01 Key plan
1:700 @A1

Dwg. Number	Dwg. Name	Revision	Date
256773_LDA_00	COVERSHEET	12	8/11/21
256773_LDA_000_00	LANDSCAPE SKETCH PLAN	19	8/11/21
256773_LDA_000_01	PLANT THEMING PLAN	08	8/11/21
256773_LDA_000_02	LANDSCAPE SPATIAL PLAN	06	8/11/21
256773_LDA_000_07	MATERIALS PALETTE	03	8/11/21
256773_LDA_200_01	LANDSCAPE DETAIL PLAN 1	09	8/11/21
256773_LDA_200_02	LANDSCAPE DETAIL PLAN 2	09	8/11/21
256773_LDA_200_03	LANDSCAPE DETAIL PLAN 3	09	8/11/21
256773_LDA_500_01	LANDSCAPE SECTIONS 1	06	8/11/21
256773_LDA_500_02	LANDSCAPE SECTIONS 2	06	8/11/21

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.00

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

COVERSHEET

Revision | 12 Date 08.11.21

Scale:

Notes

scape DESIGN
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PROGRAMME

Proposed

1	Entry Feature Wall
2	Pedestrian Entry
3	Vehicle Entry
4	Seating Area
5	Potable water generator
6	Bushland Garden
7	External Lift Access
8	Carport
9	Meeting Place
10	Garage & Emergency Vehicle Parking (OSD below)
11	Gully Garden
12	Area Regraded and Restored
13	Veggie Garden
14	Substation
15	Level 1 bridge
16	Mechanical Vent.
17	Concrete channel- refer to CIVIL. DWG.

Existing

1	Existing Path
2	Existing Rock Pool & Bridge
3	Existing Crossing
4	Existing Car Park
5	Existing Pond (Modified)
6	Existing Cliff
7	Existing Rock
8	Existing Carpark to be Demolished
9	Existing Signage to be Removed

GENERAL

- Site Boundary
- Stage Boundary
- Proposed Contour Line
- EL 562.00 Existing Level
- FL 562.00 Finished Floor Level
- RL 562.00 Proposed Finished Level
- Architecture Above
- Architecture Below
- Water Element - Natural Grade
- Existing Building
- Exposed Natural Rock
- Proposed Ramp
- Proposed Stairs

FENCING AND HANDRAILS

- 450 Privacy Screen
- 1050 Privacy Screen
- Balustrade - pond
- Balustrade- Ped. barrier
- Handrails
- Proposed Shuttle Bus Stop

LIGHTING

- Lighting
- Wall Light
- Proposed Street Light
- Wall mounted spot light
- Uplight
- LED Strip
- Public light pole

PAVEMENTS

- Existing Road
- Type 1: Proposed Road
- Type 3: Driveway
- Type 4: Concrete path to council req.
- Type 5: Concrete Path - Oxide
- Type 7: Podium-POS-Tile(600x600)
- Type 8: COS - Stone Tile (100x100)
- Type 9: COS - Stone Tile (600x600)
- Type 10: Gravel - Recycled aggregate
- Type 10B: Salvaged crushed Sandstone
- Type 11: Plank Surface
- Type 12: Kerb Ramp
- Type 13: Synthetic Turf
- Type 14 : Threshold paving
- Type 15: Rock Scour Protection

WALLS & EDGES

- Existing Wall
- Type 1: Texture Block
- Type 1A: Block wall with cap
- Type 2: Rock Cutting - Natural Finish
- Type 3: Retaining Wall - Texture Block
- Type 4: Standard block
- Type 5: Stone Clad - Feature
- Type 6: Building Entry-White Glazed Brick
- Type 7: Gabion wall
- Type 1: Raised Kerb & gutter
- Type 2: Raised kerb
- Type 3: Flush kerb
- Type 4: Raised kerb with oxide
- Type 5: Paver edge restrain

FURNITURE

- Wayfinding Signage
- Sinage Panel
- Stone Boulder
- Water Jet
- 1500mm Gate
- Seat Bench
- Veggie Pod
- Client supplied furniture
- Tactile indicators
- Letterbox bank

PLANTING

- Turf
- PM1-Gully Mix
- PM2-Heath Mix
- PM3-Exotic / heriloom / scented
- PM4-Feature Plants
- PM14-Basin Semi Wet Planting Mix

TREES

- Existing Tree to be Removed Refer ARBORISTS REPORT
- Existing Tree to be Retained Refer ARBORISTS REPORT
- Proposed Tree
- Proposed Palm

Note: Refer to Architectural drawings for building design

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.000.00

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

LANDSCAPE SKETCH PLAN

Revision | 19 Date 08.11.21

Scale: 1:250 @ A1

Notes

0 5 10 m

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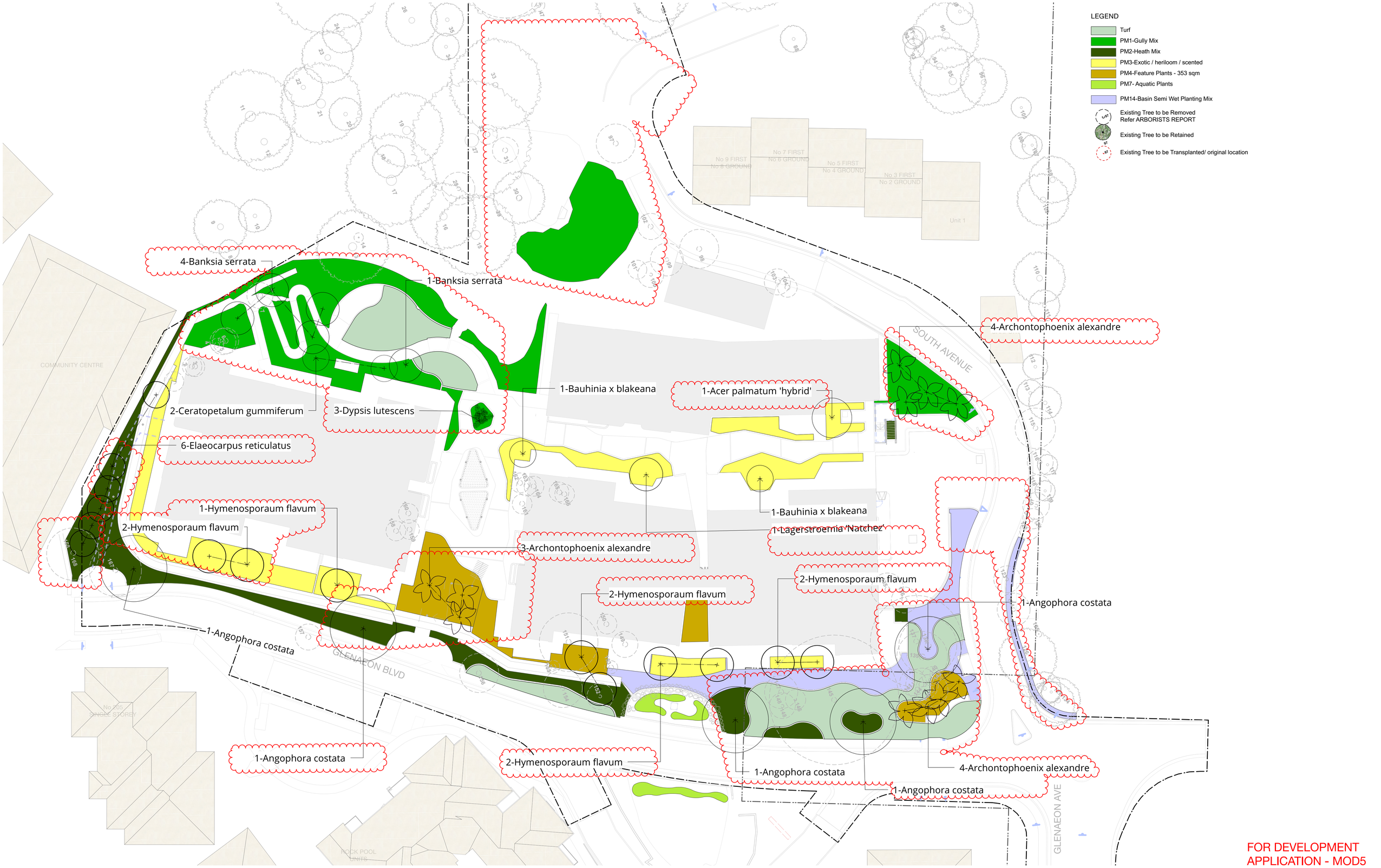

FOR DEVELOPMENT
APPLICATION - MOD5

L.DA.000.01

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

PLANT THEMING PLAN

Revision | 08 Date 08.11.21

Scale: 1:250 @ A1

Notes

0 5 10 m

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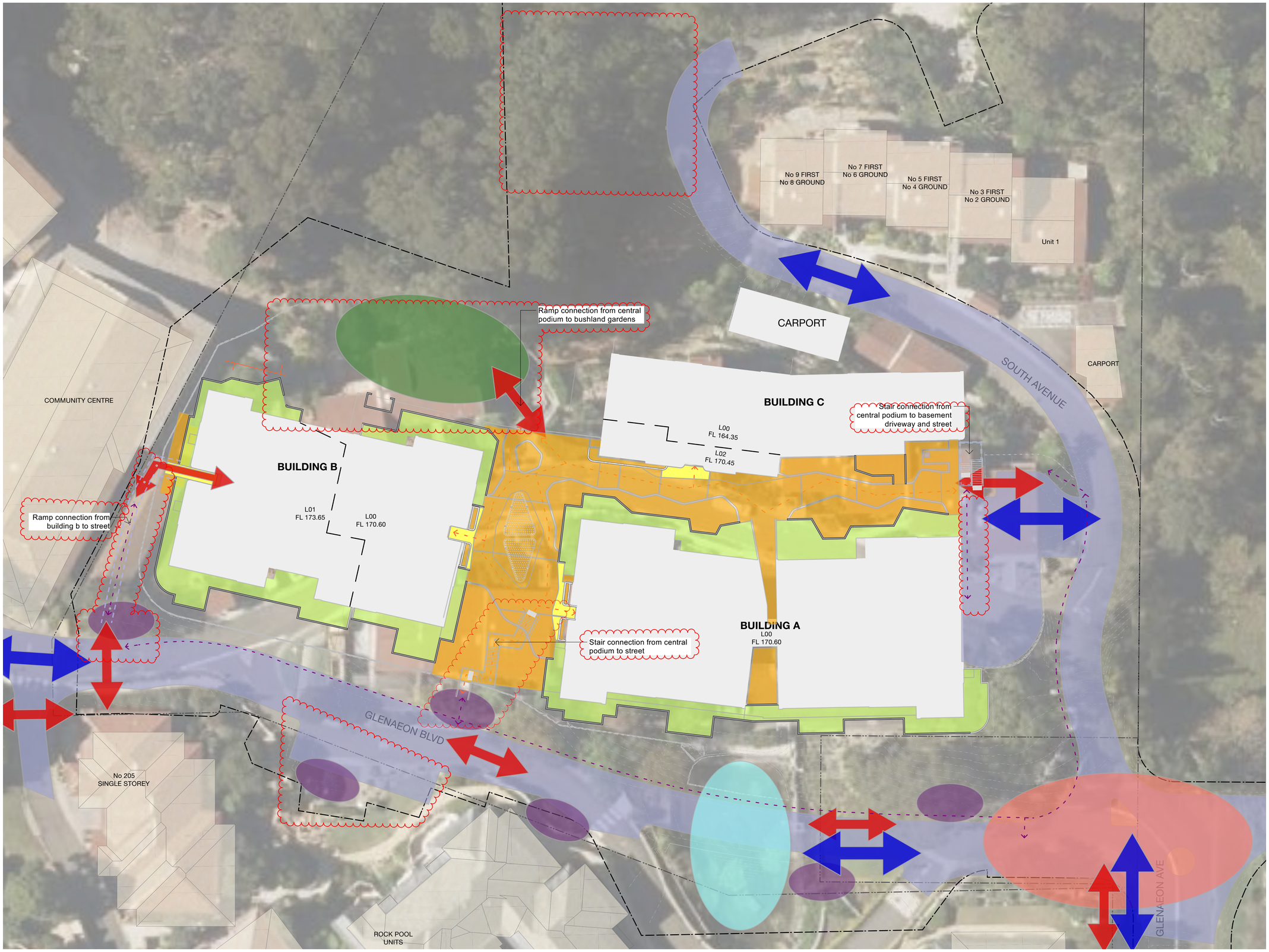

LEGEND

KEY COMMUNAL SPACES

- Glenaeon 'Boulevard'
- Water Threshold
- Entry Threshold
- Communal Open Space
- Bushland Gardens
- Private Open Space
- Rest Stops
- Building Entry Zone

KEY SITE MOVEMENTS

- Key Vehicle Movement
- Key Pedestrian Movement
- Pedestrian Routes - Podium
- Pedestrian Routes - Ground

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.000.02

GLENAEON VILLAGE RENEWAL ST1

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LANDSCAPE SPATIAL PLAN

Revision | 06 Date 08.11.21

Scale: 1:250 @ A1

Notes

0 5 10 m

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PAVING

TYPE 4: FOOTPATH TO COUNCIL REQUIREMENTS.

- Concrete - Integral oxide, broom finish to match existing

TYPE 5: PATH - GROUND COMMUNAL AREA

- Concrete - Integral oxide 6%

TYPE 7: PODIUM - PRIVATE COURTYARDS

- Stone tiles - grey and brown tones
- 600x600x20mm
- Paving on pedestal or mortar bed

TYPE 8: PODIUM - COMMUNAL AREAS - FEATURE TILES

- Cobblestones
- 90x90x30mm
- Paving on mortar bedding

TYPE 9: PODIUM - COMMUNAL AREAS

- Stone tiles - mid to light grey tones
- 600X300x20m / 800x400x20mm
- Paving on pedestal or mortar bed

TYPE 10: GRAVEL - GROUND COMMUNAL AREA

- Recycled aggregates

TYPE 11: PLANK SURFACE

TYPE 14: THRESHOLD PAVING - BRICK PAVING ON COMPACTED BASE

- Stone - smooth/natural
- Cobbles 300x300x40
- Paving on mortar and slab

TYPE 15: ROCK SCOUR

- Sandstone - 200mm

WALLS

TYPE 1 - TEXTURE BLOCK

- Texture block -
- Split face finish
- 'Sydney Blend' Colour
- Strecher bond pattern
- 200mm Series

TYPE 1A - BLOCKWALL

- Standard block rendered and painted
- 150mm Series

TYPE 2 - ROCK CUTTING - NATURAL FINISH

- Natural weathered rock

TYPE 3 - STRUCTURAL RETAINING WALL

- Texture block system - grey and brown tones

TYPE 4 - STANDARD WALL

- Standard block rendered and painted

TYPE 5 - STONE CLAD - FEATURE

- Sandstone cladding
- Grey and brown tones
- Random sizes 20-35mm thick, up to 500mm high and 450mm long

TYPE 6 - COMMUNAL RETAINING WALL (BUILDING ENTRIES)

- White glazed brick

EDGES

TYPE 2 - RAISED KERB

- Concrete

TYPE 3 - RAISED KERB W/ OXIDE

- Concrete

FURNITURE

BENCH - COMMUNAL AREA AND STREET

- Powder coated steel frame, timber composite slats

VEGGIE GARDEN

- Proprietry veggie garden system - timber or corrugated metal

LETTERBOXES

- Aluminium banks

TACTILE INDICATORS

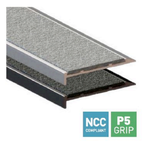
- Stainless Steel

WATER POND

- Concrete shell, with water reticulation and aquatic plants

STAIR NOSING STRIP

- Metal strip with black silicon carbide infill



LETTERBOXES

- Aluminium bank. Wall mounted

STONE BOULDERS

- Imported or site salvaged rock.
- Random sizes 300-1000mm

FENCING & RAILS

FENCING - PRIVACY

- Aluminium panel system
- Vertical slats
- 900H panels (on 600mmH wall) around POS courtyards
- Matching gates

BALUSTRADE - PEDESTRIAN BARRIER

- Aluminium panels, powdercoated
- Galvanised steel frame, paint finish
- Composite treads

HANDRAIL

- Marine grade stainless steel 316

BALUSTRADE - POND BARRIER

- Aluminium panels, powdercoated
- Galvanised steel blade stanchion, and top rail, paint finish

OTHER

SHADE STRUCTURE - PODIUM

- Bespoke shade structure, powdercoated steel frame with aluminium battens/louvres

SIGNAGE ON FEATURE WALL

- Curved, laser cut weathering steel mounted to feature stone wall
- Feature uplighting

Image for reference only

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.000.07

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

MATERIALS PALETTE

Notes

Revision | 03 Date 08.11.21

Scale:

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SK01 Sketch Plan

LEGEND

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- Exposed Natural Rock
- Proposed Ramp
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- Existing Road
- Type 1: Proposed Road
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- PM1-Gully Mix
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- PM4-Feature Plants
- PM14-Basin Semi Wet Planting Mix
- Existing Planting to be Retained

TREES
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PM5-Roof Mix - 11

Note: Refer to Architectural drawings for building design

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.200.01

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

LANDSCAPE DETAIL PLAN 1

Revision | 09 Date 08.11.21

Scale: 1:100 @ A1

Notes

0 1 2 3 4 5M

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Existing Pond
SOUTH AVENUE
ramp 1:8
CARPORT
BUILDING C
L00
FL 164.35
L02
FL 170.45
COMMUNAL GARDEN
L00
FL 170.60
BUILDING A
ramp 1:80
EL 160.26
EL 166.83
EL 169.58
EL 170.11
RL 167.200
RL 169.585
RL 169.90
TW 171.70
TW 171.60
RL 171.65
RL 171.60
RL 171.15
TW 171.10
RL 170.56
RL 170.65
TW 171.10
RL 171.17
TW 171.10
TW 171.10
TW 171.10
TW 170.75
TW 170.75
FL 170.60
RL 164.20
TW 166.60
EL 166.31
TW 170.75
RL 169.69
RL 171.17
TW 171.10
TW 171.10
RL 170.65
RL 167.225
RL 167.00
RL 167.30
RL 167.35
RL 167.40
RL 167.35
SSL 170.43
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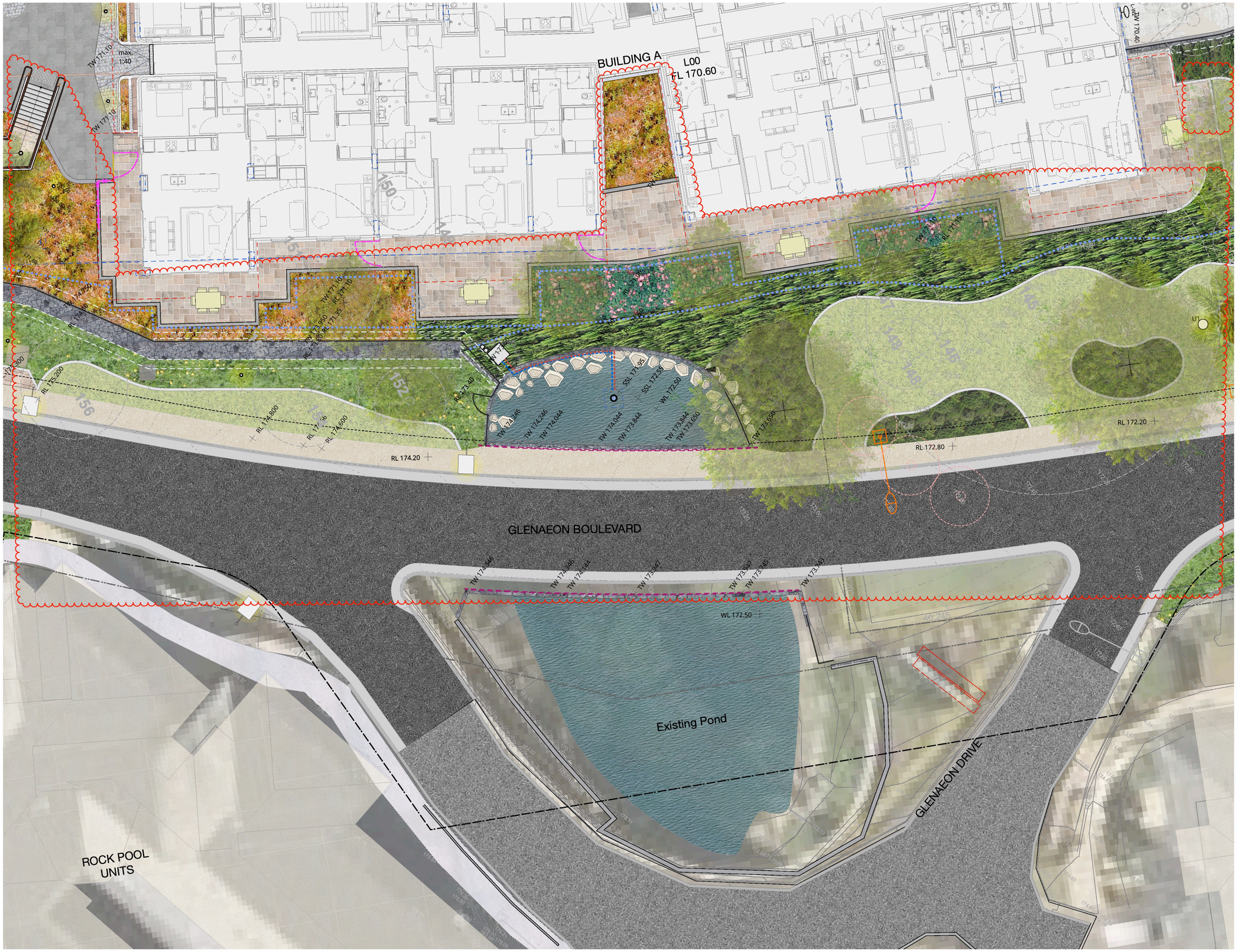
TW 171.10
TW 171.10
RL 167.35
RL 167.40
135
136
LW2
LW2
LW2



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- Existing Tree to be Removed Refer ARBORISTS REPORT
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- Proposed Tree
- Proposed Palm

Note: Refer to Architectural drawings for building design

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.200.03 GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

LANDSCAPE DETAIL PLAN 3

Revision | 09 Date 08.11.21

Scale: 1:100 @ A1

Notes

0 1 2 3 4 5M

scape DESIGN
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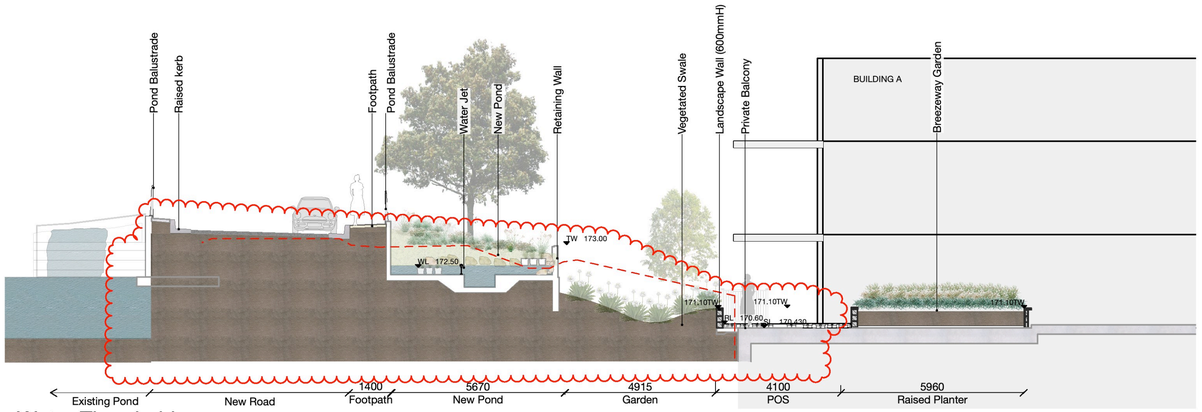
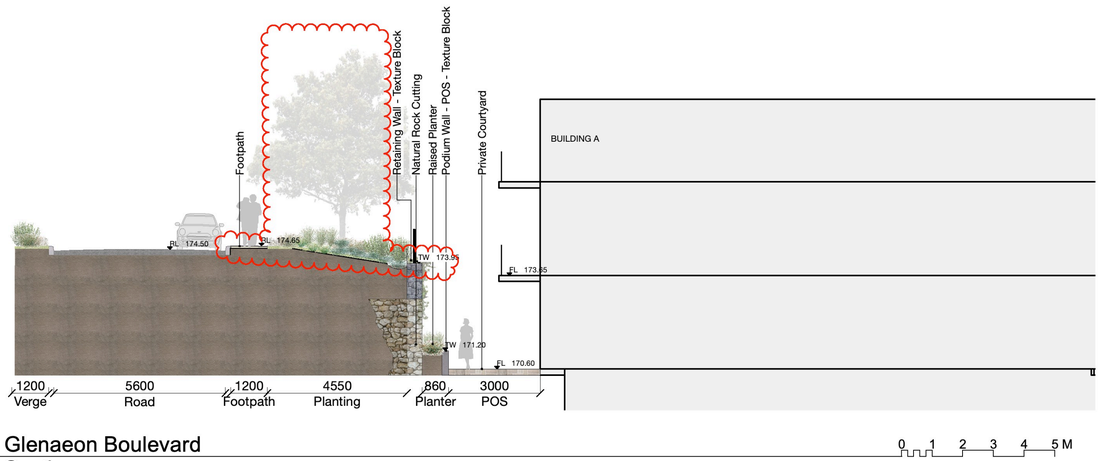
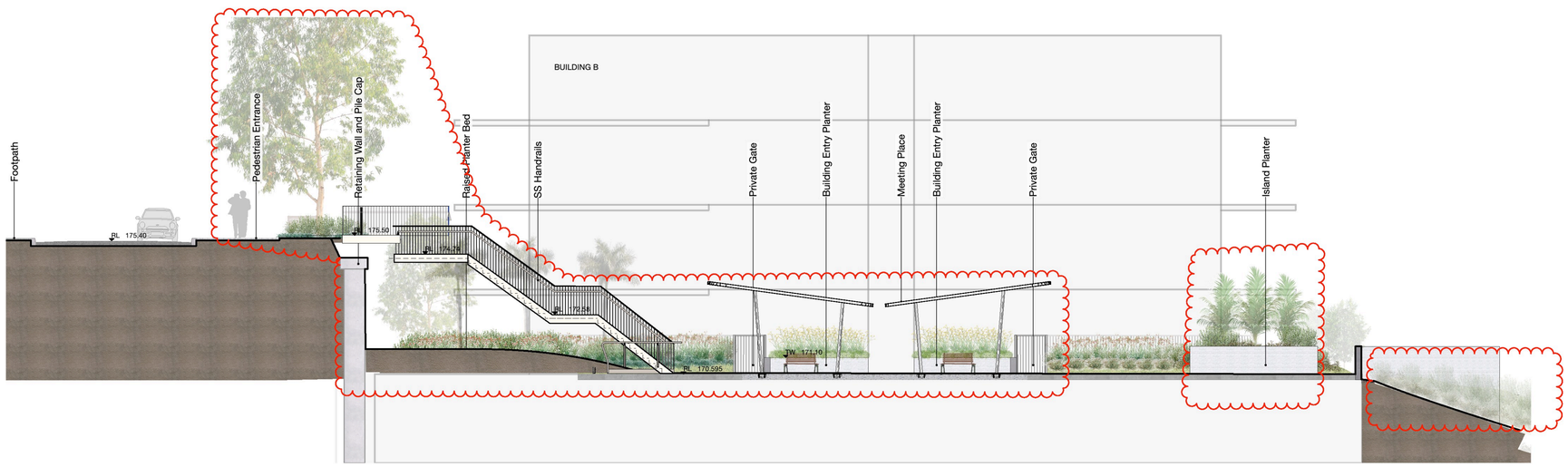


1 Water Threshold Section



2 Glenaeon Boulevard Section



3 Communal Garden Section

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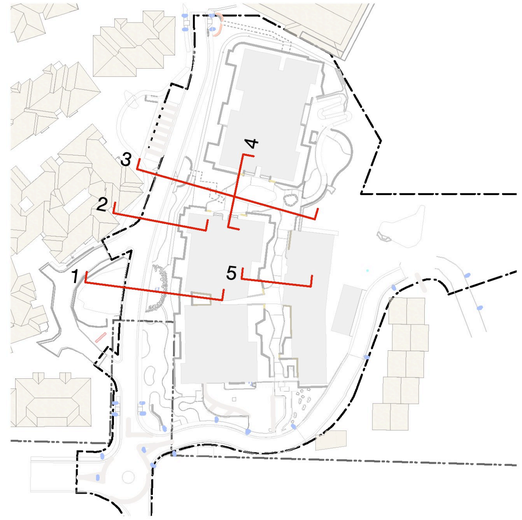

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.500.01

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

LANDSCAPE SECTIONS 1

Notes

Revision | 6 Date 08.11.21

Scale: 1:100 @ A1

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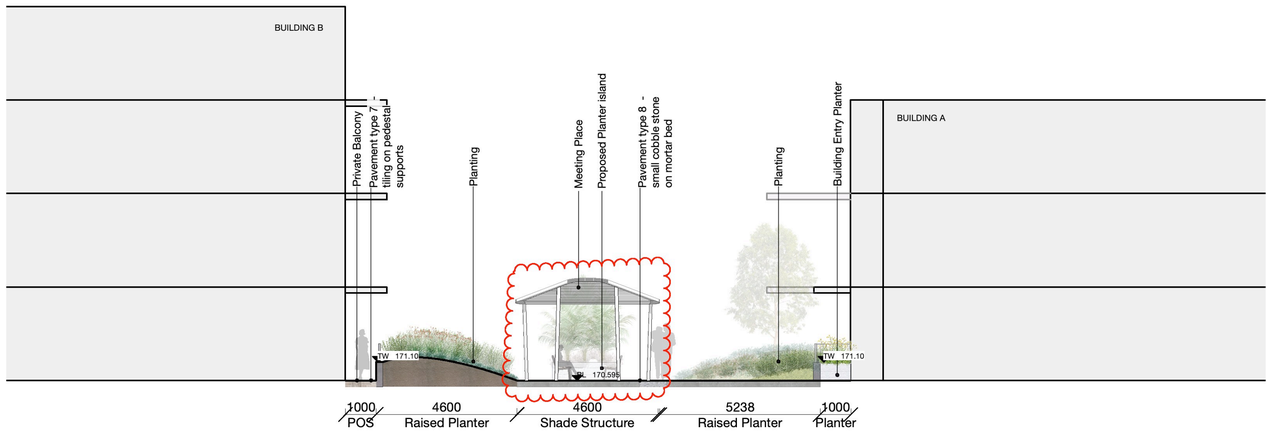

4 Podium Landscape Section

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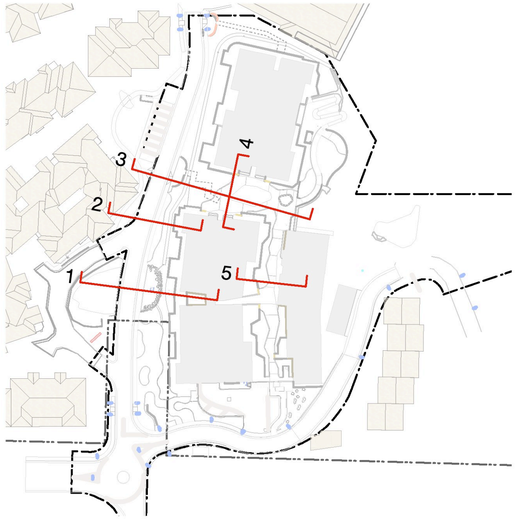

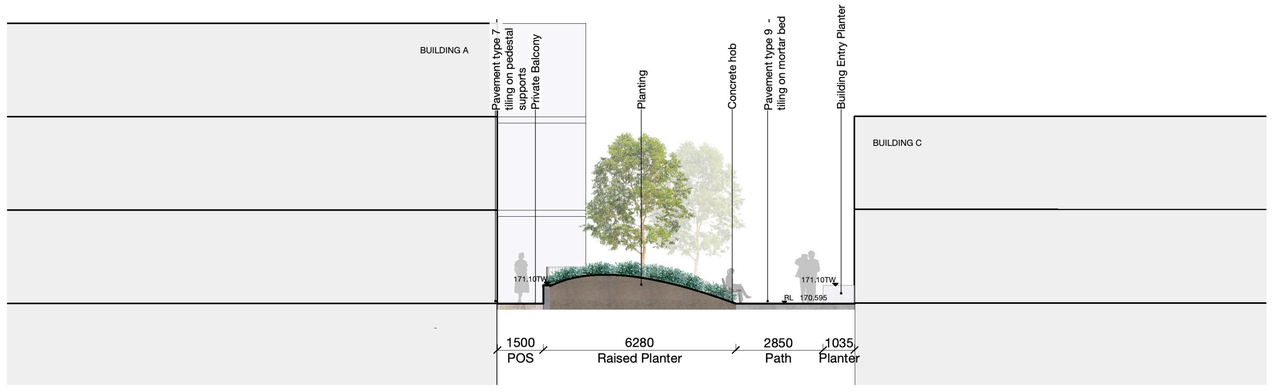

5 Podium Landscape Section

0 1 2 3 4 5 M

FOR DEVELOPMENT APPLICATION - MOD5

L.DA.500.02

GLENAEON VILLAGE RENEWAL ST1

GLENAEON C/- LENDLEASE

207 Forest Way, Belrose NSW 2085

LANDSCAPE SECTIONS 2

Notes

Revision | 6 Date 08.11.21

Scale: 1:100 @ A1

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