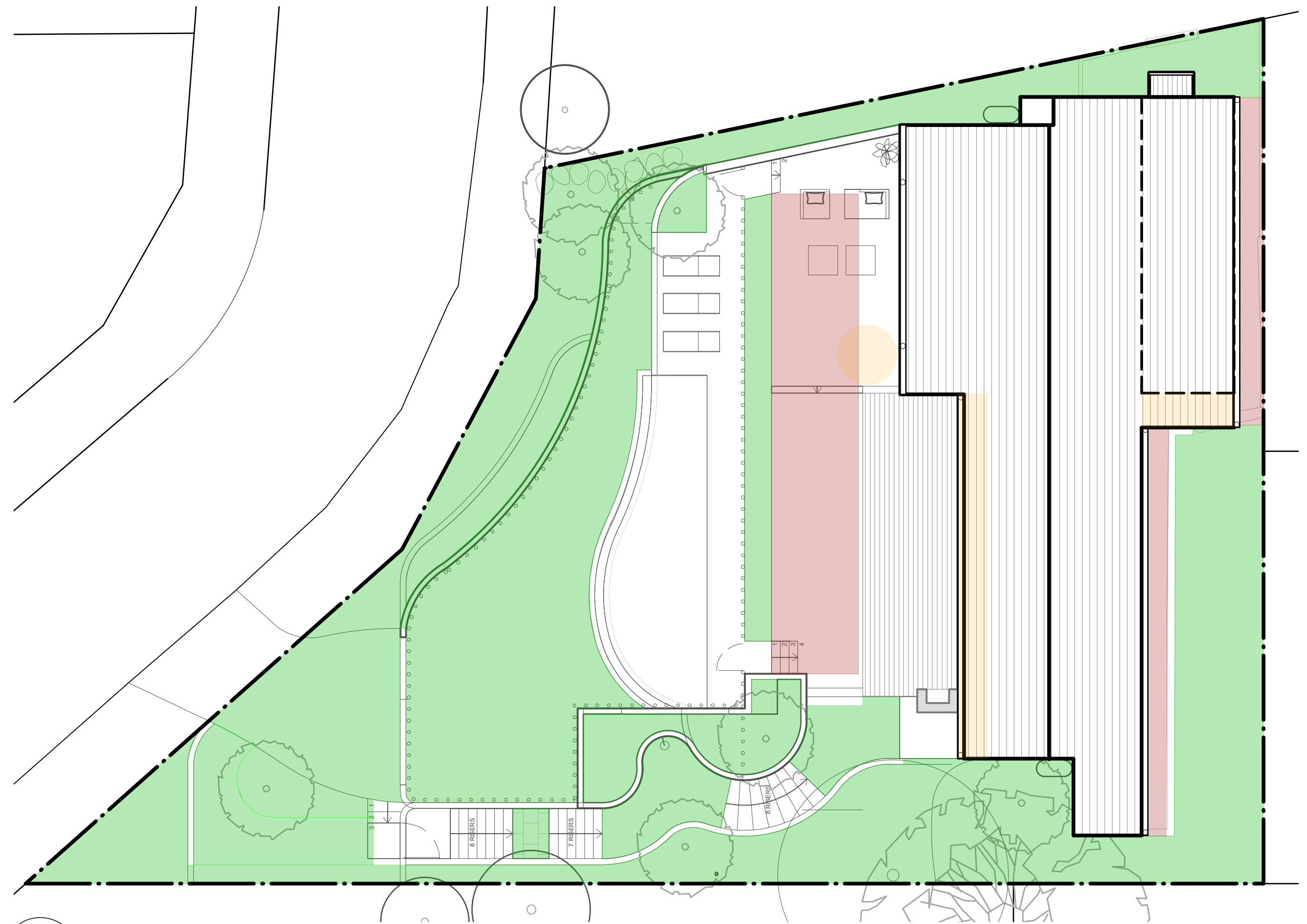
SHEET TITLE:
DETAIL SECTION 02 - LIVING ROOM & BALCONY

DRAWING NUMBER:
AD4102

LANDSCAPE AREA CALCULATION

SITE AREA BY CALC.:	800.7m²
REQUIRED LANDSCAPE AREA:	60% / 480.4m²
EXISTING LANDSCAPE AREA:	37.5% / 300.8m²
DA SCHEME LANDSCAPE AREA:	51.9% / 417m²
PROPOSED LANDSCAPE AREA:	355m²
IMPERVIOUS AREA LESS THAN 1m WIDE:	27m²
IMPERVIOUS AREA (UP TO 6%):	48m²
TOTAL PROPOSED LANDSCAPE AREA:	53.7% /430m²

1 / 6800 EXISTING LANDSCAPE AREA 1:250



2 / 6800 PROPOSED LANDSCAPE AREA 1:250

NOT FOR CONSTRUCTION

Dylan FARRELL Design

dylanfarrell.com info@dylanfarrell.com
54 William Street Paddington NSW 2021 Australia
P: +61 416 222 946 Dylan Farrell Design Pty Ltd

NOTES:
THESE DRAWINGS HAVE BEEN PRODUCED BY THE DESIGNER FOR AESTHETIC STYLING PURPOSES ONLY. THE DESIGNER HAS NEITHER CHECKED NOR VERIFIED STRUCTURAL INTEGRITY, REQUIRED QUANTITIES, ACCESSIBILITY, COUNCIL REQUIREMENTS OR INTEGRATION OF NEW WORKS WITH EXISTING CONDITIONS. THE DESIGNER IS NOT AN ENGINEER NOR A QUANTITY SURVEYOR. USE OF THESE DRAWINGS ASSUMES THAT THE CLIENT HAS ASSURED THAT ALL WORKS HAVE BEEN REVIEWED BY A BUILDER AND LICENSED ENGINEER PRIOR TO THE START OF WORKS TO VERIFY COST, FEASIBILITY AND OTHER ACCOUNT FOR OTHER REQUIREMENTS.

REV	DATE	REVISIONS
1	14.14.2018	DA ISSUE
2	23.04.2019	ISSUE FOR TENDER
3	20.05.2019	ISSUE FOR TENDER
4	07.08.2019	ISSUE FOR CONSTRUCTION CERTIFICATE
5	18.09.2019	ISSUE FOR CONSTRUCTION
6	24.09.2019	ISSUE FOR SECTION 4.55 MODIFICATION

CLIENT:

HANNING RESIDENCE

ALTERATIONS AND ADDITIONS
7 ROCK BATH ROAD, PALM BEACH

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF **DYLAN FARRELL DESIGN, PTY LTD.** UNAUTHORIZED USE, CHANGES OR PUBLICATION IS PROHIBITED UNLESS EXPRESSLY APPROVED, IN WRITING, BY **DYLAN FARRELL DESIGN, PTY LTD.**

ISSUED FOR:
- [ ] ISSUED FOR INFORMATION
- [x] APPLICATION TO AUTHORITY
- [ ] ISSUED FOR TENDER
- [ ] ISSUED FOR CONSTRUCTION
- [ ] AS BUILT

JOB NO: MHR
DATE: 24.09.2019
SCALE:

SHEET TITLE:
LANDSCAPE AREA CALCULATIONS DIAGRAM

DRAWING NUMBER:
AD6800

Dylan FARRELL Design. PTY LTD
54 William Street – Paddington -- NSW 2021
www.dylanfarrell.com
ABN 89611535132

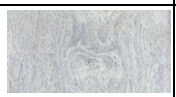
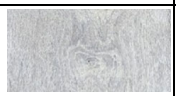
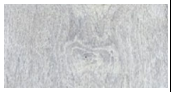
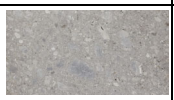
Dylan FARRELL Design

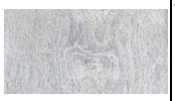
54 William Street
Paddington
2021
NSW
ABN 896115355132

SCHEDULE		FINISHES
ADDRESS		
		7 ROCK BATH ROAD, PALM BEACH
JOB NUMBER		22 -MHR
DATE		15-10-19
ISSUE FOR		SECTION 4.55
ISSUE		
NOTES		
CODES	**P**	PAINT
	T	TIMBER
	CO	COMPOSITE
	GR	GROUT
	TL	TILE
	TH	THRESHOLD
	GL	GLASS
	ST	STONE
	MT	METAL
	LM	LAMINATE
	SP	SPECIAL FINISHES
	MR	MIRROR
	FB	FABRIC

RED HIGHLIGHTED RED - UPDATED
BLUE HIGHLIGHTED BLUE - NEWLY ADDED

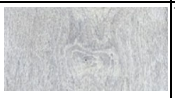
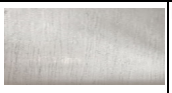
TYPICAL							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
MT04		SLIDING DOORS & WINDOW FRAMES	WINDOW AND DOOR FRAME FINISH	DULUX GREY MASTER OR SIMILAR	GUTTERS AND DOWNPIPES TO FINISHED TO MATCH.	BUILDER	
T08		EXTERIOR TIMBER FINISHES (WINDOW DETAILS)	EXTERIOR TIMBER FINISH	TIMBER TO MATCH NAVURBAN, GLEN ROWAN		BUILDER	
GL05		NORTH FACING GLAZING		SINGLE TONED GLAZING		BUILDER	
GL06		SOUTH/EAST/WEST FACING GLAZING		SINGLE GLAZED		BUILDER	
P01		GF TYPICAL INTERIOR DOORS	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		FF TYPICAL INTERIOR DOORS	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		GF TYPICAL SKIRTING & ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		FF TYPICAL SKIRTING & ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P02		GF: TYPICAL WALLS	PAINT	PAINT FINISH TBC		BUILDER	
P02		FF: TYPICAL WALLS	PAINT	PAINT FINISH TBC		BUILDER	
P03		GF: TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
P03		FF: TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	

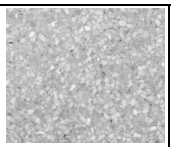
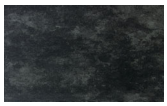
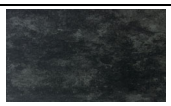
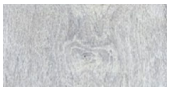
P12		EXTERIOR BRICK PAINT FINISH	PAINT	DULUX NATURAL WHITE OR SIMILAR		BUILDER	
P13		EXTERIOR RENDER	PAINT	DULUX NATURAL WHITE OR SIMILAR		BUILDER	
T01		GF: TYPICAL FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 / BUILDER	
T01		FF: TYPICAL FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 / BUILDER	
GROUND FLOOR : ENTRY							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T01		TIMBER FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 / BUILDER	
P02		WALL FINISH	PAINTED			BUILDER	
T08		ENTRANCE DOOR		TIMBER TO MATCH NAVURBAN, GLEN ROWAN	FRAMEWORK OF DOOR PRICED AS EXISTING AND WITH NEW FRAMEWORK	BUILDER	
GL05		NORTH FACING GLAZING		NORTH FACING SINGLE TONED		BUILDER	
P01		DOOR ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		CEILING		PAINTED FLAT LEXICON 1/2		BUILDER	
P02		DOOR TO POWDER ROOM		PAINTED SEMI GLOSS LEXICON		BUILDER	
GROUND FLOOR : POWDER ROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
TL01		FLOOR TILE		ROSADO CRAZYPAVE		NOVEM MONCUR SALES@NOVEMMONCUR.COM.AU 02 9327 5000 /BUILDER	
GR01		GROUT		TBC		BUILDER	
TH01		THRESHOLD DETAIL BETWEEN TIMBER AND FLOOR TILE		TIMBER TO MATCH T01 (ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY)		ROYAL OAK FLOORS +61 3 9826 3611 / BUILDER	
P04		WALL FINISH	TADELEKT	COLOUR & SPECIFICATION TBC		BUILDER	
ST01		VANITY TOP	STONE HONED/ROUGH	TORRONE	ALLOW FOR PIPEWORK THROUGH STONE.	WORLD STONE INFO@WORLDSTONE.COM.AU 02 9318 2986 /BUILDER	
P05		VANITY MID SECTION/CUPBOARD	TIMBER DOOR WITH PAINTED	CHALK STYLE FINISH SUITABLE FOR WET ENVIRONMENT. COLOUR AND SPEC TBC		JOINER	
LM02		INTERIOR OF VANITY CUPBOARDAND MEDICINE CABINET	MELAMINE	WHITE		JOINER	
P06		VANITY BASE		CHALK STYLE FINISH SUITABLE FOR WET ENVIRONMENT. COLOUR AND SPEC TBC		JOINER	
P01		DOOR		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	

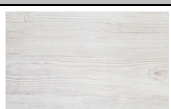
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P04		CEILING FINISH	TADELEKT	COLOUR TBC		BUILDER	
GROUND FLOOR : LAUNDRY							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T01		TIMBER FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 /BUILDER	
LM01		CUPBOARD DOORS	LAMINEX	FINISH TBC	INTERIORS AND EXTERIOR OF CUPBOARDS	JOINER	
ST02		COUNTER TOP	CAESAR STONE	6131 BIANCO DRIFT		CAESARSTONE BUILDER	
TL02		WALL TILE		TBC		BUILDER	
P02		WALL FINISH	PAINTED			BUILDER	
PO3		CEILING	FLAT PAINTED	FINISH TBC	SUITABLE FOR WET ENVIRONMENT	BUILDER	

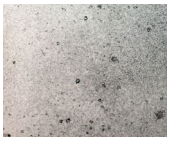
GROUND FLOOR : KITCHEN							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T02		CUPBOARD FINISH 1	TEXTURED EBONISED TIMBER PLANKS	AS PER DFD SAMPLE		JOINER	
T03		CUPBOARD FINISH 2	TEXTURED WHITE WASHED TIMBER	AS PER DFD SAMPLE	TO HAVE NO YELLOW TONES	JOINER	
LM02		CUPBOARD INTERIORS		WHITE MELAMINE		JOINER	
MT01		CUPBOARD FRAMEWORK AND HOOD	BLACKENED STEEL	TEXTURED BLACKENED STEEL	TO MATCH DFD SAMPLE	JOINER AND BUILDER	
GL01		CUPBOARD GLAZING	REEDED/RIBBED GLAZING		TO MATCH DFD SAMPLE	JOINER	
ST02		COUNTER TOP	CAESAR STONE	6131 BIANCO DRIFT		CAESARSTONE BUILDER	
ST03		KITCHEN ISLAND FRONT FACE RECESS STONE	NORWEIGAN ROSE	NORWEIGAN ROSE HONED AND SEALED		EURO MARBLE - COSTA +61 2 8585 2999 Sales@euromarble.com.au /BUILDER	
TL03		TILE SPLASH BACK	MOROCCAN WALL TILE	VM613 'BLUSH"		INDIGO JONES 45 MONCUR STREET, WOOLLHARA, 2025 SALES@INIGOJONES.COM.AU +61 455 995 530 /BUILDER	
GR TBC		GROUT	TBC			/BUILDER	
P03		CEILING	PAINTED FLAT	FINISH TBC	TO MATCH WALLS	/BUILDER	

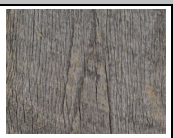
GROUND FLOOR : LOUNGE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T01		TIMBER FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611	
P02		WALL FINISH	PAINTED			BUILDER	

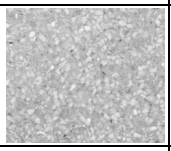
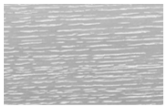
P07		FIREPLACE	WHITE PAINTED RENDER	AS PER DFD SAMPLE		MARK LOVELOCK. DIEMME CREATIVE SOLUTIONS UNIT 3 87-89 MOORE STREET LEICHHARDT, 2040 SYDNEY 0403 254 208 MARKLOVELOCK@DIEMME.COM.AU /BUILDER	
TBC		HEARTH				BUILDER	
TL04		FIREPLACE INTERIOR TILE	FIRE BRICK	ARROTATO FIRE BRICK		ECO OUTOOR CHLOE.A@ECOOUTDOOR.COM.AU /BUILDER	
GL05		SLIDING DOOR GLAZING	SINGLE GLAZING TONED			BUILDER	
MT04		SLIDING DOOR FRAMEWORK	ALUMINIUM	DULUX GREY MASTER OR SIMILAR			
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVES		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		GF: TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
GROUND FLOOR : DINING							
CODE		**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P02		WALL FINISH	PAINT			BUILDER	
TL01		TIMBER FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 /BUILDER	
P03		TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
P01		GF TYPICAL SKIRTING & ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
GROUND FLOOR : FAMILY LOUNGE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P02		WALL FINISH	PAINT			BUILDER	
P08		FIREPLACE	STREE PAINT FINISH	STREE WHITE PAINT TO MATCH DFD SAMPLE		MARK LOVELOCK. DIEMME CREATIVE SOLUTIONS UNIT 3 87-89 MOORE STREET LEICHHARDT, 2040 SYDNEY 0403 254 208 MARKLOVELOCK@DIEMME.COM.AU /BUILDER	
ST04		BENCH	SANDBLASTED AND BUSH HAMMERED NERO MARQUINA			EUROMARBLE CONTACT COSTA 02 8585 2999 /BUILDER	
		LEATHER FOR SEAT PAD					

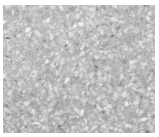
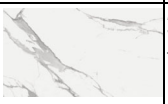
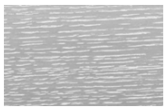
TL08		TERRAZZO ON FLOOR	HONED	TAK-6/EM1031 600X600X20 HONED		SIGNORINO KATHRYN@SIGNORINO.COM.AU +61 3 9427 9100/ BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
MT04		SLIDING DOORS	ALUMINIUM	DULUX GREY MASTER OR SIMILAR		BUILDER	
GL05		SLIDING DOOR GLAZING	GLAZING	SINGLE GLAZED TONED		BUILDER	
P03		CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR : LANDING AND FF HALLWAY							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P02		WALL FINISH	PAINTED			BUILDER	
T04		TIMBER LEDGE		RAW EDGE TIMBER. DFD TO SPECIFY		BUILDER	
P01		DOORS		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		CEILING		PAINTED FLAT COLOUR TBC		BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
STAIRCASE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
FB01		HANDRAIL LEATHER	DISTRESSED LEATHER	GARRETT LEATHER DISTRESSED DIS - 9001 IRISH CREAM		BUILDER	
MT03		HANDRAIL	BLACKENED STEEL	TO MATCH DFD SAMPLE & KITCHEN CABINET FACADES		BUILDER	
MT03		HANDRAIL BRACKETS	BLACKENED STEEL	TO MATCH DFD SAMPLE & KITCHEN CABINET FACADES		BUILDER	
T01		TREADS AND RISERS	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 /BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC			
FIRST FLOOR : STUDY							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P02		WALL FINISH	PAINT			BUILDER	
T01		TIMBER FLOORING	WATER BASED LACQUER - CDD+ GRADE	ARTISAN COLLECTION EUROPEAN OAK ARCTIC GREY		ROYAL OAK FLOORS +61 3 9826 3611 /BUILDER	
P03		TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
FIRST FLOOR : MASTER BEDROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**

P09		FIREPLACE	PAINT	WHITE WASHED OR TREATED TO ACHIEVE A SIMILAR AFFECT SHOWN		BUILDER	
MT02		SCREENING DETAILS	METAL FINISH TBC			BUILDER	
GL04		SCREENING DETAILS	GLASS FINISH TBC			BUILDER	
P02		WALLS	PAINT		TBC	BUILDER	
MT04		NEW WINDOW TO REPLACE EXISTING	ALUMINIMUM PAINTED TO MATCH	DULUX GREY MASTER OR SIMILAR		BUILDER	
P01		DOOR TO ENSUITE		PAINTED FLAT COLOUR TBC		BUILDER	
P03		CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
P01		DOOR TO MASTER FROM LANDING		PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR : MASTER WIR							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T05		WARDROBE JOINERY	TIMBER JOINERY	WHITE WASHED TIMBER		JOINER	
		WARDROBE INTERIOR FINISH		WHITE MELAMINE		JOINER	
P02		WALL FINISH	PAINT		ENSURE SUITABILITY FOR WET ENVIRONMENTS	BUILDER	
TL05 TL06 TL07		FLOOR TILE	3x MARBLE FINISHES IN 2x SIZES	3 MARBLES IN 600X600 TILE, CUT TO MATCH PATTERN SHOWN ON DRAWING. 3 MARBLES IN 300X300 TILE, CUT TO MATCH PATTERN SHOWN ON DRAWING. MARBLE FINISHES TBC **TL05** MARBLE 1. CARRARA GIOLA BY EUROMARBLE **TL06** MARBLE 2. HERMES VANGELI **TL07** MARBLE 3. TBC		BUILDER	
TH		THRESHOLD		TBC	THRESHOLD BETWEEN TIMBER FLOOR IN MASTER BEDROOM AND TILED FLOOR IN WIR & ENSUITE	BUILDER	
GR02		GROUT		TBC		BUILDER	
P01		SKIRTING	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P10		CEILING PAINT	PAINT	WET ROOM SUITABLE PAINT FINISH		BUILDER	
FIRST FLOOR : MASTER ENSUITE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P10		WALL FINISH	ROUGH STREE	BESPOKE FINISH. COLOUR AS PER DFD SAMPLE. TEXTURED FINISH IN STREE AFFECT	TO CURVED WALL REAR OF BATH. ENSURE FINSIH IS SUITABLE FOR WET ENVIROMENTS	BUILDER	

TL05 TL06 TL07		FLOOR TILE	3x MARBLE FINISHES IN 2x SIZES	3 MARBLES IN 600X600 TILE, CUT TO MATCH PATTERN SHOWN ON DRAWING. 3 MARBLES IN 300X300 TILE, CUT TO MATCH PATTERN SHOWN ON DRAWING. MARBLE FINISHES TBC **TL05** MARBLE 1. CARRARA GIOLA BY EUROMARBLE **TL06** MARBLE 2. HERMES VANGELI **TL07** MARBLE 3. TBC		BUILDER	
GR02		GROUT				BUILDER	
P02		WALL FINISH	PAINT		ENSURE FINISH IS SUITABLE FOR WET ENVIRONMENTS	BUILDER	
ST05		MARBLE JAMS, MARBLE VANITY AND SHOWER SLAB		STATUARIO MARBLE	HONED AND SEALED	EURO MARBLE - COSTA +61 2 8585 2999 Sales@euromarble.com.au /BUILDER	
MR01		VANITY MIRROR	CLEAR MIRROR			JOINER	
MR02		ANTIQUE VANITY MIRROR				peter@antiquemirrorglass.com.au /JOINER	
T06		VANITY TIMBER FRONT	TEXTURED GREY WOOD		AS PER DFD SAMPLE	JOINER	
LM02		VANITY INTERIOR		MELAMINE INTERIORS		JOINER	
P10		CEILING	PAINT	PAINTED FLAT COLOUR SUITABLE FOR WET ROOM		BUILDER	
GL02		SHOWER GLAZING	GLAZING		ENSURE GLAZING IS SUITABLE FOR EXTERNAL USE	BUILDER	
ST05		ARCHITRAVE AROUND SHOWER AND WC	MARBLE	STATUARIO MARBLE		EURO MARBLE - COSTA +61 2 8585 2999 Sales@euromarble.com.au /BUILDER	
P01		INTERIOR DOOR ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
MT04		DOOR TO REAR OF PROPERTY	ALUMINIUM	PAINTED TO MATCH DULUX GREY MASTER OR SIMILAR		BUILDER	
GL03		WC FROSTED GLAZING	GLAZING			BUILDER	
GL06		GLAZING TO REAR OF PROPERTY	GLAZING	SINGLE GLAZED		BUILDER	
FIRST FLOOR: JEMIMA'S ROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T06		WARDROBE JOINERY	RUSTIC TIMBER	TIMBER TO MATCH: EBONY AND CO ANTIQUE AMERICAN BARNWOOD WEATHERED SILVERGREY	SEE DFD SAMPLE	JOINER	
P14		WARDROBE JOINERY	LAQUER PAINT FINISH	TBC		JOINER	
LM02		WARDROBE INTERIORS	WHITE MELAMINE			JOINER	

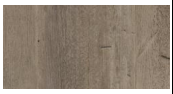
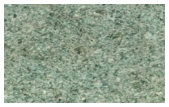
FB--		BEDHEAD UPHOLSTERY					
T06		BED TIMBER FRAMEWORK	TIMBER TO MATCH WARDROBE JOINERY	TIMBER TO MATCH: EBONY AND CO ANTIQUE AMERICAN BARNWOOD WEATHERED SILVERGREY			
P02		WALL FINISH	PAINT			BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
MT04		WINDOW FRAMES	ALUMINIUM	DULUX GREY MASTER		BUILDER	
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		CEILING		PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR: RUPERT'S BEDROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T06		WARDROBE JOINERY	RUSTIC TIMBER	TIMBER TO MATCH: EBONY AND CO ANTIQUE AMERICAN BARNWOOD WEATHERED SILVERGREY	SEE DFD SAMPLE	JOINER	
P14		WARDROBE JOINERY	LAQUER PAINT FINISH	TBC		JOINER	
LM02		WARDROBE INTERIORS	WHITE MELAMINE			JOINER	
P02		WALL FINISH	PAINT			BUILDER	
P01		SKIRTING	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVES	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR: POLLY'S BEDROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T06		WARDROBE JOINERY	RUSTIC TIMBER	TIMBER TO MATCH: EBONY AND CO ANTIQUE AMERICAN BARNWOOD WEATHERED SILVERGREY	SEE DFD SAMPLE	JOINER	
P14		WARDROBE JOINERY	LAQUER PAINT FINISH	TBC		JOINER	
LM02		WARDROBE INTERIORS	WHITE MELAMINE			JOINER	
P02		WALL FINISH	PAINT			BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
		WINDOW FRAMES		TBC		BUILDER	
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		CEILING		PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR: BARNABY'S BEDROOM							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**

T06		WARDROBE JOINERY	RUSTIC TIMBER	TIMBER TO MATCH: EBONY AND CO ANTIQUE AMERICAN BARNWOOD WEATHERED SILVERGREY	SEE DFD SAMPLE	JOINER	
P14		WARDROBE JOINERY	LAQUER PAINT FINISH	TBC		JOINER	
LM02		WARDROBE INTERIORS	WHITE MELAMINE			JOINER	
P02		WALL FINISH	PAINT			BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
		WINDOW FRAMES		TBC		BUILDER	
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P03		TYPICAL CEILING	PAINT	PAINTED FLAT COLOUR TBC		BUILDER	
FIRST FLOOR: BATHROOM 1							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
TL09		PENNY TILE ON SHOWER WALLS	PENNY ROUND	VERDI CRISTALLO PENNY ROUND 23MM		NOVEM MONCUR SALES@NOVEMMONCUR.COM.AU 02 9327 5000/ BUILDER	
TL08		TERRAZZO ON FLOOR	HONED	TAK-6/EM1031 600X600X20 HONED		SIGNORINO KATHRYN@SIGNORINO.COM.AU +61 3 9427 9100/ BUILDER	
TH--		THRESHOLD BETWEEN TERRAZZO FLOOR TILE AND TIMBER				BUILDER	
ST06		MARBLE SHOWER WALL AND VANITY TOP	STATUARIO HONED			WK STONE 02 9772 9888/ BUILDER	
T07		VANITY FACE	TIMBER	OXIDISED AND CERUSED WHITE OAK	AS PER DFD SAMPLE	BUILDER	
LM02		VANITY INTERIOR	WHITE MELAMINE			BUILDER	
GL02		GLASS PARTITION AND DOOR TO SHOWER				BUILDER	
MR01		MEDICINE CABINET MIRROR	PLAIN			BUILDER	
P01		DOORS	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		SKIRTING	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVE	PAINT	PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P11		WALL FINISH		PAINT SUITABLE FOR WET AREAS		BUILDER	
P10		CEILING		PAINT SUITABLE FOR WET AREAS			
FIRST FLOOR: BATHROOM 2							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**

TL09		PENNY TILE ON SHOWER WALLS	PENNY ROUND	VERDI CRISTALLO PENNY ROUND 23MM		NOVEM MONCUR SALES@NOVEMMONCUR.COM.AU 02 9327 5000/ BUILDER	
TL08		TERRAZZO ON FLOOR	HONED	TAK-6/EM1031 600X600X20 HONED		SIGNORINO KATHRYN@SIGNORINO.COM.AU +61 3 9427 9100/ BUILDER	
TH--		THRESHOLD BETWEEN TERRAZZO FLOOR TILE AND TIMBER				BUILDER	
ST06		MARBLE SHOWER WALL AND VANITY TOP	STATUARIO HONED			WK STONE 02 9772 9888/ BUILDER	
T07		VANITY FACE	OXIDISED AND CERUSED WHITE OAK		AS PER DFD SAMPLE	BUILDER	
LM02		VANITY INTERIOR	WHITE MELAMINE			BUILDER	
GL02		GLASS PARTITION AND DOOR TO SHOWER				BUILDER	
MR01		MEDICINE CABINET MIRROR				BUILDER	
P01		DOORS		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		SKIRTING		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P01		ARCHITRAVE		PAINTED SEMI GLOSS COLOUR TBC		BUILDER	
P11		WALL FINISH	LEXICON PAINT	PAINT SUITABLE FOR WET AREAS		BUILDER	
P10		CEILING		PAINT SUITABLE FOR WET AREAS		BUILDER	

EXTERIOR FINISHES

EXTERIOR FAÇADE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T08		TIMBER CLADDING		TIMBER TO MATCH NAVURBAN, GLEN ROWAN		BUILDER	
MT04		WINDOW FRAMES	ALUMINIUM	EXISTING & PROPOSED PAINTED TO MATCH DULUX GREY		BUILDER	
MT04		DOOR FRAMES	ALUMINIUM	EXISTING & PROPOSED PAINTED TO MATCH DULUX GREY		BUILDER	
GL05		GLAZING		NORTH FACING GLAZING SINGLE TONED		BUILDER	
GL06		GLAZING	TBC	SOUTH/WEST/EAST GLAZING SINGLE		BUILDER	
TL11		ROOF TILE			EXISTING CLEANED AND REUSED WHERE POSSIBLE	BUILDER	
P12		BRICK PAINT	PAINT	NATURAL WHITE OR SIMILAR		BUILDER	

P13		RENDER PAINT FINISH	PAINT	NATURAL WHITE OR SIMILAR		BUILDER	
EXTERIOR							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
T08		GATE INTO PROPERTY	TIMBER	NAVURBAN, GLEN ROWAN		BUILDER	
TL12		FLOOR TILE	TBC		FOR TREADS TO PROPERTY	BUILDER	
POOL							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
TL13		POOL TILE	QUARTZITE STONE	GREEN QUARTZITE STONE OR SIMILAR		BUILDER	
TL11		FLOOR TILE SURROUNDING POOL	TBC	CONCRETE LOOK TILE		BUILDER	
T08		POOL FENCE FINISH	ALUMINIUM	GREY TO MATCH WINDOW FRAMES DULUX GREY MASTER		BUILDER	
EXTERIOR SHOWER							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P13		WALL RENDER SURROUNDING SHOWER	PAINT	NATURAL WHITE OR SIMILAR		BUILDER	
CO02		FLOOR	POURED CONCRETE			BUILDER	
						BUILDER	
GARAGE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
P13		RENDERED PAINT FINISH	PAINT	NATURAL WHITE OR SIMILAR		BUILDER	
T08		GARAGE DOOR	PAINTED TIMBER	FINISH TBC		BUILDER	
CO02		GARAGE INTERIOR FLOOR	POURED CONCRETE			BUILDER	
CO04		GARAGE INTERIOR WALLS	CONCRETE BLOCK			BUILDER	
CO02		DRIVEWAY	POURED CONCRETE			BUILDER	
FF EXTERIOR TERRACE							
CODE	**IMAGE**	**ITEM**	**FINISH / TYPE**	**COLOUR & SPECIFICATION**	**NOTE**	**SUPPLIER**	**REVISION**
CO03		TERRACE FLOOR	PLASTIC COMPOSITE DECK	SPEC TBC FINISH - GREY		BUILDER	
GL07		BALUSTRADE	GLASS			BUILDER	
P13		PAINT FINISH FOR EXISTING CHIMNEY	PAINTED BRICK FINISH	NATURAL WHITE OR SIMILAR		BUILDER	

P01	SEMI GLOSS
P02	WHITE SET
P03	FLAT COLOUR
P04	TADELEKT
P05	VANITY CUPBOARD
P06	VANITY CUPBOARD
P07	FIREPLACE RENDER
P08	FIREPLACE STREE RENDER
P09	FIREPLACE WHITE WASH
P10	WET ROOM CEILING
P11	WET ROOM WALLS
P12	BRICK PAINT FINISH
P13	RENDER PAINT FINISH

P14	LAQUER PAINT FINISH
MT01	ROUGHENED BLACKENED STEEL
MT02	MASTER BEDROOM SCREEN DETAILS
MT03	BLACKENED STEEL
MT04	WINDOW AND DOOR FINISH
T01	TIMBER FLOOR
T02	KITCHEN BLACKENED TIMBER
T03	KITCHEN WHITE WASH TIMBER
T04	TIMBER LEDGE
T05	WIR JOINERY
T06	MASTER VANITY FRONT AND KIDS WARDROBE DRAWINGS
T07	KIDS VANITY
T08	EXTERIOR TIMBER CLADDING, DOORS AND GATE
GL01	REEDED RIBBED GLAZING
GL02	SHOWER DOOR/SCREEN GLAZING
GL03	FROSTED GLAZING MASTER BEDROOM WC
GL04	MASTER BEDROOM SCREEN GLAZING
GL05	NORTH FACING SINGLE TONED
GL06	SOUTH/WEST/EAST FACING SINGLE GLAZED
GL07	BALUSTRADE
TL01	POWDER ROOM FLOOR TILE
TL02	WALL TILE
TL03	KITCHEN SPLASH BACK
TL04	FIREPLACE BRICK
TL05	CARRARA
TL06	HERMES
TL07	MARBLE 3
TL08	TERRAZZO FLOOR TILE
TL09	PENNY WALL TILE - GREEN
TL10	PENNY WALL TILE - PINK
TL11	ROOF TILE
TL12	FLOOR TILE
TL13	INTERIOR POOL TOLE
TL14	FLOOR SURROUNDING POOL
ST01	POWDER ROOM STONE TOP
ST02	LAUNDRY BENCH TOP
ST03	KITCHEN ISLAND RECESS
ST04	FIREPLACE BENCH
ST05	ENSUITE MARBLE
ST06	MARBLE VANITY
LM01	LAUNDRY CUPBOARD DOORS
LM02	MELAMINE CUP'D INTERIOR
CO01	KITCHEN COUNTER TOP
CO02	EXTERIOR CONCRETE
CO03	EXTERIOR TERRACE FLOOR