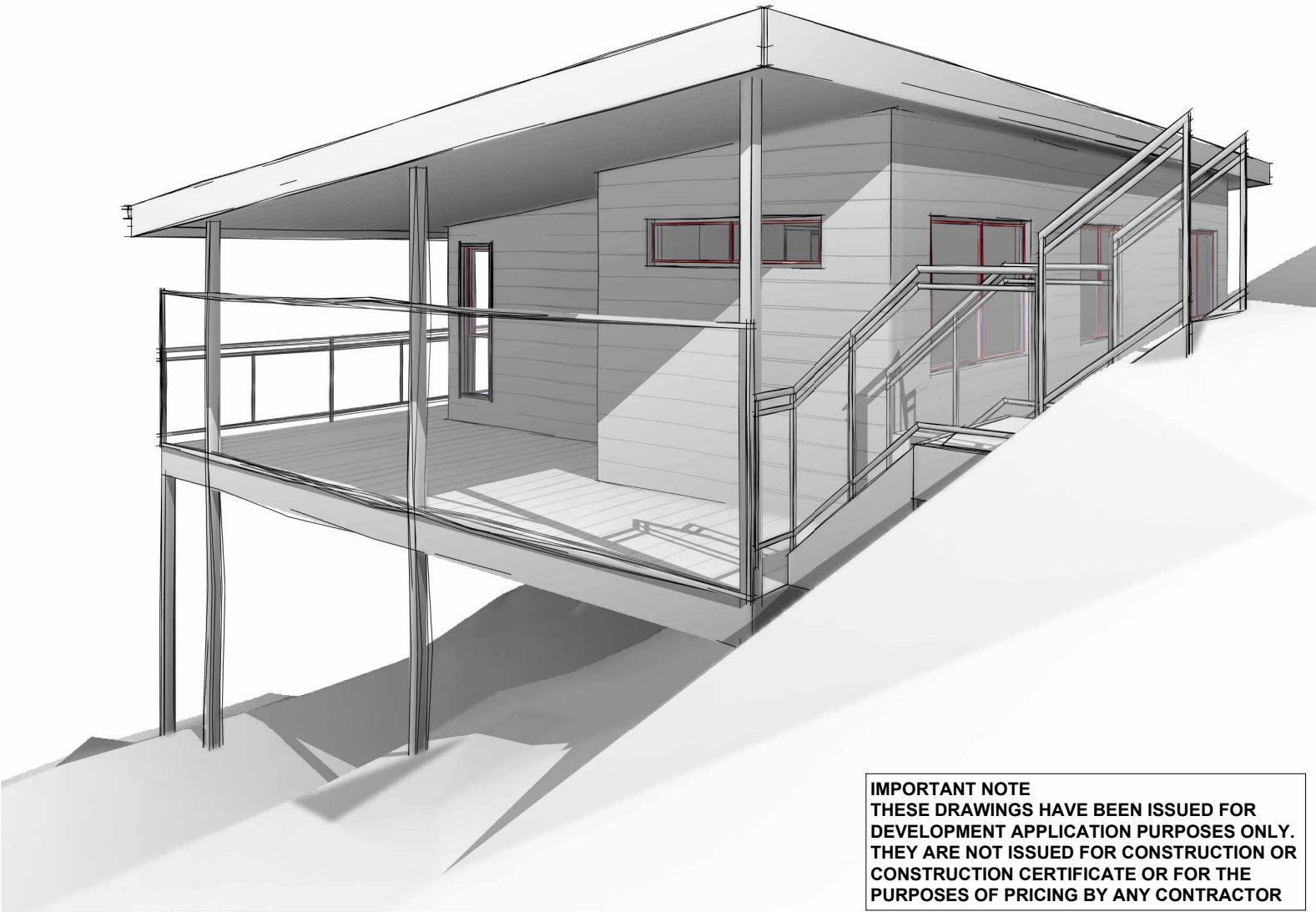
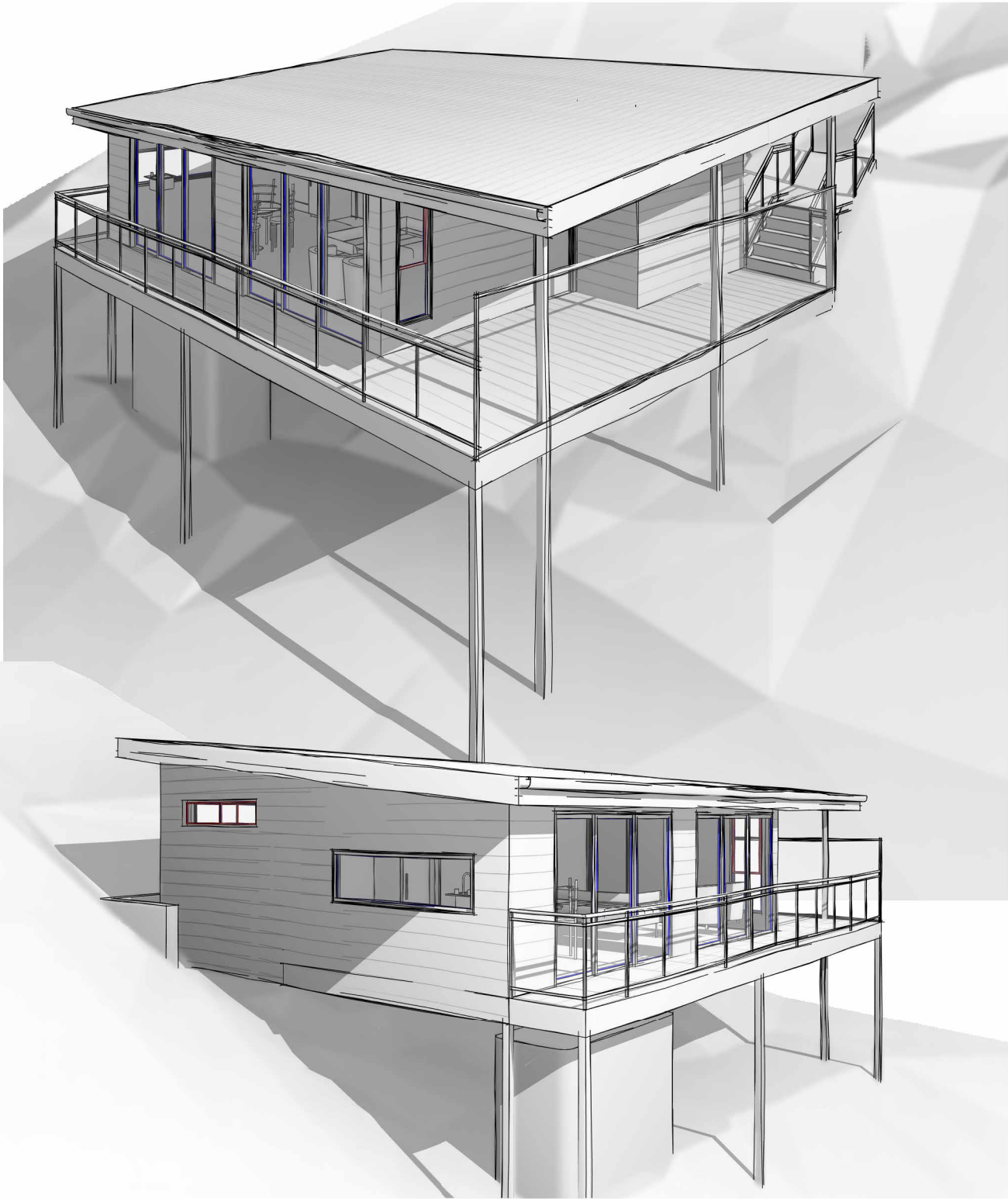


ADDRESS 51 ALLEYNE AVENUE NORTH NARRABEEN

RESIDENCE

SHEET LIST (A)

SHEET NUMBER	SHEET NAME	ISSUE
A 0	COVER PAGE	D
A 1	NOTES	D
A 2	SITE AND ROOF PLAN	D
A 3	GROUND FLOOR PLAN	D
A 4	ELEVATIONS	D
A 5	AREA CALCULATIONS	D
A 6	BASIX COMMITMENTS	D



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project  
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51  
ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT  
65/-/DP7593

client  
STEVE AND WENDY MACALPINE

 **Bungalow Homes**

drawing	COVER PAGE
project no	25-11
date	03/03/25
sheet no.	A 0
scale @ A3	
issue	D
checked	?



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**RK**  
DESIGNS

ALL ASPECTS OF CONSTRUCTION ARE TO COMPLY WITH THE APPLICABLE PERFORMANCE REQUIREMENTS OF THE NCC 2022 AND THE HOUSING PROVISIONS

NO SURVEY HAS BEEN MADE ON THE BOUNDARIES, ALL BEARINGS,  
DISTANCES AND AREAS HAVE BEEN TAKEN FROM THE CONTOUR  
SURVEY PLAN. A SURVEY MUST BE CARRIED OUT TO CONFIRM THE  
EXACT BOUNDARY LOCATIONS

IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE  
DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTIONS  
ISSUED, THE BUILDER/SUBCONTRACTOR SHALL CONTACT THE  
DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK

MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS, WINDOWS, DOORS, INTERNAL FRAMES, STRUCTURAL STEEL COMPONENTS AND THE LIKE, ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED

ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY, AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK

FINISHED FLOOR LEVELS MAY VARY (+/- 50MM) FROM THOSE  
INDICATED  
ON PLAN, DUE TO SITE CLEARING, DEMOLITION, CONTOUR  
INCONSISTENCIES ETC

ANY STRUCTURE SHOWN AS EXEMPT DEVELOPMENT IS TO BE WORKED OUT ON SITE, CONTRACTOR TO ENSURE THE CONSTRUCTION IS DONE IN ACCORDANCE TO THE EXEMPT DEVELOPMENT CONTROLS IN FULL PRIOR TO CONSTRUCTING

TERMITE MANAGEMENT MUST BE CARRIED OUT IN ACCORDANCE WITH NCC 2022 PART 3.4 OF THE HOUSING PROVISIONS AND THE RELEVANT GUIDELINES SETOUT IN THE AUSTRALIAN STANDARDS AS3660.1 TERMITE MANAGEMENT

BULKHEADS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT  
NCC REQUIREMENTS. LOCATIONS OF BULKHEADS TO BE  
CONFIRMED ON SITE BY THE BUILDER ON SITE

CONTRACTOR IS TO ENSURE THAT ANY SHARED WALLS ARE FIRE RATED IN ACCORDANCE WITH CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022, HAVE NO PENETRATIONS AND A SOUND SEPARATION AS PER CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022

IF AIR CONDITIONING IS TO BE PROVIDED, ALLOW FOR THE AIR CONDITIONING TO BE CONCEALED IN THE CEILING, THE ROOF AND IN DUCTS. AIR CONDITIONING IS TO BE AS PER THE AIR CONDITIONING CONSULTANTS DETAILS AND THE BASIX CERTIFICATE REQUIREMENTS




THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOOR AND WINDOW FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING AND OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS

THE CONTRACTOR IS TO ALLOW FOR FLOOR WASTES TO BE PROVIDED TO EACH AND EVERY BALCONY (IRRESPECTIVE OF WHETHER THEY ARE INDICATED IN THE CONSULTANTS DRAWINGS OR NOT. THESE FLOOR WASTES ARE TO BE CONNECTED TO STORMWATER GRATES PVC AND THEN TO DOWNPIPES LOCATED DIRECTLY IN ONE INTERNAL CORNER OF EACH AND EVERY BALCONY. CONFIRM THE LOCATIONS OF THESE DOWNPIPES WITH THE OWNERS. THE CONTRACTOR MUST ALLOW FOR ALL ASSOCIATED WORKS (SUCH A CONNECTION TO BE STORMWATER LINES AND THE LIKE) THAT IS REQUIRED IN ORDER FOR ALL SUCH FLOOR WASTES TO ADEQUATELY DRAIN EACH AND EVERY BALCONY

ALL OFF-STREET PARKING FACILITIES INCLUDING DRIVEWAY WIDTHS, RAMP GRADES, AISLE WIDTHS, TURNING PATHS, SIGHT DISTANCES AND PARKING BAY SIZES MUST CONFORM TO CURRENT AUSTRALIAN STANDARDS AS 2890.1 AND AS 2890.2-2002

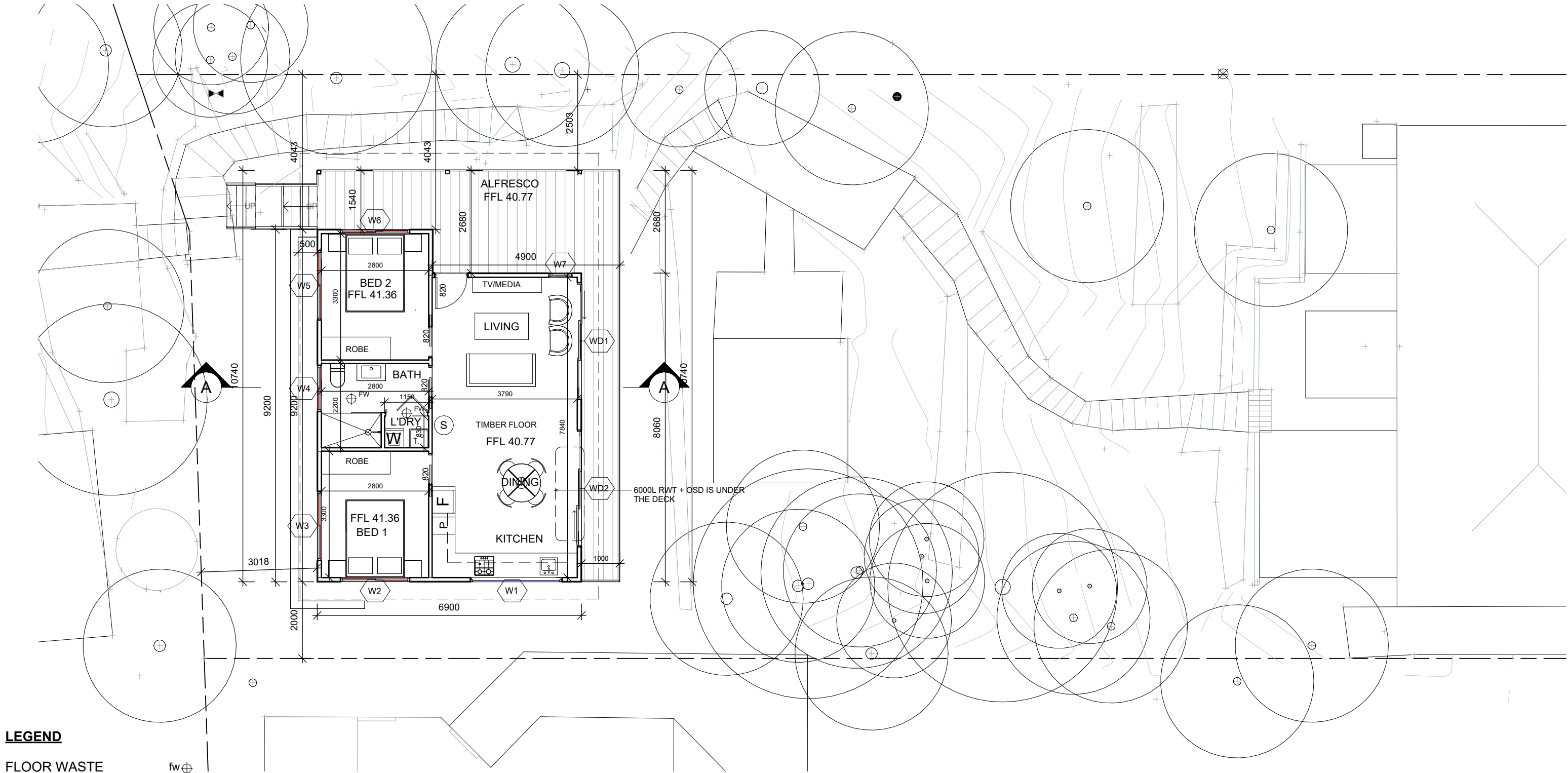
PROVIDE 100MM MINIMUM AGRICULTURAL PIPE WITH A FILTER STOCKING AROUND PERIMETER OF THE BUILDING AND CONNECT TO STORMWATER LINES AS PER THE STORMWATER ENG DETAILS AND SYDNEY WATER REQUIREMENTS

CONTRACTOR MUST ENSURE THAT THE ACCESS LIFT COMPLIES WITH THE REQUIREMENTS OF AS1735.12. THE LIFT SHAFT IS TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE MANUFACTURERS AND STRUCTURAL ENG DETAIL. THE CONTRACTOR MUST LIAISE WITH THE LIFT MANUFACTURERS AND ALLOW FOR THE ITEMS TO BE PROVIDED BY OTHER CONTRACTORS AS REQUIRED IN THE "WORK BY OTHERS" THE LIFT SHAFT AND PIT ARE TO BE WATERPROOFED AS PER THE ARCHITECTURAL SPECIFICATION AND MANUFACTURERS REQUIREMENTS

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LEGEND

- FLOOR WASTE
- SMOKE ALARM

(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED AS PER CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022 & AS 3786)

PRELIMINARY  
DO NOT USE FOR CONSTRUCTION

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project  
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client  
STEVE AND WENDY MACALPINE

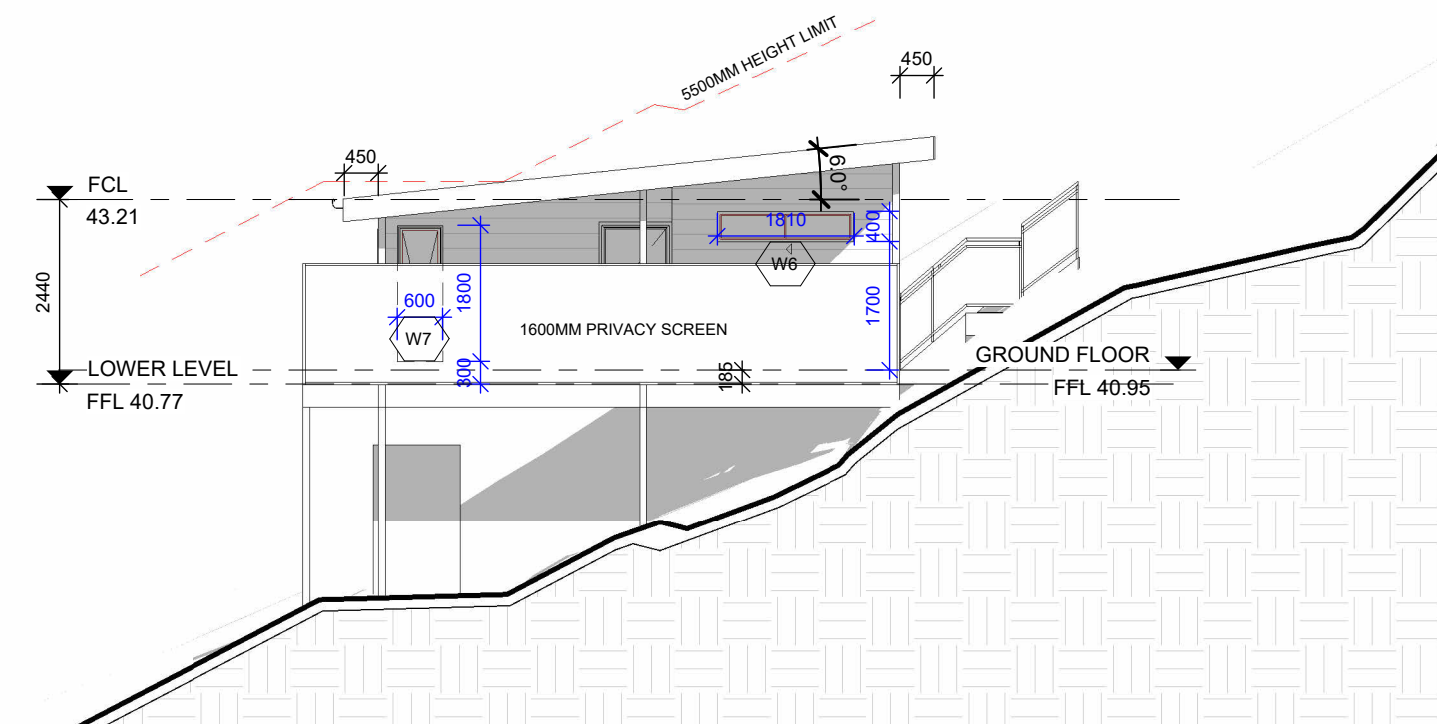
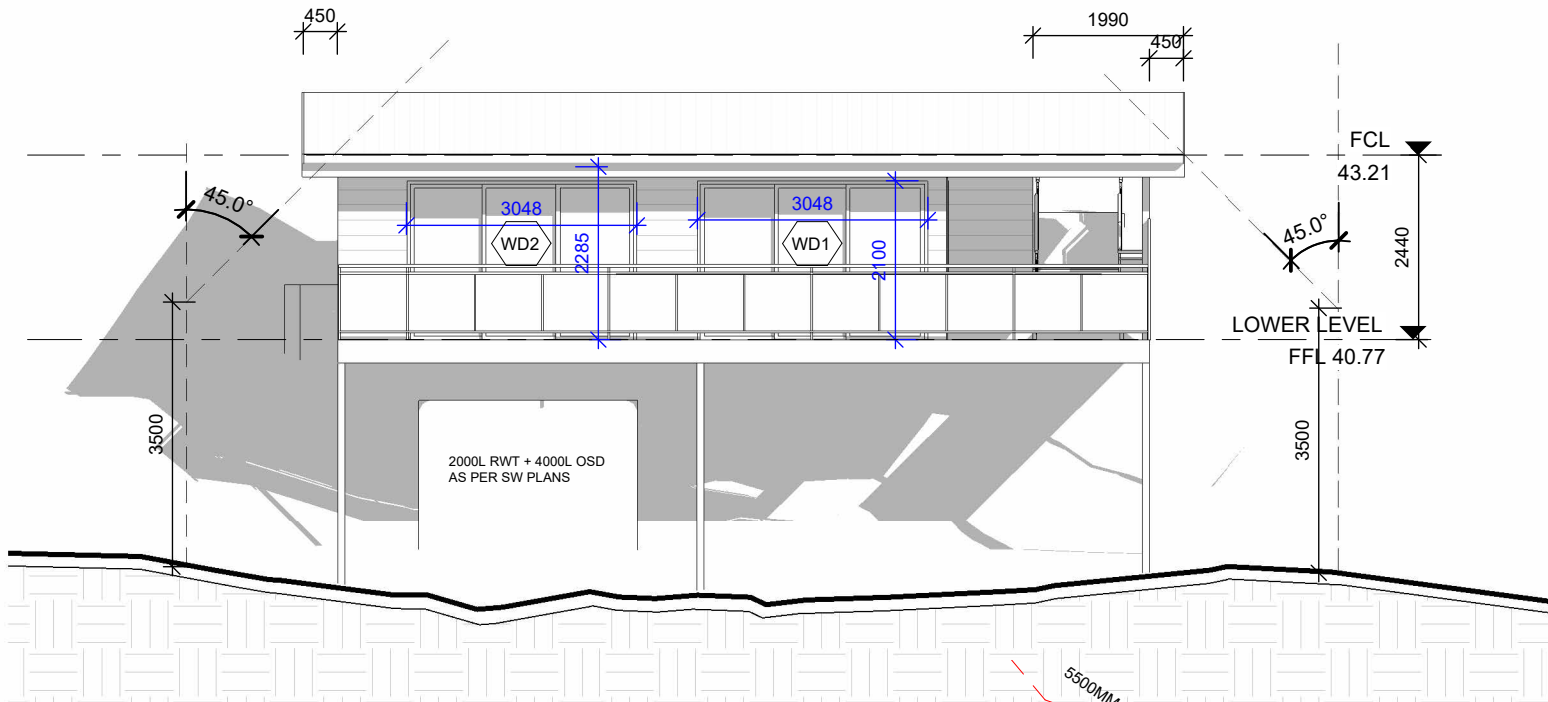


drawing	project no	date	sheet no.	scale @ A3	issue	checked
GROUND FLOOR PLAN	25-11	03/03/25	A 3	1 : 100	D	?



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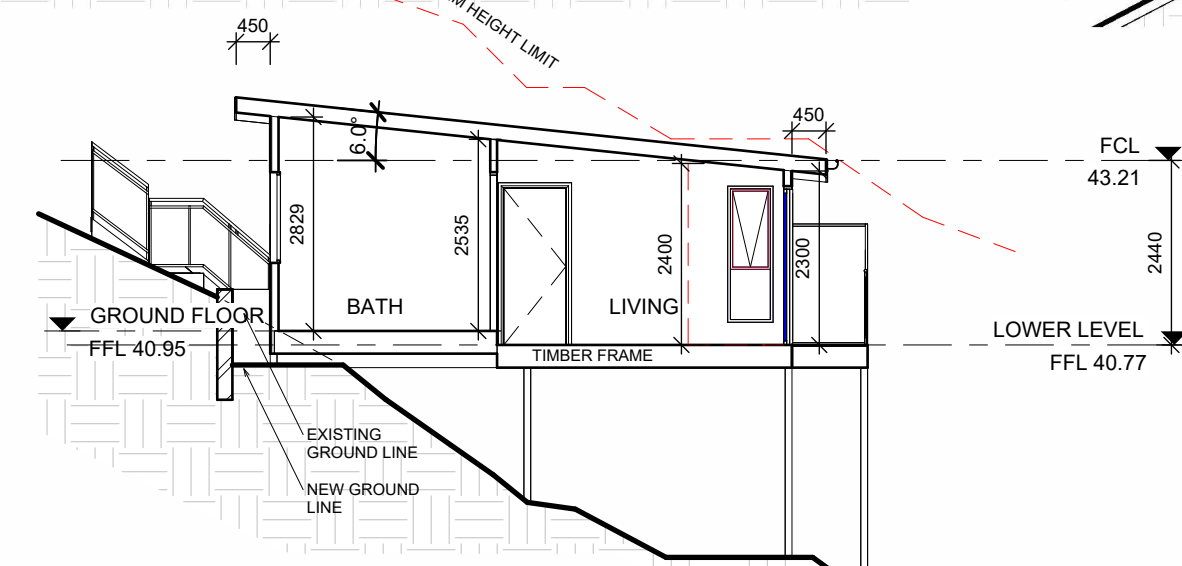




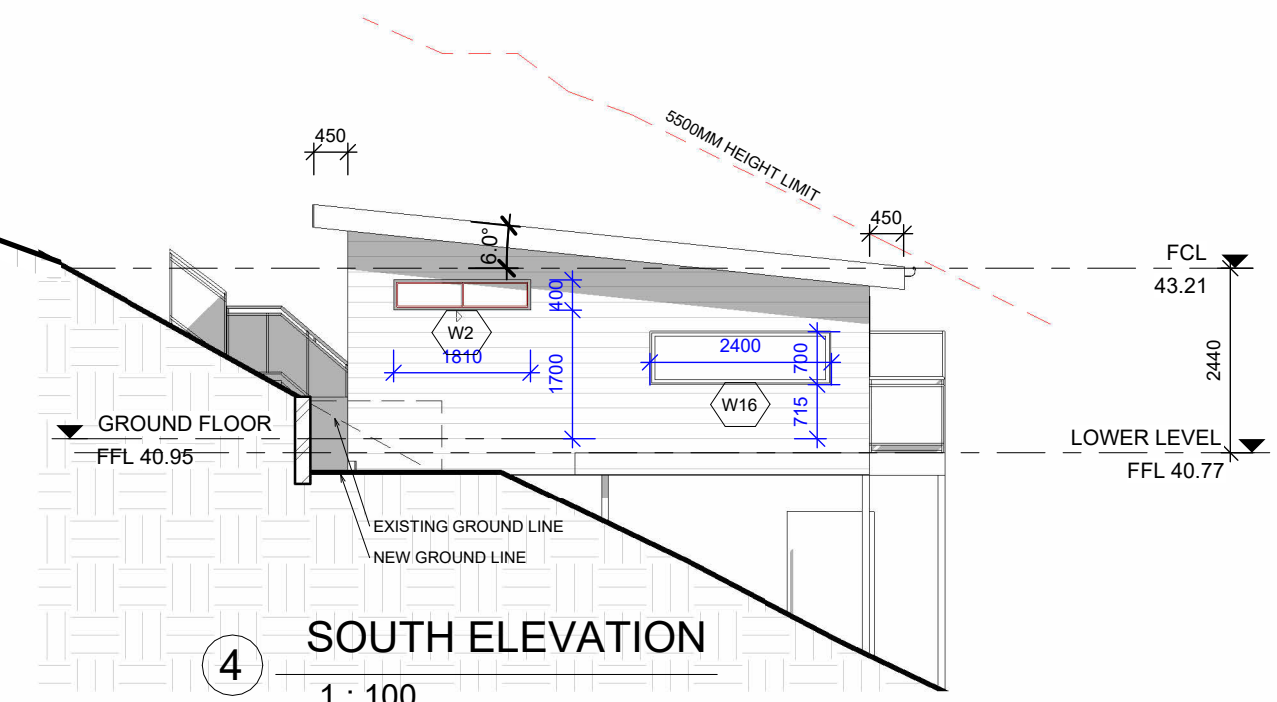
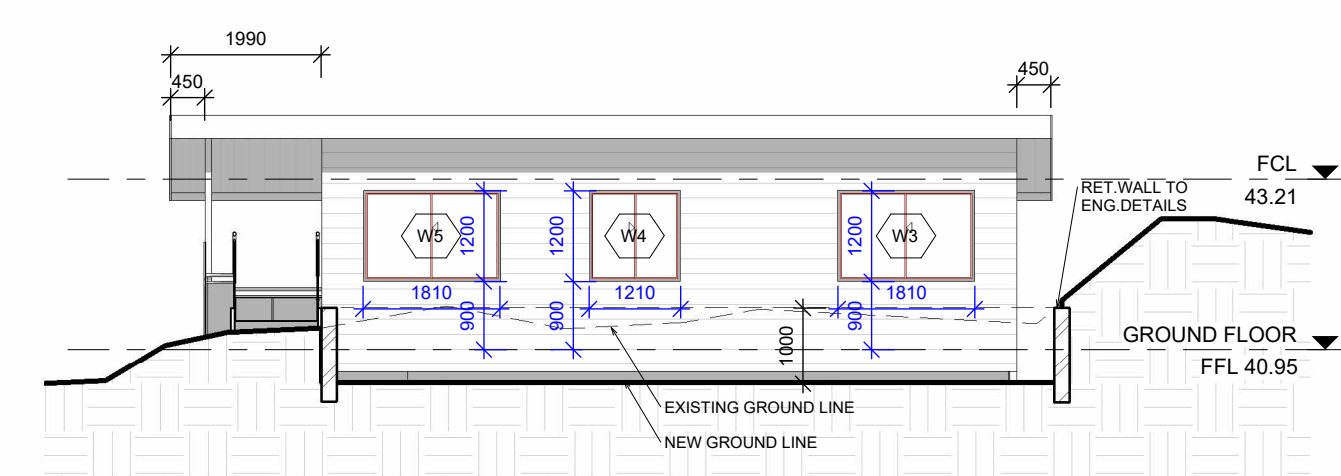
1 EAST ELEVATION  
1 : 100

2 NORTH ELEVATION  
1 : 100

5 SECTION A-A  
1 : 100



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3 WEST ELEVATION  
1 : 100

4 SOUTH ELEVATION  
1 : 100

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client  
**STEVE AND WENDY MACALPINE**

client logo  
**Bungalow Homes**

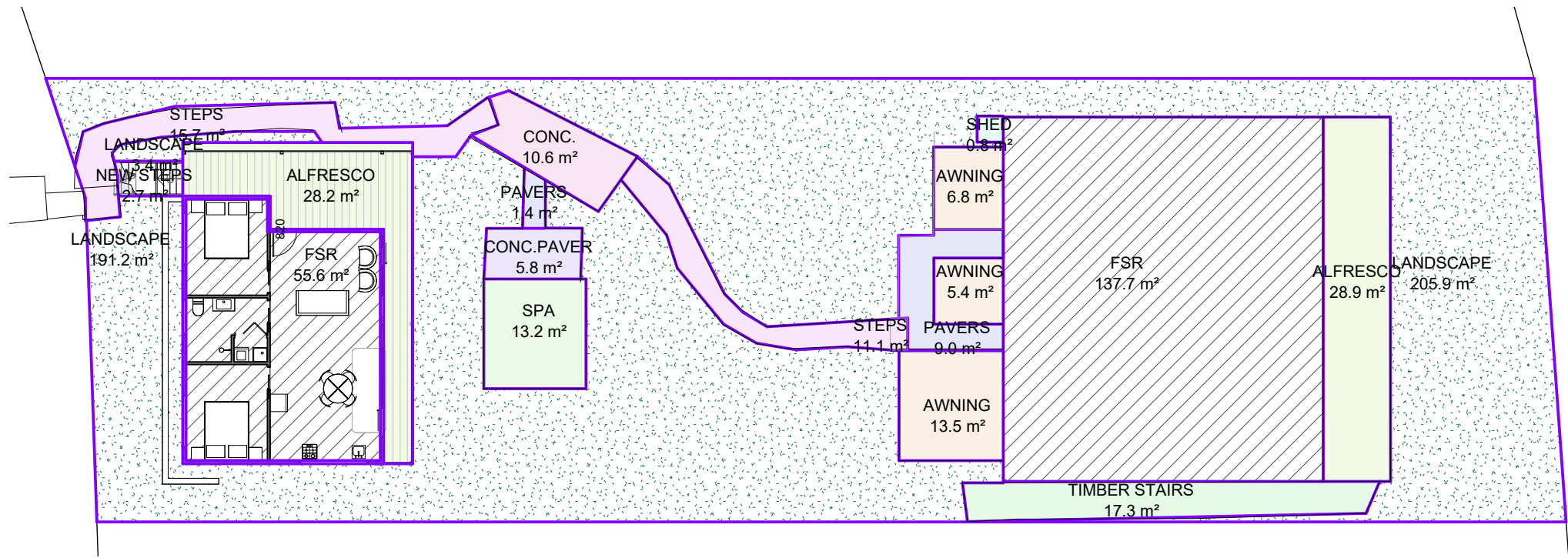
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project no	date	sheet no.	scale @ A3	issue	checked
25-11	03/03/25	A 4	1 : 100	D	?





1 GROUND FLOOR  
1 : 200

SITE AREA = 767.6 SQM

MINIMUM REQUIRED LANDSCAPED AREA = 60%= 460.56SQM

PROPOSED LANDSCAPED AREA INCLUDING THE STONE STEPS, PAVERS THAT ARE LESS THAN 1M WIDE = 437.7SQM =57%

6%OF SITE AREA MAY BE PROVIDED AS IMPERVIOUS LANDSCAPE TREATMENTS PROVIDING THESE AREAS ARE FOR OUTDOOR RECREATIONAL = 46.056 SQM

THE TOTAL PROPOSED LANDSCAPED AREA = 483.75SQM

THEREFORE, THE PROPOSAL COMPLIES WITH PDCP.

AREA CALCULATIONS SCHEDULE

NAME	LEVEL	COUNT	TOTAL
ALFRESCO	GROUND FLOOR	2	57.1 m²
ALFRESCO: 2			57.1 m²
AWNING	GROUND FLOOR	3	25.7 m²
AWNING: 3			25.7 m²
CONC.	GROUND FLOOR	1	10.6 m²
CONC.: 1			10.6 m²
CONC.PAVER	GROUND FLOOR	1	5.8 m²
CONC.PAVER: 1			5.8 m²
FSR	GROUND FLOOR	2	193.3 m²
FSR: 2			193.3 m²
LANDSCAPE	GROUND FLOOR	3	400.5 m²
LANDSCAPE: 3			400.5 m²
NEW STEPS	GROUND FLOOR	1	2.7 m²
NEW STEPS: 1			2.7 m²
PAVERS	Not Placed	1	0.0 m²
PAVERS	GROUND FLOOR	2	10.4 m²
PAVERS: 3			10.4 m²
SHED	GROUND FLOOR	1	0.8 m²
SHED: 1			0.8 m²
SPA	GROUND FLOOR	1	13.2 m²
SPA: 1			13.2 m²
STEPS	GROUND FLOOR	2	26.8 m²
STEPS: 2			26.8 m²
TIMBER STAIRS	GROUND FLOOR	1	17.3 m²
TIMBER STAIRS: 1			17.3 m²

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project  
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client  
STEVE AND WENDY MACALPINE



true north



drawing  
AREA CALCULATIONS

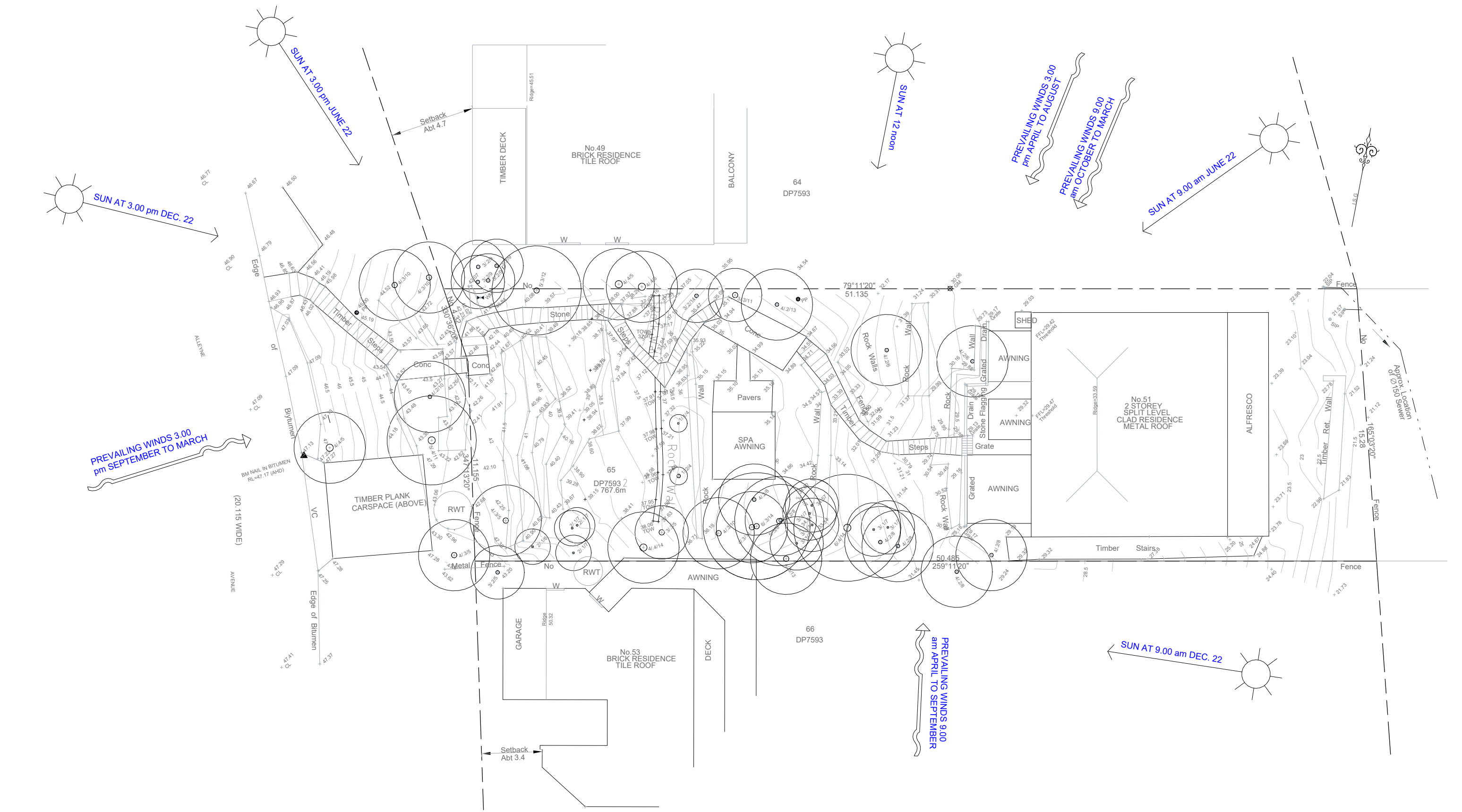
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1

SITE ANALYSIS

1 : 200

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drawn	date	issue	description
LS	29/04/25	D	ISSUE FOR DA

project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51 ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT 65/-DP7593

client

STEVE AND WENDY MACALPINE

true north

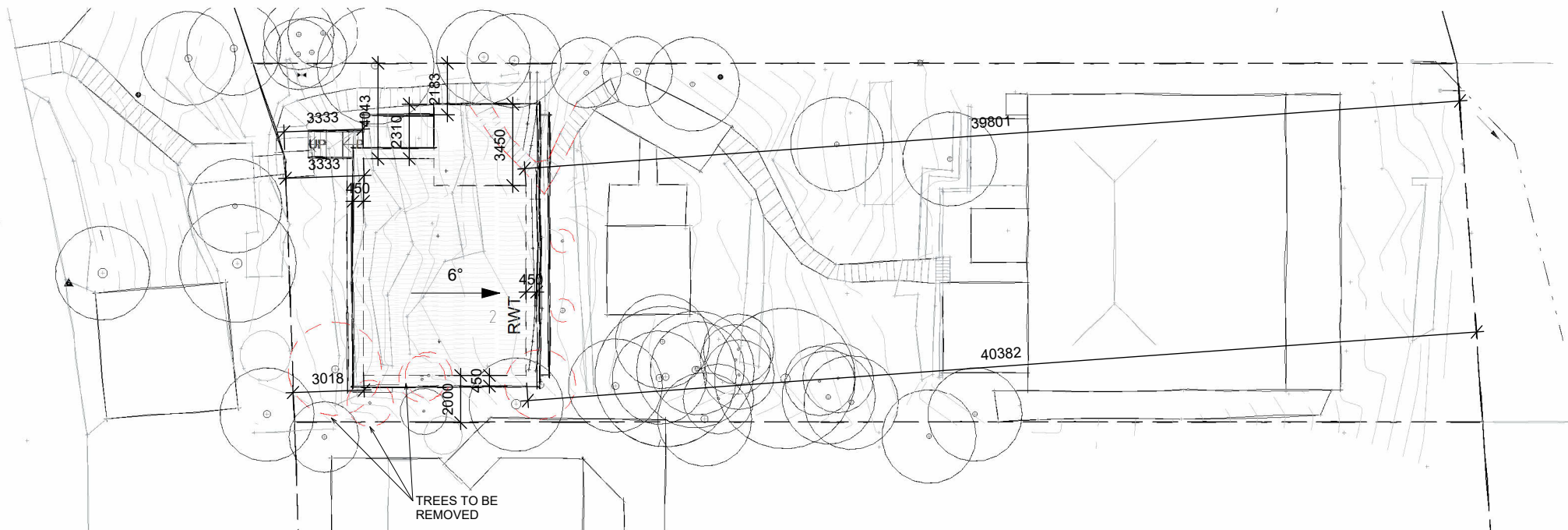
drawing

SITE ANALYSIS

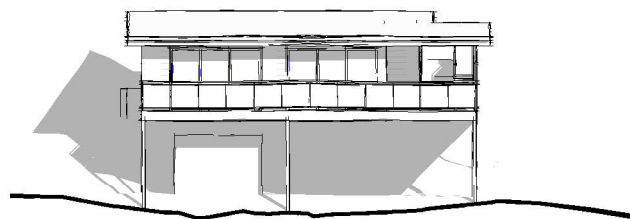
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25-11	03/03/25	1	1 : 200	D	?

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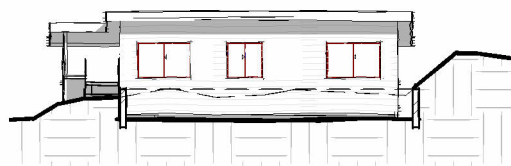
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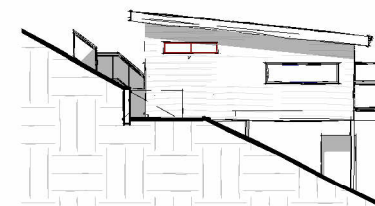
1 SITE AND ROOF PLAN .  
1 : 250



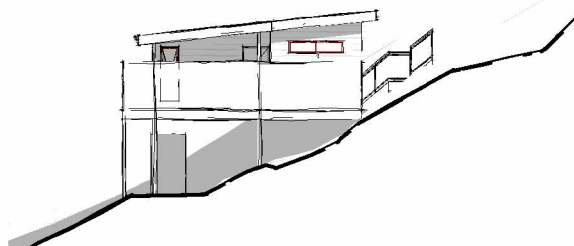
2 EAST ELEVATION .  
1 : 250



4 WEST ELEVATION .  
1 : 250



5 SOUTH ELEVATION .  
1 : 250



3 NORTH ELEVATION .  
1 : 250

project  
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51  
ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT  
65/-DP7593

client  
STEVE AND WENDY MACALPINE



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spaces designed for life

true north drawing  
NOTIFICATION PLAN

project no	date	sheet no.	scale @ A4	issue	checked
25-11	03/03/25	3	1 : 250	D	?

**RK**  
DESIGNS






4/08/2025

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE  
CONSTRUCTION OF A GRANNY FLAT AT 51 ALLEYNE AVENUE NORTH NARRABEEN**

**EXTERNAL WALLS**

Finish	Cladding	
Manufacturer	Dulux	
Colour	Flooded Gum SN4H3	

**ROOF**

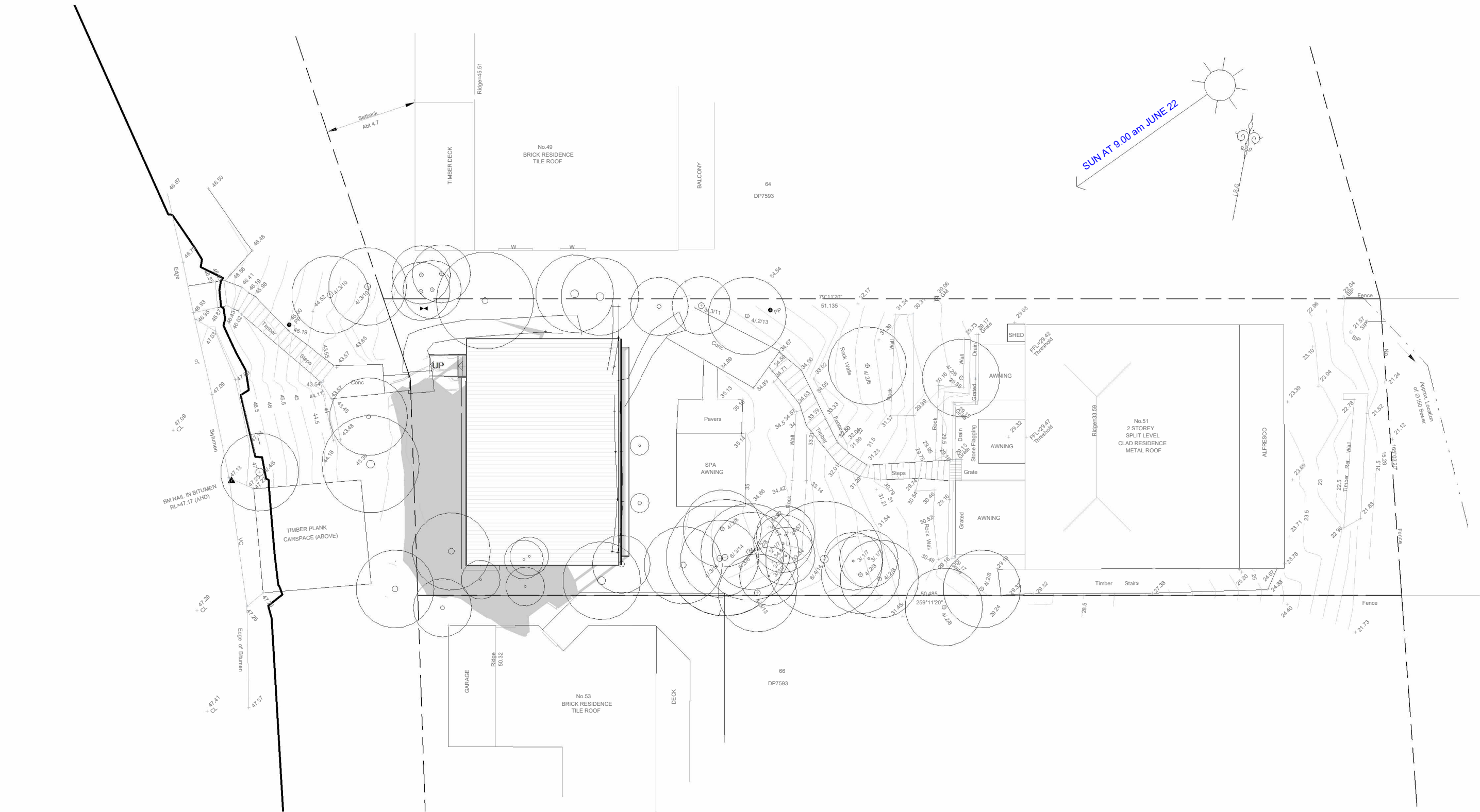
Finish	Metal	
Manufacturer	Colorbond	
Colour	Dune	

**FASCIA AND GUTTER**

Finish	Metal	
Manufacturer	Colorbond	
Colour	Dune	

**WINDOW TRIMS**

Finish	Paint Finish	
Manufacturer	Dulux	
Colour	Woodland Grey	



1 SHADOW DIAGRAM JUNE 21st 9am  
1 : 200

**GENERAL NOTES**

. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.

. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.

. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

. All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

. Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

. All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

. All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.


drawn	date	issue	description
LS	29/04/25	D	ISSUE FOR DA

project


**PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51 ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT 65/-/DP7593**

client

**STEVE AND WENDY MACALPINE**




true north



drawing

**SHADOW DIAGRAM JUNE 21st 9am**

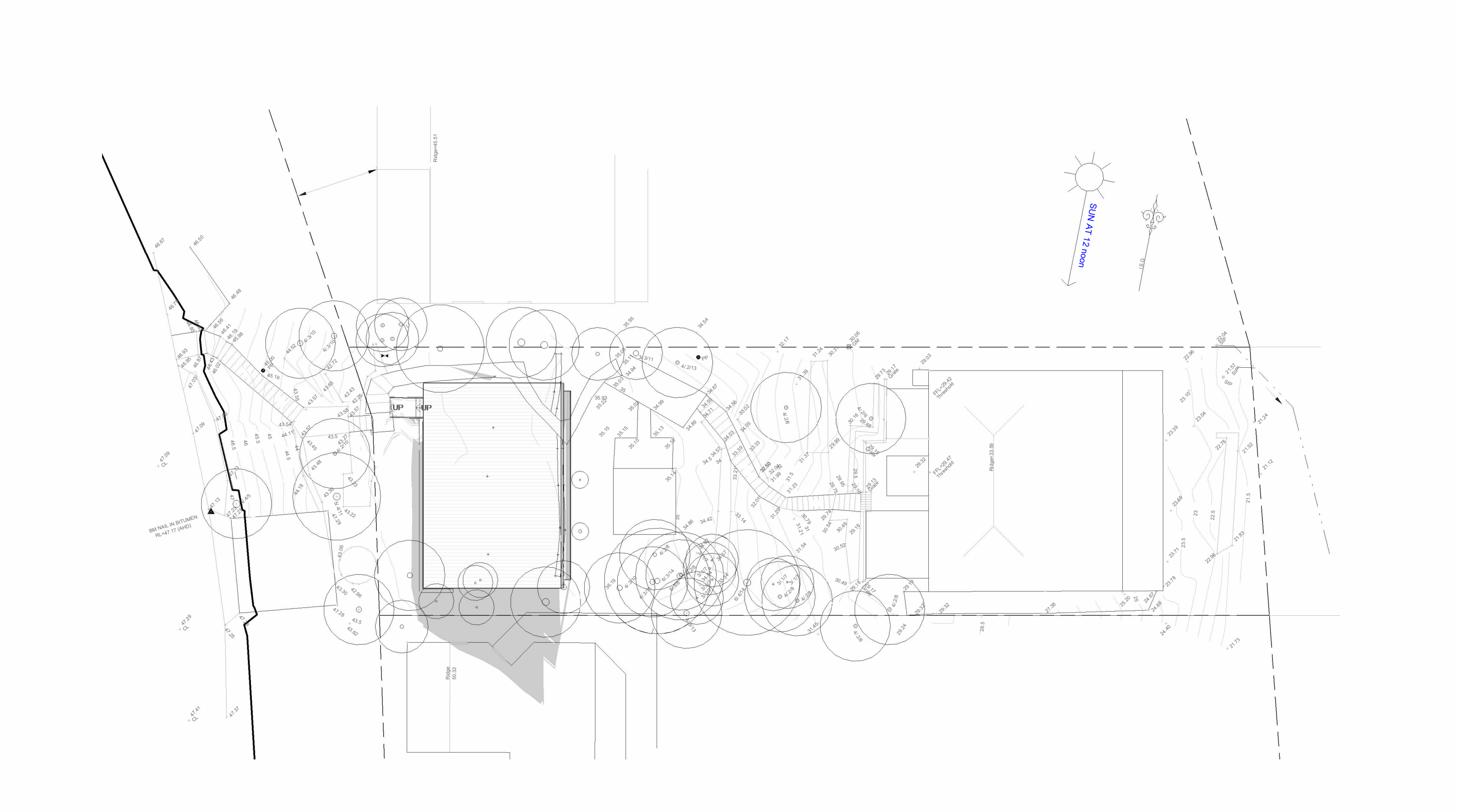
project no	date	sheet no.	scale @ A3	issue	checked
25-11	03/03/25	1 OF 3	1 : 200	D	?



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1 SHADOW DIAGRAM JUNE 21st 12pm  
1 : 200

**GENERAL NOTES**

. All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.

. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

. No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.

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drawn	date	issue	description
LS	29/04/25	D	ISSUE FOR DA

project


**PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51 ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT 65/-/DP7593**

client

**STEVE AND WENDY MACALPINE**




true north



drawing

**SHADOW DIAGRAM JUNE 21st 12pm**

project no	date	sheet no.	scale @ A3	issue	checked
25-11	03/03/25	2 of 3	1 : 200	D	?

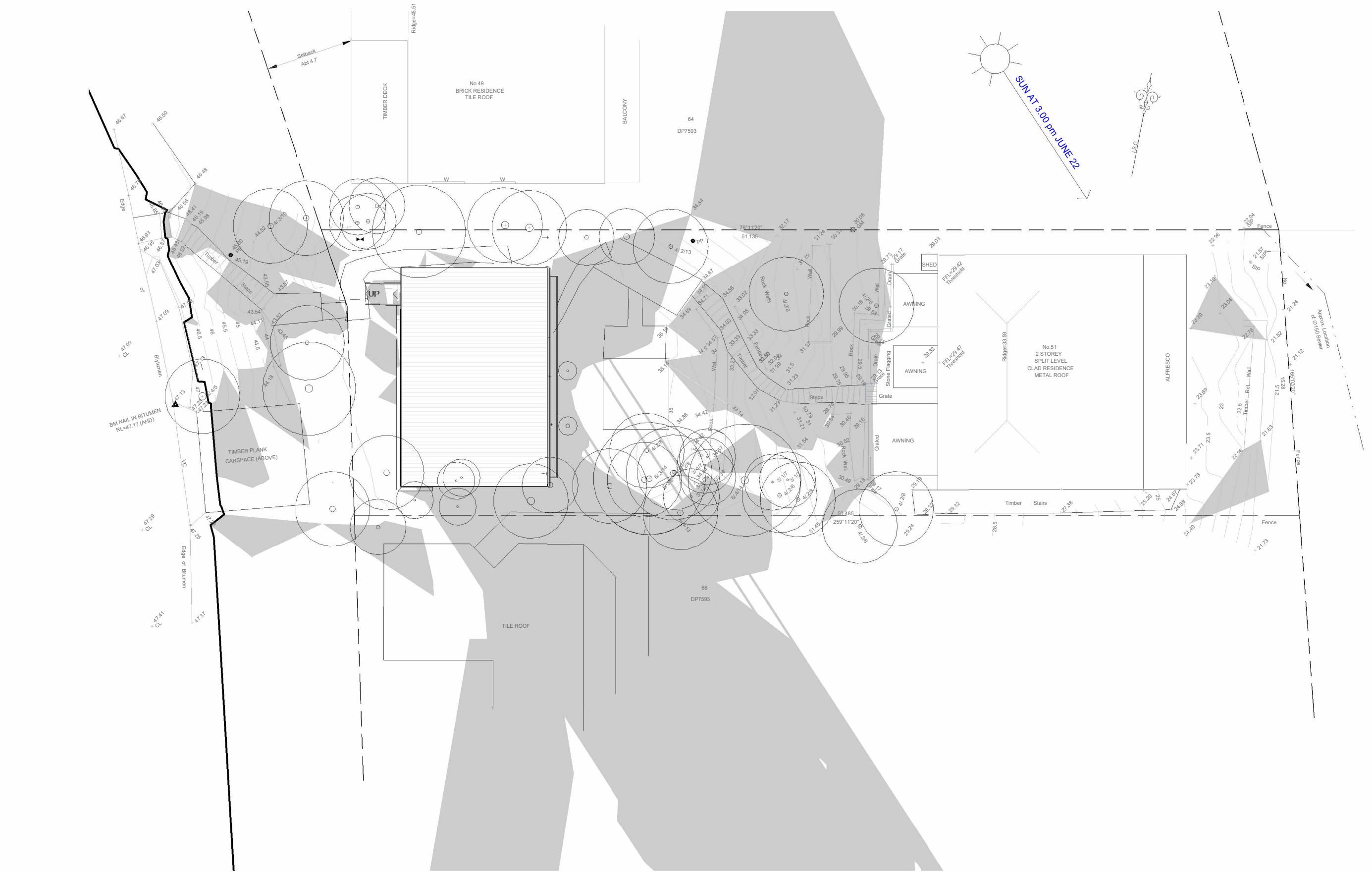


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DESIGNS





1 SHADOW DIAGRAM JUNE 21st 3pm  
1 : 200

GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- . No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- . No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- . In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
- . All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
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drawn	date	issue	description
LS	29/04/25	D	ISSUE FOR DA

project


PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 51 ALLEYNE AVENUE NORTH NARRABEEN NSW 2101 LOT 65/-/DP7593

client

STEVE AND WENDY MACALPINE




true north



drawing

SHADOW DIAGRAM JUNE 21st 3pm

project no	date	sheet no.	scale @ A3	issue	checked
25-11	03/03/25	3 of 3	1 : 200	D	?



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