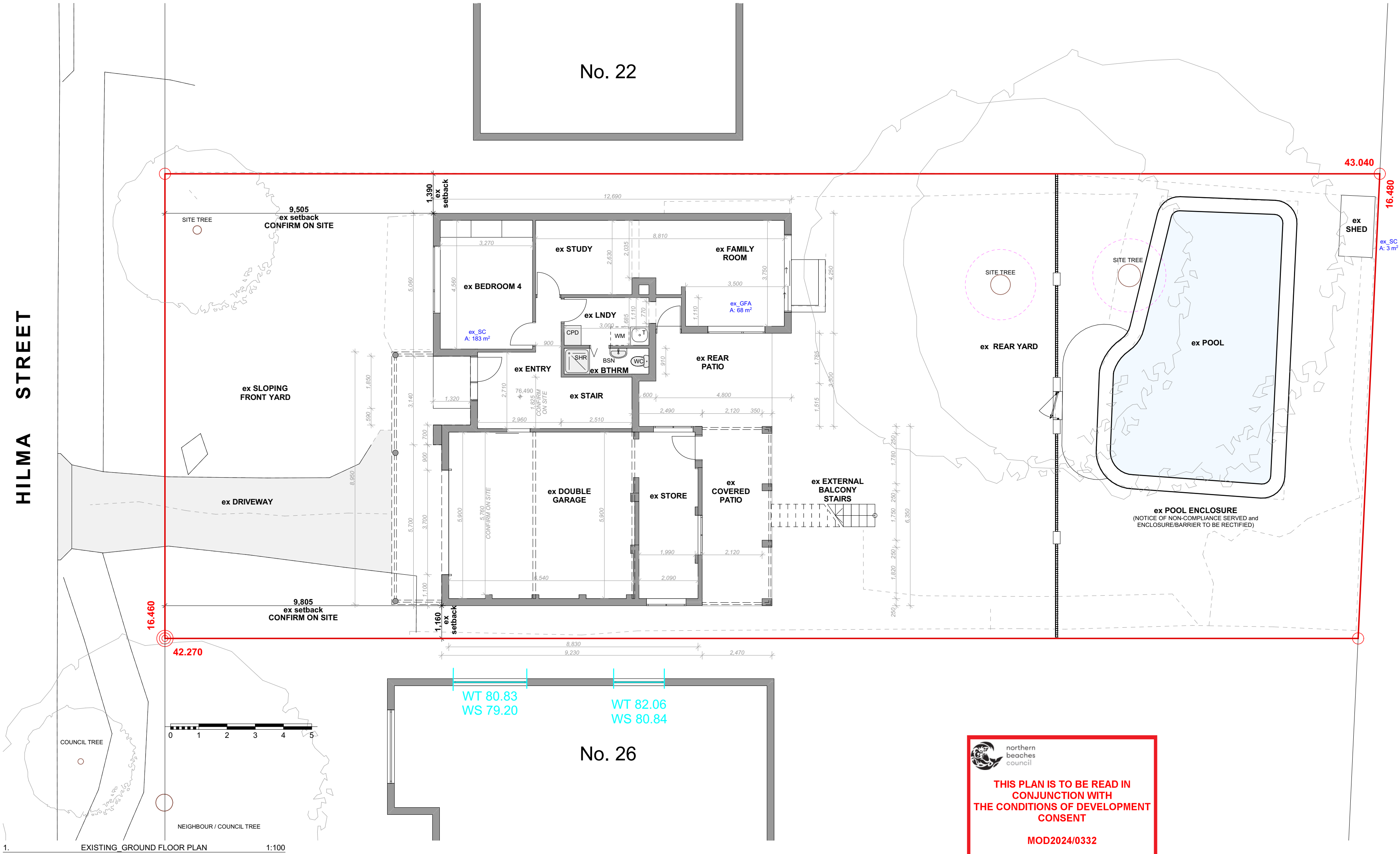




1. EXISTING GROUND FLOOR PLAN 1:100

COLLARROY PRIMARY SCHOOL

DA 2023/1585



|       |    |                                                        |            |       |    |             |      |  |  |
|-------|----|--------------------------------------------------------|------------|-------|----|-------------|------|--|--|
| G     | RP | ISSUE FOR CONSTRUCTION - UPDATES                       | 14.03.2024 |       |    |             |      |  |  |
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| B     | RP | CONCEPTS APPROVAL & DISCUSSION                         | 06.09.2023 |       |    |             |      |  |  |
| A     | RP | PRELIMINARY - INITIAL CONCEPTS FOR REVIEW & DISCUSSION | 25.08.2023 |       |    |             |      |  |  |
| ISSUE | BY | DESCRIPTION                                            | DATE       | ISSUE | BY | DESCRIPTION | DATE |  |  |

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2. DO NOT SCALE OFF DRAWINGS.

**GENERAL ARRANGEMENT**

NOT FOR CONSTRUCTION

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**LOT 43, DP 223914**

COUNCIL  
**NORTHERN BEACHES COUNCIL**

PROJECT  
**ALTERATIONS & ADDITIONS**  
- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements

24 HILMA STREET, COLLARROY PLATEAU NSW, 2097

CLIENT  
**ANNIE DOYLE and FRED VAN STEEL**

**HARGROVES DESIGN CONSULTANTS**

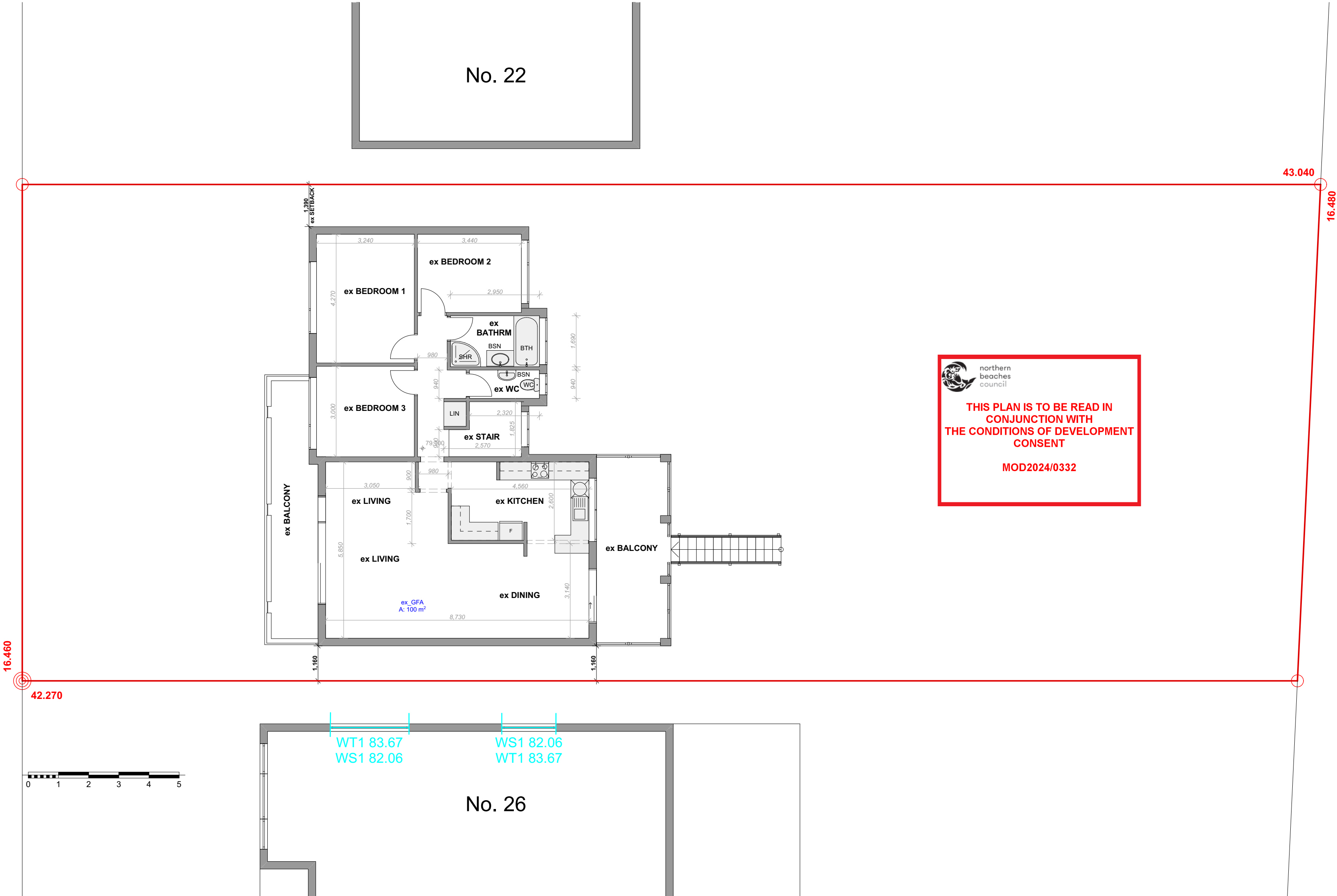
M: 0410 669 148  
E: jacqui@hargroves.com.au

|       |               |                            |          |       |
|-------|---------------|----------------------------|----------|-------|
| DATE  | 2023          | TITLE                      | Sheet No | Issue |
| SCALE | AS NOTED @ A2 | EXISTING GROUND FLOOR PLAN | GA-101   | G     |
| DRAWN | R.P.          |                            |          |       |



HILMA STREET

COLLARROY PRIMARY SCHOOL



1. EXISTING FIRST FLOOR PLAN 1:100



|       |    |                                                        |            |       |    |             |      |  |  |
|-------|----|--------------------------------------------------------|------------|-------|----|-------------|------|--|--|
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|                                                                                                                                                                                                                                    |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
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| 2. DO NOT SCALE OFF DRAWINGS.                                                                                                                                                                                                      |  |
| <b>GENERAL ARRANGEMENT</b>                                                                                                                                                                                                         |  |
| NOT FOR CONSTRUCTION                                                                                                                                                                                                               |  |

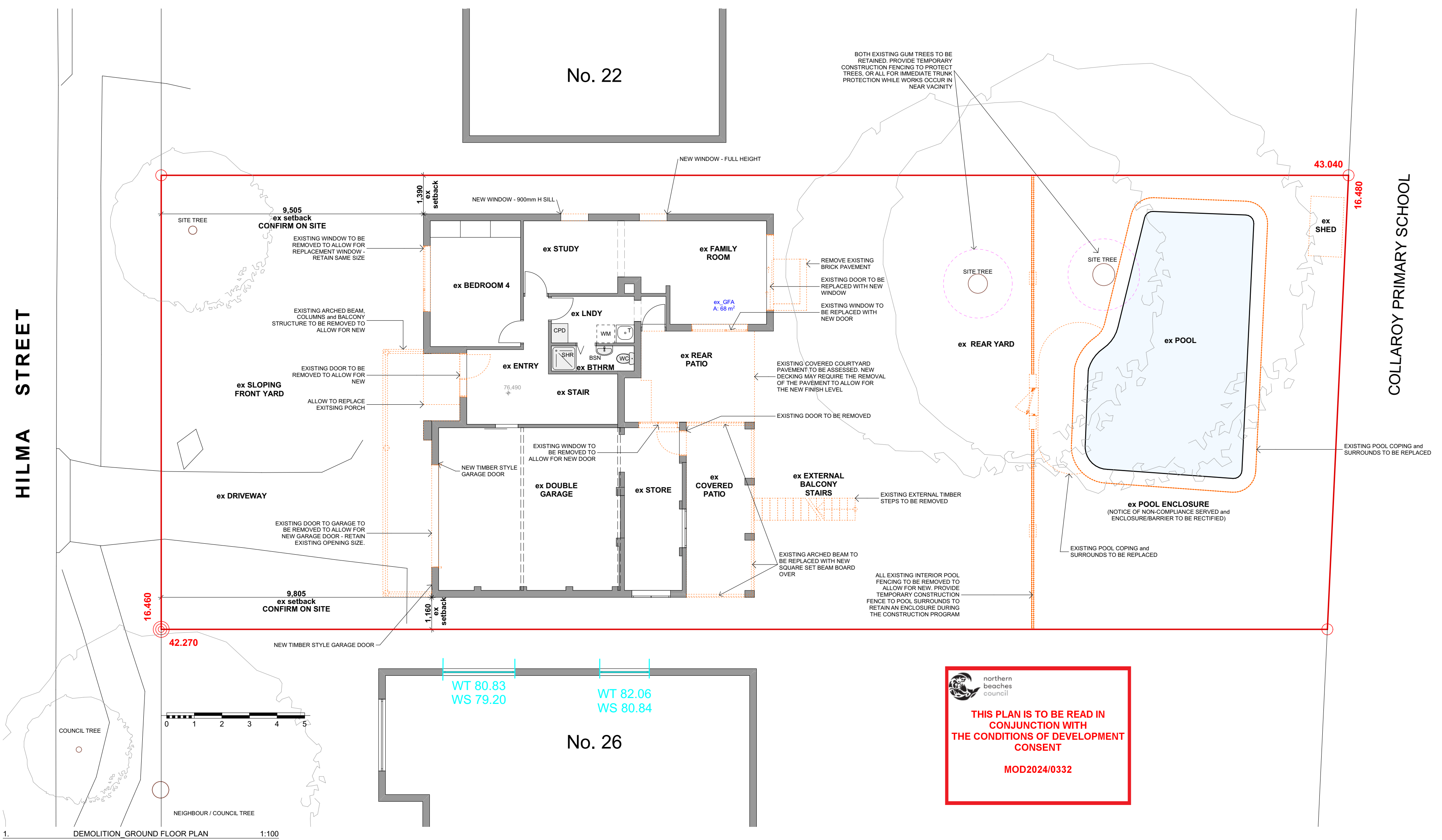
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|                                                                                                                                                                        |  |
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|                                                                                                                                         |  |
|-----------------------------------------------------------------------------------------------------------------------------------------|--|
| LOT & DP                                                                                                                                |  |
| LOT 43, DP 223914                                                                                                                       |  |
| COUNCIL                                                                                                                                 |  |
| NORTHERN BEACHES COUNCIL                                                                                                                |  |
| PROJECT                                                                                                                                 |  |
| ALTERATIONS & ADDITIONS                                                                                                                 |  |
| - first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements |  |
| 24 HILMA STREET, COLLARROY PLATEAU NSW, 2097                                                                                            |  |
| CLIENT                                                                                                                                  |  |
| ANNIE DOYLE and FRED VAN STEEL                                                                                                          |  |

|          |               |                              |          |       |                                               |  |
|----------|---------------|------------------------------|----------|-------|-----------------------------------------------|--|
| Designer |               | HARGROVES DESIGN CONSULTANTS |          |       | M: 0410 669 148<br>E: jacqui@hargroves.com.au |  |
| DATE     | 2023          | TITLE                        | Sheet No | Issue |                                               |  |
| SCALE    | AS NOTED @ A2 | EXISTING FIRST FLOOR PLAN    | GA-102   | G     |                                               |  |
| DRAWN    | R.P.          |                              |          |       |                                               |  |



 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2024/0332**



|       |    |                                                        |            |       |    |             |      |  |  |
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NORTH

LOT & DP  
**LOT 43, DP 223914**

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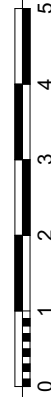
24 HILMA STREET, COLLAROY PLATEAU NSW, 2097

CLIENT  
**ANNIE DOYLE and FRED VAN STEEL**

|       |                  |       |                                     |          |        |       |          |
|-------|------------------|-------|-------------------------------------|----------|--------|-------|----------|
| DATE  | 2023             | TITLE | <b>DEMOLITION GROUND FLOOR PLAN</b> | Sheet No | GA-103 | Issue | <b>G</b> |
| SCALE | AS NOTED<br>@ A2 |       |                                     |          |        |       |          |
| DRAWN | R.P.             |       |                                     |          |        |       |          |

**HARGROVES DESIGN CONSULTANTS**

M: 0410 669 148  
E: jacqui@hargroves.com.au



HILMA STREET

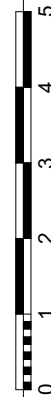
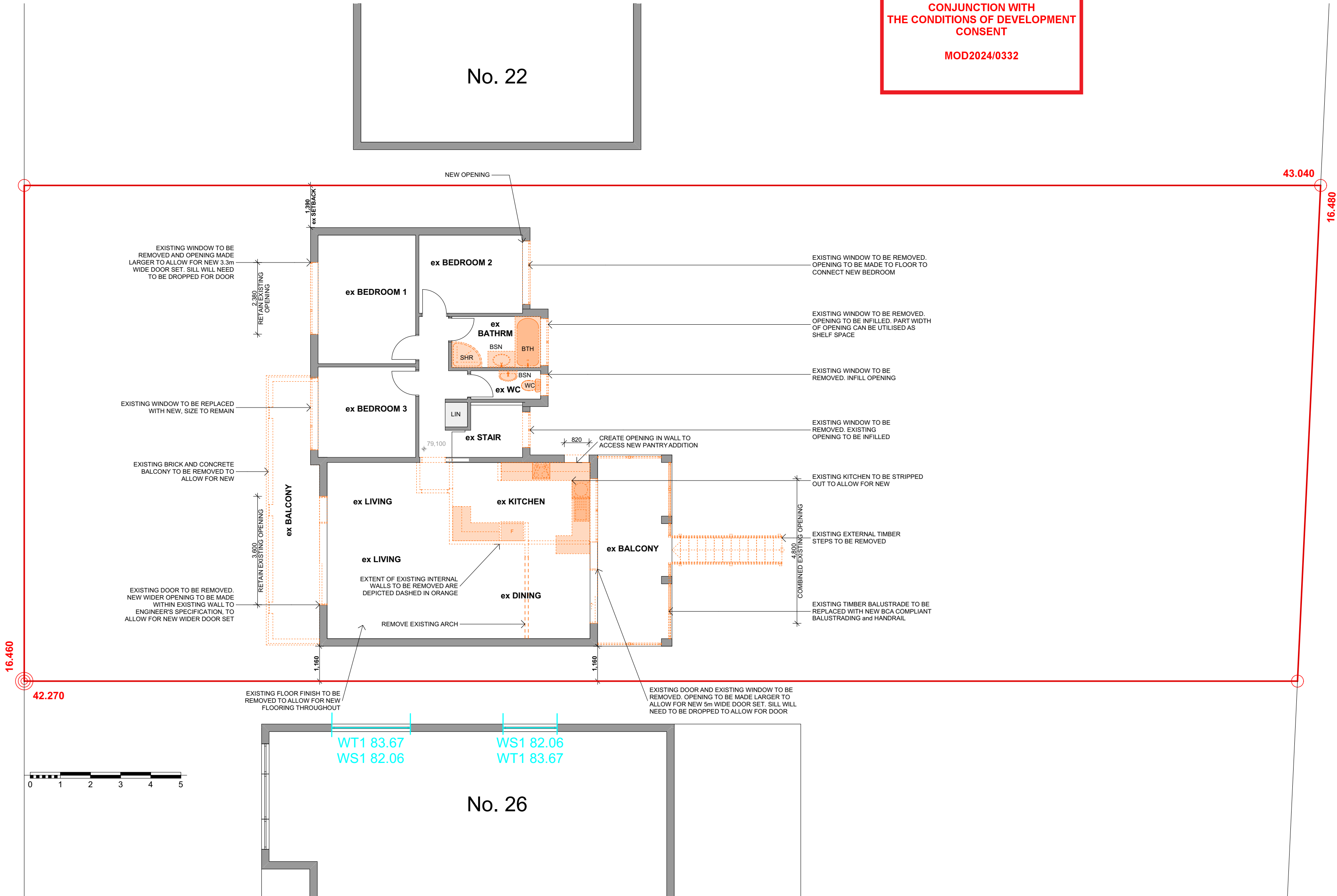
COLLAROY PRIMARY SCHOOL



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT

MOD2024/0332



DA 2023/1585

|       |    |                                                        |            |       |    |             |      |  |  |
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LOT & DP  
LOT 43, DP 223914  
COUNCIL  
NORTHERN BEACHES COUNCIL

PROJECT

ALTERATIONS & ADDITIONS  
- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements  
24 HILMA STREET, COLLAROY PLATEAU NSW, 2097

Designer  
HARGROVES DESIGN CONSULTANTS  
M: 0410 669 148  
E: jacqui@hargroves.com.au

DATE

2023

TITLE

DEMOLITION FIRST FLOOR PLAN

SCALE

AS NOTED @ A2

DRAWN

R.P.

Sheet No

GA-104

Issue

G

**5.Masonry:**

Conditions of the development consent and the relevant requirements of Section H, Part H1 Windows NCC 2002, H1D6 along with H2D4, HP6, HP8, and AS 3700(2018) - Masonry Code.

**Lists in Masonry Part 5.6 of HP5.**

**Scope: Any new masonry work required for piers and landings walls**

**5.6 Glazing:**

Conditions of the development consent and the relevant requirements of Section H, Part H1 Windows NCC 2002, H1D6 along with H2D5, HP6, and Part 6.2 Subfloor Ventilation, and Part 6.2.1 Subfloor Ventilation Normative Requirements, and AS 1884(2021) - Residential: frame construction, AS 4100 (2020) - Steel structures

**Scope: New lightweight wall construction and any new internal partition walls.**

**Roof and Wall cladding, including Roof Plumbing:**

Conditions of the development consent and the relevant requirements of Section H, Part H1 Windows NCC 2002, H1D7 along with H2D8, HP7, Part 7.2 Steel Roofing; and AS 1562.1 (2018) - Metal Roof Sheetling, Part 7.4 of the NCC- Gutters and Downpipes; and AS/NZS 3500 (2016) - Stormwater Drainage, Part 7.5 of the Timber and Composite wall cladding for Caspnz, Cladding including soffits, and flashings to openings; AS 4200 (2017) Pliable building materials used underfoot; and AS 4911 (2016) Cement products - Flat sheet

**Scope: New roofing and replacement roofing, as well as new Wall Cladding to new external walls**

**6.Glazing:**

Conditions of the development consent and the relevant requirements of Section H, Part H1 Windows NCC 2002, H1D6 along with H2D7, HP6 Part 8.1 and 8.3, and AS 1288(2021) - Glass in buildings; AS 2047(2014) - Windows in buildings

**Certification of compliance should be provided to the Principal Certifying Authority**

**For all glazing supplied by the contractor and shower screens and balcony railings**

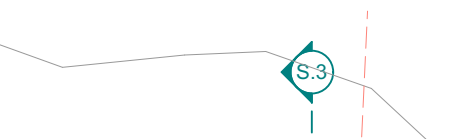
**All external door and window glazing must be in accordance with the BASIX certificate**

STRUCTURAL ENGINEER: REFER TO SEPARATE DOCUMENTATION BY STRUTCA CONSULTING ENGINEERS

PROJECT ARBORIST: A PROJECT ARBORIST IS TO BE ENGAGED TO MEET CONDITIONS 13 - 15 OF THE DA CONSENT

SWIMMING POOL: CONDITIONS 22 - 23, and 26 MUST BE MET AND MAINTAINED THROUGHOUT CONSTRUCTION PROGRAM AND AS AN ONGOING CONDITION OF THE DEVELOPMENT

CONDITION 7. STORMWATER DISPOSAL: REFER TO THE STORMWATER ENGINEERING PLANS FOR DETAILED DESIGN AND DISPOSAL REQUIREMENTS CD7338 H01 STRUCTURAL CONSULTING ENGINEERS



CONDITION 10, ROOF COLOUR: THE NEW ROOF SHEETING SHALL BE COMPLETED IN A **MEDIUM-DARK** RANGE OF COLORBOND COLOURS IN ORDER TO MEET THIS CONDITION - REFER TO UPDATED FINISHES SCHEDULE

---

CONDITION 12, FIREPLACE: IF THE FIREPLACE IS TO BE INSTALLED IN THE APPROVED LOCATION, THIS MUST BE A GAS OPERATED FIREPLACE AND NOT WOOD FUEL.

---

**GLAZED DOORS AND WINDOWS:**  
ALL NEW GLAZED DOORS AND NEW WINDOWS MUST MEET THE U-VALUE AND SHGC VALUE OF THE BASIX CERTIFICATE A1372149

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## SCOPE:

### External

1. New linear weatherboard cladding to east and west, upper floor walls only, acrylic render to all existing or new external walls
2. New colourbond roof sheeting (new and replacement)
3. Extension of the first floor over the existing ground floor family room
4. Extension of the front and rear balconies
5. Pool compliance - new internal fence to AS1928, 1-2012
6. New pool deck in Milboard
7. New Cabana and Spa
8. Pool coping to be replaced with Deck
9. New courtyard to rear off family room
10. Enclose the immediate area off the garage/store room
11. Landscaping details using layered Corten, veggie garden and featuring the gumtrees

### Internal

1. New timber flooring throughout (wide oak board)
2. New lighting
3. Replace all windows and doors to include large statement front door
4. New kitchen and butlers pantry 'Dulux Moreeland'
5. New bedroom to rear in new extension
6. Balcony roof gables to have exposed collar tie in scissor truss construction with vaulted ceiling

| Project address                                                                              |                                                                                     |
|----------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| Project name                                                                                 | Coffaro Plateau Residence_03                                                        |
| Street address                                                                               | 14 HILMA STREET COLLARROY PLATEAU 2097                                              |
| Local Government Area                                                                        | Northern Beaches Council                                                            |
| Plan type and number                                                                         | Deposited Plan D92239514                                                            |
| Lot number                                                                                   | 43                                                                                  |
| Section number                                                                               | N/A                                                                                 |
| Project type                                                                                 |                                                                                     |
| Dwelling type                                                                                | Separate dwelling house                                                             |
| Type of alteration and addition                                                              | My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa). |
| N/A                                                                                          | N/A                                                                                 |
| Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small> |                                                                                     |
| Name / Company name: RP DESIGN STUDIO                                                        |                                                                                     |
| ABN (if applicable): 13177948798                                                             |                                                                                     |

3. ALL BUILDING WORK IS TO BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF AS APPROVED EDITION OF THE BCA (NATIONAL CONSTRUCTION CODE), THE AUSTRALIAN STANDARDS AND CONDITIONS OF CONTRACT FOR BUILDING WORKS.

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|                                                                                                                                                                         |           |                                                                                       |                                            |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|---------------------------------------------------------------------------------------|--------------------------------------------|
|                                                                                    | NORTH     |  | LOT & DP<br><b>LOT 43, DP 223914</b>       |
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PROJECT

**ALTERATIONS & ADDITIONS**

- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements

**24 HILMA STREET, COLLAROY PLATEAU NSW, 2097**

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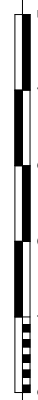
CLIENT

**ANNIE DOYLE and FRED VAN STEEL**

|          |                    |                                                                                             |               |
|----------|--------------------|---------------------------------------------------------------------------------------------|---------------|
| Designer |                    | <b>HARGROVES</b> <b>DESIGN</b> CONSULTANTS<br>M: 0410 669 148<br>E: jacqui@hargroves.com.au |               |
| DATE     | 2023               | TITLE                                                                                       | Sheet No      |
| SCALE    | AS NOTED<br>(@ A2) | <b>PROPOSED GROUND FLOOR<br/>PLAN</b>                                                       | <b>GA-105</b> |
| DESIGN   |                    |                                                                                             |               |

|       |    |                                                        |            |       |    |             |      |
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A2 SIZE SHEET



**NCC (National Construction Code), 2022 with the ABCB Housing Provisions**

**3 Site Preparation:**  
Earthwork to be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979, conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D3, along with H2D2, HP3 Part 3.2 Earthworks, Part 3.3 Drainage and Part 3.4 Termite risk management  
**Scope:** Area allocated for new extension and for cabana, spa and decking, to be levelled for Concrete Slab on Ground or piers. All other areas will have minimal removal of soil for service trenching and new footings. All earthwork excavation in accordance with Conditions of Consent

**3 Stormwater drainage:**  
Conditions of the development consent and the relevant requirements of Section H, Part H2 Volume 2 NCC 2022, H2D2, HP3 Part 3.3, and AS/NZ 3500(2021) Part 3 - Stormwater drainage; AS/NZ 3500(2021) Part 5 - Domestic Installations - section 5 - Stormwater drainage  
**Scope:** Stormwater in accordance with Conditions of Consent, and all details by a Professional Engineer, together with a written statement certifying that the design complies with the nominated Standards, and Conditions of the Consent.

**3 Termite Protection:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, HP3 Part 3.4; and AS 3660.1(2014) - Protection of buildings from subterranean termites  
**Certificate to be supplied by installer.**

**4 Footings and Slabs:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D4 along with H2D3 HP4 Part 4.2, AS 2870(2011) - Residential slabs and footings; AS 3600(2018) - Concrete structures; AS 2159(2009) - Piling; Design and installation  
**Scope:** All structural details by a Professional Engineer, together with a written statement certifying that the design complies with the nominated Standards, and Conditions of the Consent.

**5 Masonry:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D5 along with H2D4, HP5; and AS 3700(2018) - Masonry Code; Lintels in Masonry Part 5.6 of HP5.  
**Scope:** Any new masonry work required for piers and landscaping walls

**6 Framing:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D6 along with H2D5, HP6, and Part 6.2 Subfloor Ventilation, and Part 6.3 Structural Steel Members; and AS 1684(2021) - Residential: frame construction, AS 4100 (2020) - Steel structures  
**Scope:** New Lightweight wall construction and any new Internal partition walls.

**7 Roof and Wall cladding, including Roof Plumbing:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D7 along with H2D6, HP7, Part 7.2 Sheet Roofing; and AS 1562.1 (2018) - Metal Roof Sheet, Part 7.4 of the NCC, Gutters and Downpipes; and AS/NZ 3500 (2021) Part 2 - Stormwater Drainage; AS/NZ 3500(2021) Part 5 - Domestic Installation, section 5 - Stormwater Drainage, Part 7.5 Timber and Composite wall cladding for Cappings, Cladding including soffits, and flashings to openings; AS 4200 (2017) Pliable building membranes and underlays; AS 2908 (2000) Cellulose-cement products - Flat sheet  
**Scope:** New Roofing and replacement Roofing, as well as new Wall Cladding to new external walls

**8 Glazing:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D8 along with H2D7, HP8 Part 8.1 and 8.3; and AS 1288(2021) - Glass in buildings; AS 2047(2014) - Windows in buildings  
Certification of compliance should be provided to the Principal Certifying Authority upon installation by the glazing supplier for shower screens and glass balustrading. All external door and window glazing must be in accordance with the BASIX certificate

**NCC (National Construction Code), 2022 with the ABCB Housing Provisions CONT.**

**9 Fire Safety:**  
Conditions of the development consent and the relevant requirements of Section H, Part H3 Volume 2 NCC 2022, H3D6, HP3 Part 9.5; and AS3786 (2014) Smoke Alarms. Part 9.2 Fire separation of external walls  
**Ensure Smoke Alarms, new and existing, are installed in accordance with NCC Vol2 H3D6 ABCB HP Part 9.5.1, and Parts 9.5.2 to 9.5.4**

**10 Health and Amenity:**  
All Health and Amenity must be carried out in accordance with the relevant requirements of Section H, Part H4 Volume 2 NCC 2022, H4P1 HP10 Part 10.2; and AS4654 (2012) Waterproofing Membranes  
**Scope:** Waterproofing as per general Specification Details.  
Room Heights H4P2 HP10 Part 10.3; Facilities H4P3 HP10 Part 10.4; Light H4P4 HP10 Part 10.5; Ventilation H4P5 HP10 Part 10.6; Sound Insulation H4P6 HP10 Part 10.7; Condensation Management H4P7 HP10 Part 10.8  
**Scope:** Any new internal refurbishment works - refer to Architectural Plans and details including replacement ceilings, new walls, wet areas and skylights

**11 Safe Movement and Access:**  
All Stair elements must be carried out in accordance with the relevant requirements of Section H, Part H5 Volume 2 NCC 2022, H5P1 HP11 Part 11.2 Stairway and ramp construction  
**Scope:** Ensure new external stairs and all balustrades comply

**13 Energy Efficiency:** Not yet in force. NSW PART H6. Refer to NCC 2019 Amd.1 Building Fabric Part 3.12.1 of the most current edition of the BCA (volume 2)  
External Glazing Part 3.12.2 of the most current edition of the BCA (volume 2)  
Building Sealing Part 3.12.3 of the most current edition of the BCA (volume 2)  
Air Movement Part 3.12.4 of the most current edition of the BCA (volume 2)  
Services Part 3.12.5 of the most current edition of the BCA (volume 2)  
**Scope:** BASIX Certificate Applies to internal refurbishments. 3 star water ratings for any new tapware and toilets. LED Light Fittings. Any replacement of HWU

STRUCTURAL ENGINEER: REFER TO SEPARATE DOCUMENTATION BY STRUCTA CONSULTING ENGINEERS

PROJECT ARBORIST: A PROJECT ARBORIST IS TO BE ENGAGED TO MEET CONDITIONS 13 - 15 OF THE DA CONSENT

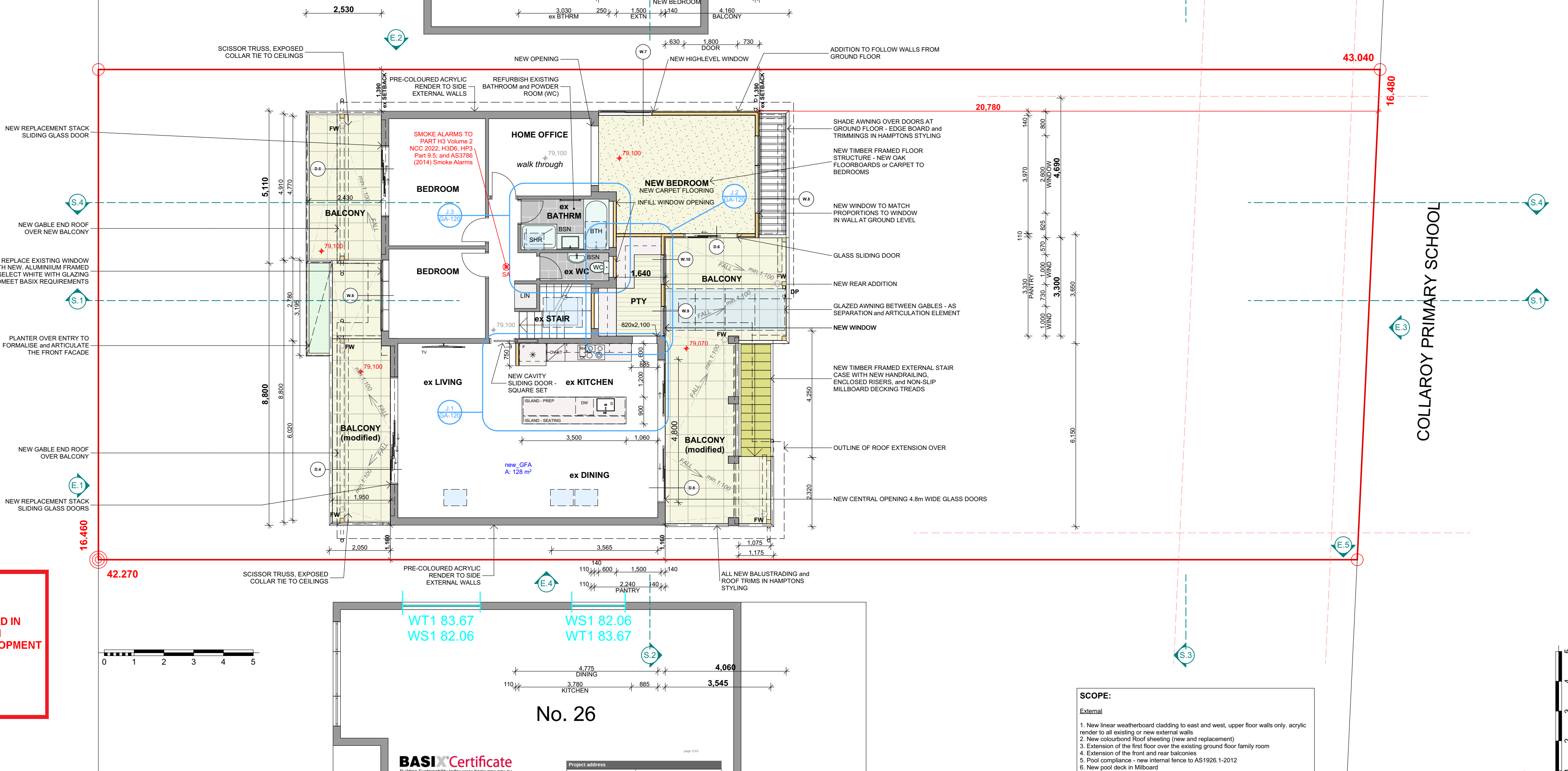
SWIMMING POOL: CONDITIONS 22 - 23, and 26 MUST BE MET AND MAINTAINED THROUGHOUT CONSTRUCTION PROGRAM, AND AS AN ONGOING CONDITION OF THE DEVELOPMENT

CONDITION 7. STORMWATER DISPOSAL: REFER TO THE STORMWATER ENGINEERING PLANS FOR DETAILED DESIGN AND DISPOSAL REQUIREMENTS CD7338 H01 STRUCTA CONSULTING ENGINEERS

CONDITION 10. ROOF COLOUR: THE NEW ROOF SHEETING SHALL BE COMPLETED IN A **MEDIUM-DARK** RANGE OF COLORBOND COLOURS IN ORDER TO MEET THIS CONDITION - REFER TO UPDATED FINISHES SCHEDULE

CONDITION 12. FIREPLACE: IF THE FIREPLACE IS TO BE INSTALLED IN THE APPROVED LOCATION, THIS MUST BE A GAS OPERATED FIREPLACE AND NOT WOOD FUEL.

**GLAZED DOORS AND WINDOWS:**  
ALL NEW GLAZED DOORS AND NEW WINDOWS MUST MEET THE U-VALUE AND SHGC VALUE OF THE BASIX CERTIFICATE A1372149



1. PROPOSED FIRST FLOOR PLAN 1:100

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**MOD2024/0332**

**BASIX Certificate**  
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1372149\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/06/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Thursday, 14 March 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address                 |                                                                                    |
|---------------------------------|------------------------------------------------------------------------------------|
| Project name                    | Collaroy Plateau Residence_03                                                      |
| Street address                  | 24 HILMA STREET COLLAROY PLATEAU 2097                                              |
| Local Government Area           | Northern Beaches Council                                                           |
| Plan type and number            | Deposited Plan DP223914                                                            |
| Lot number                      | 43                                                                                 |
| Section number                  | N/A                                                                                |
| Proposed development            |                                                                                    |
| Dwelling type                   | Separate dwelling house                                                            |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa) |
| N/A                             | N/A                                                                                |
| Certificate Prepared by         |                                                                                    |
| Name / Company Name             | RFP DESIGN STUDIO                                                                  |
| ABN (if applicable)             | 1317948788                                                                         |

**SCOPE:**

**External**

1. New linear weatherboard cladding to east and west, upper floor walls only. acrylic render to all existing or new external walls
2. New colourbond Roof sheeting (new and replacement)
3. Extension of the first floor over the existing ground floor family room
4. Extension of the front and rear balconies
5. Pool compliance - new internal fence to AS1926.1-2012
6. New pool deck in Milboard
7. New Cabana and Spa
8. Pool coping to be replaced with Deck
9. New courtyard to rear off family room
10. Enclose the immediate area off the garage/store room
11. Landscaping details using layered Corten, veggie garden and featuring the gumtrees

**Internal**

1. New timber flooring throughout (wide oak board)
2. New lighting
3. Replace all windows and doors to include large statement front door
7. New kitchen and butlers pantry 'Dulux Mooreland'
9. New bedroom to rear in new extension
10. Balcony roof gables to have exposed collar tie in scissor truss construction with vaulted ceiling

**GENERAL NOTES**

1. ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
2. DO NOT SCALE OFF DRAWINGS.

**GENERAL ARRANGEMENT NOT FOR CONSTRUCTION**

**3. ALL BUILDING WORK IS TO BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF AS APPROVED EDITION OF THE BCA (NATIONAL CONSTRUCTION CODE), THE AUSTRALIAN STANDARDS and CONDITIONS OF CONSENT.**

4. THE INFORMATION PROVIDED ON THESE PLANS HAVE BEEN PRODUCED BASED ON THE INFORMATION PROVIDED TO US BY THE CLIENT, AND THE CLIENT'S CONSULTANTS.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS, UNDERGROUND AND OVERHEAD SERVICES, AND FLOOR AREAS CHECKED AND VERIFIED.
6. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK OR FABRICATION OF ITEMS.



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LOT & DP  
**LOT 43, DP 223914**  
COUNCIL  
**NORTHERN BEACHES COUNCIL**

PROJECT  
**ALTERATIONS & ADDITIONS**  
- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements  
24 HILMA STREET, COLLAROY PLATEAU NSW, 2097

CLIENT  
**ANNIE DOYLE and FRED VAN STEEL**

Designer  
**HARGROVES DESIGN CONSULTANTS**  
M: 0410 669 148  
E: jacqui@hargroves.com.au

| DATE  | 2023          | TITLE                            | Sheet No      | Issue    |
|-------|---------------|----------------------------------|---------------|----------|
| SCALE | AS NOTED @ A2 | <b>PROPOSED FIRST FLOOR PLAN</b> | <b>GA-106</b> | <b>G</b> |
| DRAWN | R.P.          |                                  |               |          |





## GLASS FENCE

CONDITION 10. ROOF COLOUR: THE NEW ROOF SHEETING SHALL BE COMPLETED IN A **MEDIUM-DARK** RANGE OF COLORBOND COLOURS IN ORDER TO MEET THIS CONDITION

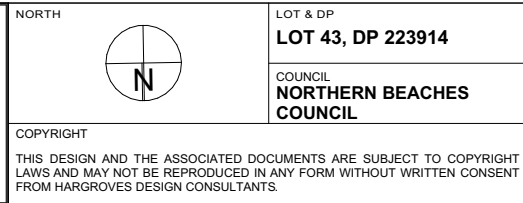


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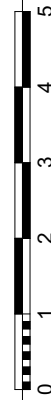
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PROJECT  
**ALTERATIONS & ADDITIONS**  
- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements  
**24 HILMA STREET, COLLAROY PLATEAU NSW, 2097**

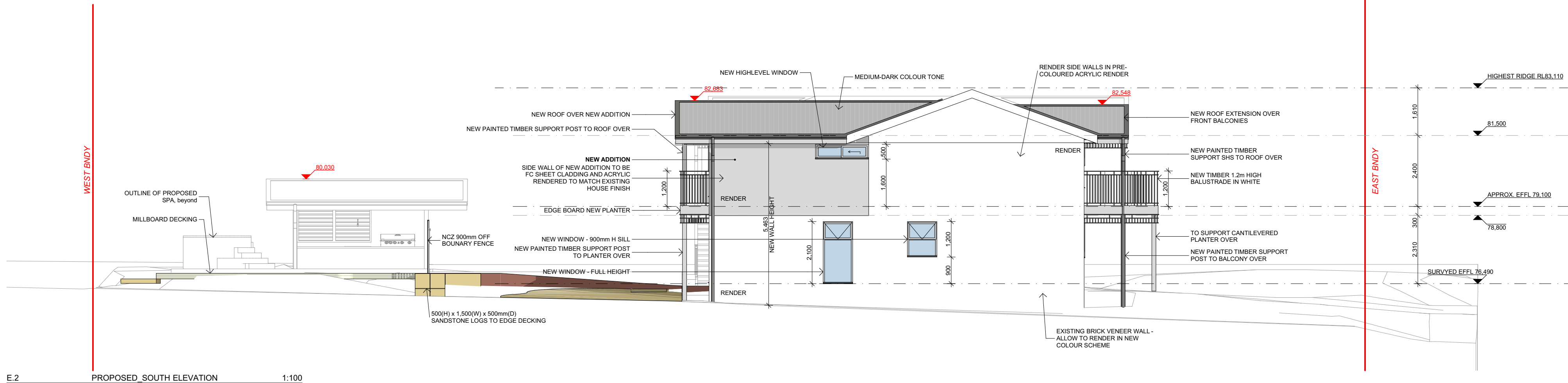
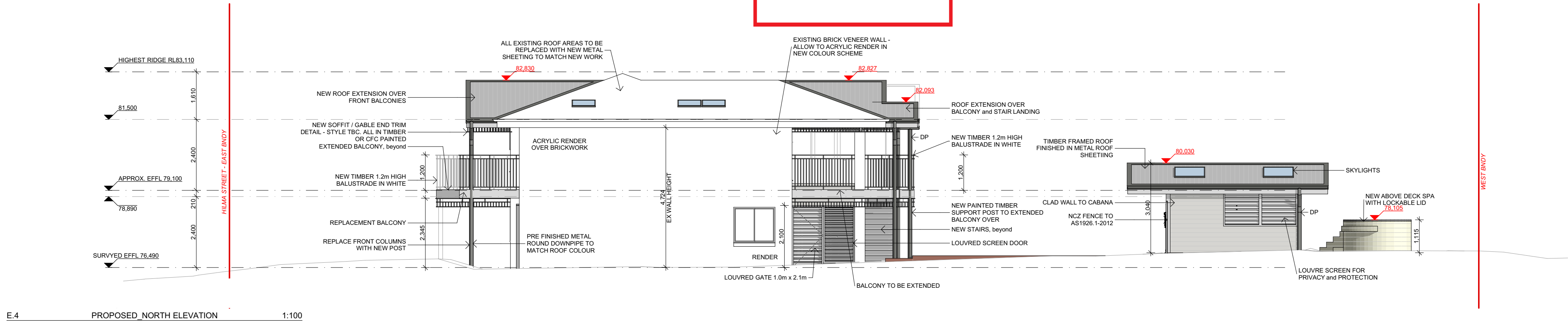
CLIENT  
**ANNIE DOYLE and FRED VAN STEEL**

|                                                                                                  |               |                                                              |               |          |
|--------------------------------------------------------------------------------------------------|---------------|--------------------------------------------------------------|---------------|----------|
| Designer<br><b>HARGROVES DESIGN CONSULTANTS</b><br>M: 0410 669 148<br>E: jacqui@hargroves.com.au |               |                                                              |               |          |
| DATE                                                                                             | 2023          | TITLE                                                        | Sheet No      | Issue    |
| SCALE                                                                                            | AS NOTED @ A2 | <b>EXISTING &amp; PROPOSED<br/>ELEVATIONS incl. FINISHES</b> | <b>GA-110</b> | <b>G</b> |
| DRAWN                                                                                            | R.P.          |                                                              |               |          |



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

MOD2024/0332



DA 2023/1585



|       |    |                                                        |            |       |    |             |      |  |  |
|-------|----|--------------------------------------------------------|------------|-------|----|-------------|------|--|--|
| G     | RP | ISSUE FOR CONSTRUCTION - UPDATES                       | 14.03.2024 |       |    |             |      |  |  |
| F     | RP | ISSUE FOR CONSTRUCTION - UPDATES                       | 27.02.2024 |       |    |             |      |  |  |
| E     | RP | ISSUE FOR CONSTRUCTION                                 | 02.02.2024 |       |    |             |      |  |  |
| D     | RP | ISSUE FOR CO-ORDINATION & CONSTRUCTION                 | 31.01.2024 |       |    |             |      |  |  |
| C     | RP | ISSUE FOR DEVELOPMENT APPLICATION                      | 05.10.2023 |       |    |             |      |  |  |
| B     | RP | CONCEPTS APPROVAL & DISCUSSION                         | 06.09.2023 |       |    |             |      |  |  |
| A     | RP | PRELIMINARY - INITIAL CONCEPTS FOR REVIEW & DISCUSSION | 25.08.2023 |       |    |             |      |  |  |
| ISSUE | BY | DESCRIPTION                                            | DATE       | ISSUE | BY | DESCRIPTION | DATE |  |  |

**GENERAL NOTES**

1. ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

2. DO NOT SCALE OFF DRAWINGS.

**GENERAL ARRANGEMENT**

NOT FOR CONSTRUCTION

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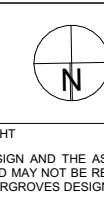
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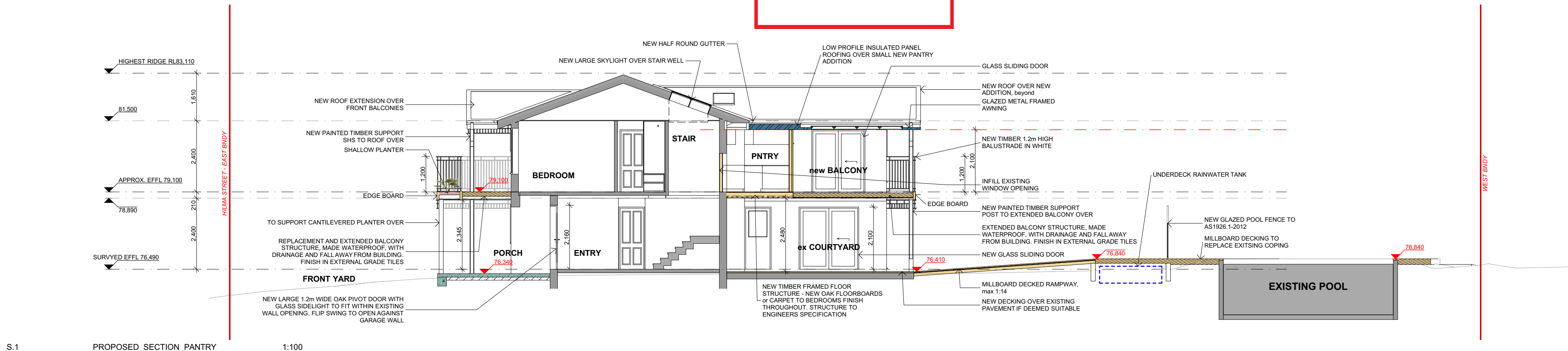
PROJECT  
**ALTERATIONS & ADDITIONS**  
- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements  
**24 HILMA STREET, COLLAROY PLATEAU NSW, 2097**  
CLIENT  
**ANNIE DOYLE and FRED VAN STEEL**

|          |               |                     |                                               |
|----------|---------------|---------------------|-----------------------------------------------|
| DATE     | 2023          | TITLE               | DESIGNER                                      |
| SCALE    | AS NOTED @ A2 | PROPOSED ELEVATIONS | <b>HARGROVES DESIGN CONSULTANTS</b>           |
| DRAWN    | R.P.          |                     | M: 0410 669 148<br>E: jacqui@hargroves.com.au |
| Sheet No | GA-111        | Issue               | G                                             |



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

MOD2024/0332



S.1 PROPOSED\_SECTION\_PANTRY 1:100

#### NCC (National Construction Code), 2022 with the ABCB Housing Provisions

**3 Site Preparation:**  
Earthwork to be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979, conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D3, along with H2D2, HP3 Part 3.2 Earthworks, Part 3.3 Drainage and Part 3.4 Termite risk management.  
**Scope:** Area allocated for new extension and for cabana, spa and decking, to be levelled for Concrete Slab on Ground or piers. All other areas will have minimal removal of soil for service trenching and new footings. All earthwork excavation in accordance with Conditions of Consent.

**3.1 Stormwater Drainage:**  
Conditions of the development consent and the relevant requirements of Section H, Part H2 Volume 2 NCC 2022, H2D2, HP3 Part 3.3; and AS/NZ 3500(2021) Part 3 - Stormwater drainage; AS/NZ 3500(2021) Part 5 - Domestic Installations - section 5 - Stormwater drainage.  
**Scope:** Stormwater in accordance with Conditions of Consent, and all details by a Professional Engineer, together with a written statement certifying that the design complies with the nominated Standards, and Conditions of the Consent.

**3.2 Termite Protection:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, HP3 Part 3.4; and AS 3660.1(2014) - Protection of buildings from subterranean termites.  
**Certificate to be supplied by installer.**

**4 Footings and Slabs:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D4 along with H2D3 HP4 Part 4.2, AS 2870(2011) - Residential slabs and footings; AS 3600(2018) - Concrete structures; AS 2159(2009) - Piling - Design and installation.  
**Scope:** All structural details by a Professional Engineer, together with a written statement certifying that the design complies with the nominated Standards, and Conditions of the Consent.

**5 Masonry:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D5 along with H2D4, HP5; and AS 3700(2018) - Masonry Code; Lintels in Masonry Part 5.6 of HP5.  
**Scope:** Any new masonry work required for piers and landscaping walls.

**6 Earth Retention:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D6 along with H2D5, HP6; and Part 6.2 Subfloor Ventilation, and Part 6.3 Structural Steel Members; and AS 1684(2021) - Residential: frame construction, AS 4100 (2020) - Steel structures.  
**Scope:** New Lightweight wall construction and any new internal partition walls.

**7 Roof and Wall cladding, including Roof Plumbing:**  
Conditions of the development consent and the relevant requirements of Section H, Part H1 Volume 2 NCC 2022, H1D7 along with H2D6, HP7; Part 7.2 Sheet Roofing; and AS 1562.1 (2018) - Metal Roof Sheet, Part 7.4 of the NCC, Gutters and Downpipes; and AS/NZ 3500 (2021) Part 2 - Stormwater Drainage; AS/NZ 3500(2021) Part 5 - Domestic Installation, section 5 - Stormwater Drainage. Part 7.5 Timber and Composite wall cladding for Cappings, Cladding including soffits, and flashings to openings; AS 4200 (2017) Pliable building membranes and underlays; AS 2908 (2000) Cellulose-cement products - Flat sheet.  
**Scope:** New Roofing and replacement Roofing, as well as new Wall Cladding to new external walls.

**9 Fire Safety:**  
Conditions of the development consent and the relevant requirements of Section H, Part H3 Volume 2 NCC 2022, H3D6, HP3 Part 9.5; and AS3786 (2014) Smoke Alarms, Part 9.2 Fire separation of external Walls.  
**Ensure Smoke Alarms, new and existing, are installed in accordance with NCC Vol2 H3D6 ABCB HP Part 9.5.1, and Parts 9.5.2 to 9.5.4**

**10 Health and Amenity:**  
All Health and Amenity must be carried out in accordance with the relevant requirements of Section H, Part H4 Volume 2 NCC 2022, H4P1 HP10 Part 10.2; and AS4654 (2012) Waterproofing Membranes.  
**Scope:** Waterproofing as per general Specification Details.  
Room Heights H4P2 HP10 Part 10.3; Facilities H4P3 HP10 Part 10.4; Light H4P4 HP10 Part 10.5; Ventilation H4P5 HP10 Part 10.6; Sound Insulation H4P6 HP10 Part 10.7; Condensation Management H4P7 HP10 Part 10.8.  
**Scope:** Any new internal refurbishment works - refer to Architectural Plans and details including replacement ceilings, new walls, wet areas and skylights.

**11 Safe Movement and Access:**  
All Stair elements must be carried out in accordance with the relevant requirements of Section H, Part H5 Volume 2 NCC 2022, H5P1 HP11 Part 11.2 Stairway and ramp construction.  
**Scope:** Ensure new external stairs and all balustrades comply.

**13 Energy Efficiency:** Not yet in force. NSW PART H6. Refer to NCC 2019 Amd 1 Building Fabric Part 3.12.1 of the most current edition of the BCA (volume 2) External Glazing Part 3.12.2 of the most current edition of the BCA (volume 2) Building Sealing Part 3.12.3 of the most current edition of the BCA (volume 2) Air Movement Part 3.12.4 of the most current edition of the BCA (volume 2) Services Part 3.12.5 of the most current edition of the BCA (volume 2).  
**Scope:** BASIX Certificate Applies to internal refurbishments. 3 star water ratings for any new tapware and toilets. LED Light Fittings. Any replacement of HWU.

STRUCTURAL ENGINEER: REFER TO SEPARATE DOCUMENTATION BY STRUCTA CONSULTING ENGINEERS

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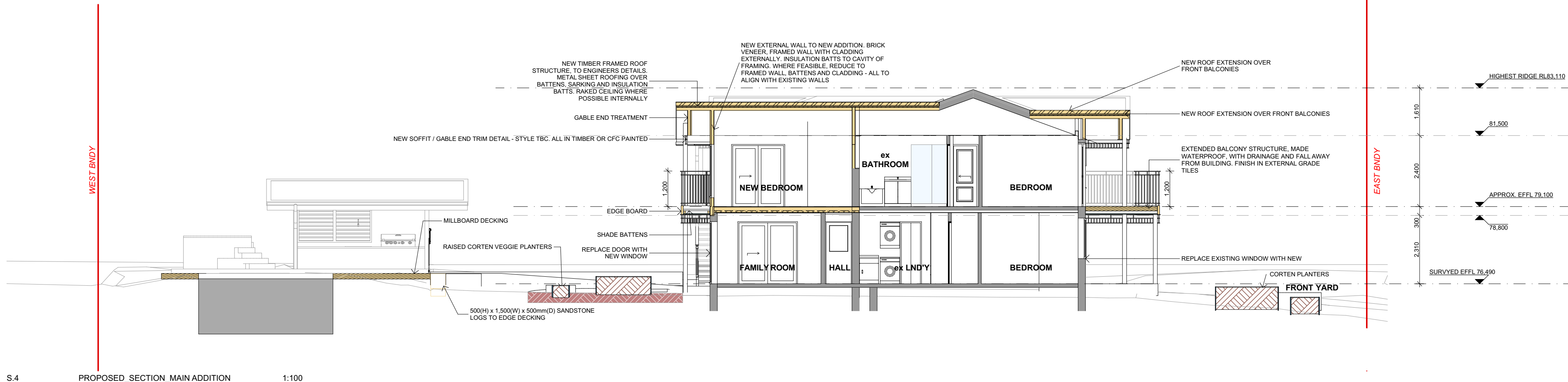
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CONDITION 12. FIREPLACE: IF THE FIREPLACE IS TO BE INSTALLED IN THE APPROVED LOCATION, THIS MUST BE A GAS OPERATED FIREPLACE AND NOT WOOD FUEL.

**GLAZED DOORS AND WINDOWS:**  
ALL NEW GLAZED DOORS AND NEW WINDOWS MUST MEET THE U-VALUE AND SHGC VALUE OF THE BASIX CERTIFICATE A1372149



S.4 PROPOSED\_SECTION\_MAIN\_ADDITION 1:100

#### GENERAL NOTES

1. ALL DIMENSIONS, LEVELS, SEWER AND STORMWATER INVERT LEVELS AND FLOOR AREAS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.  
2. DO NOT SCALE OFF DRAWINGS.

**GENERAL ARRANGEMENT**  
NOT FOR CONSTRUCTION

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LOT & DP

LOT 43, DP 223914

COUNCIL

NORTHERN BEACHES COUNCIL

PROJECT

ALTERATIONS & ADDITIONS

- first floor addition; roof & balcony modifications; cabana; landscape concept incl. new pool enclosure; rectifications & improvements

24 HILMA STREET, COLLARROY PLATEAU NSW, 2097

CLIENT

ANNIE DOYLE and FRED VAN STEEL

Designer

HARGROVES DESIGN CONSULTANTS

DATE

2023

SCALE

AS NOTED @ A2

TITLE

PROPOSED SECTIONS - SHEET 1

DRAWN

R.P.

Sheet No

GA-112

Issue

G

DA 2023/1585

A2 SIZE SHEET



